

1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601  
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planning@altoonapa.gov



David M. Albright, Chair  
Lawrence Bilotto, Vice Chair  
Michael Haire, Secretary  
James Dixon  
Richard Haines  
Jesse Ickes  
Devin Saylor

## ALTOONA CITY PLANNING COMMISSION

*The Altoona City Planning Commission, created in March 1916, is composed of seven residents appointed by the Mayor with the approval of City Council. The Commission is responsible for developing and updating the Comprehensive Plan, reviewing proposals that affect the development of the City, and providing a public forum that encourages participation in guiding the future of the City.*

Regular Meeting of Tuesday, September 12, 2023 at 3:00 PM  
4<sup>th</sup> Floor City Hall Common Room

### AGENDA

#### CALL TO ORDER

#### PRESENTATION – czbLLC Comprehensive Plan Update

#### ADMINISTRATIVE ITEMS

1. Approval of Minutes – The Commission will consider the approval of minutes from its previous meeting of August 1, 2023 which is included in the packet.
2. Public Comment Period – All public comments will be received at this time.

#### SUBDIVISION AND LAND DEVELOPMENT

1. Groundhog Solar, LLC – 800 N 4<sup>th</sup> Avenue – Groundhog Solar, LLC submitted a land development plan for an outdoor solar panel showroom to be situated on a 0.206-acre parcel at the intersection of N 4<sup>th</sup> Avenue and N 8<sup>th</sup> Street. No water or sewer service is proposed. Your agenda packet includes the latest plans, technical review letter, developers' response letter, and narrative/waiver list. A recommended resolution for conditional approval has been included.
2. Weis Gas-N-Go – 601 Pleasant Valley Blvd – Weis Markets, Inc. submitted a land development plan for a new Gas-N-Go fueling facility at the existing Weis Markets Store #64. The proposed facility will be located in the northwest corner of the existing parking field and will include a total of six (6) fueling positions for a total of three (3) pumps with a kiosk for the attendant. A total of two waivers is being requested. Your agenda packet includes the latest plans, technical review letter, project narrative and waiver list. A recommended resolution for conditional approval has been included.
3. Benzel Salt Room Addition – 5400 6<sup>th</sup> Avenue – Benzel Bretzel submitted a land development plan for a new 5,280 SF addition to the existing pretzel facility. A total of four waivers is being requested. Your agenda packet includes the latest plans, technical review letter, project narrative and waiver list. A recommended resolution for conditional approval has been included.

4. Dazzling Realty – 521 N 4<sup>th</sup> Avenue – Dazzling Realty LLC submitted an amendment to a previously approved land development plan. The amendment proposes to move the dumpster pad access from the internal parking lot to access from the alley. One waiver is being requested. Your agenda packet includes the approved land development plans, amendment exhibit, and project narrative/waiver list. A recommended resolution for approval has been included.

**STAFF LEVEL REVIEWS** – None

**SPOT BLIGHT DECLARATION** – 308 2<sup>nd</sup> Avenue

**INFORMATIONAL ITEMS**

1. GAEDC Report – No Report, next quarterly meeting will be held September 27, 2023
2. Blair County Planning Commission Report

**COMMISSIONER FORUM**

**QUESTIONS FROM MEDIA AND PUBLIC**

**ADJOURNMENT**



**MINUTES**  
**ALTOONA CITY PLANNING COMMISSION**  
**REGULAR MEETING**  
**August 1, 2023**

**MEMBERS PRESENT**

David Albright – Chair  
Larry Bilotto – Vice Chair  
Jesse Ickes  
Devin Saylor

**MEMBERS ABSENT**

Michael Haire - Secretary  
Richard Haines  
James Dixon

**GUESTS PRESENT**

Brian Palumbo – All Washed Up Auto Spa  
Chris Peters – All Washed Up Auto Spa  
Michael Kranich – 515 E. Plank Road  
Charles Kranich – 515 E. Plank Road  
Theresa & Michael Green – 125 E. Southey Avenue  
Mike Dodson – 117 E. Southey Avenue  
Jamie Klink – Blair County Planning Commission  
Bill Kibler – Altoona Mirror

**STAFF PRESENT**

Mayor Matthew Pacifico  
Omar Strohm – City Manager  
Rebecca Brown – Director, Department of Codes and Inspections  
Diana White – Director, Department of Community Development  
Sabrina Appel-McMillen – GIS/Land Use Coordinator  
Rob Crossman – Division Chief, Engineering Services, Public Works  
Bette Fischer – Clerical Associate III, Department of Community Development

The Altoona City Planning Commission (ACPC) held its regular meeting on August 1, 2023, in the City Hall 4<sup>th</sup> Floor Common Room, 1301 12<sup>th</sup> Street, Altoona, PA. Chair David Albright called the meeting to order at 3:05 P.M.

**ADMINISTRATIVE ITEMS**

**1. Approval of Minutes**

A motion was made by Mr. Bilotto to approve the minutes from the July 11, 2023, meeting. Mr. Saylor seconded the motion. Motion passed unanimously.

**2. Public Comment – None**

**3. SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS –**

1. All Washed Up Auto Spa – 104 E. Southey Avenue – All Washed Up Auto Spa submitted a unified review for a new 4,040 SF Car Wash. A lot consolidation plan is included to create two new lots. A subdivided lot consisting of 0.245-acres with an existing house will remain intact located at 610 Bryant Avenue. The remaining parcels of land will be conveyed along

with the recently vacated alley to create a 1.036-acre parcel for the proposed car wash and vacuum court. Mr. Peters introduced the project and said that a 5-foot mound would be installed between the properties to help keep the sound of the vacuums from bothering the residents that are across from the car wash. He said that the peak hours are from 10:00 – 4:00 and the car wash will shut down at 9:00 P.M. Three residents and two businessmen from the area were present and expressed their concerns regarding noise and car lights. Mrs. Green of 125 E. Southey Avenue said that she is concerned that the car lights will shine onto her front porch. She asked if the developer could place a concrete wall to eliminate noise and lights from cars as they exit the car wash from shining onto her property. The developer told her that a concrete wall would be very expensive and would not do as much as the landscaping that they have planned to install at the site. He asked the residents if it would be satisfactory if they extended the 5-foot evergreen mound the whole way across the property and planted fast growing bushes. Mr. Kranich presented the same questions. He stated that he is worried about the lighting spilling onto his property, the sound from the vacuums and the landscaping. The developer explained that the vacuums will be on the Logan Boulevard side and thus should not be a problem for his business. The lighting is LED on 15-foot polls and are designed to shine straight down and not out. Mr. Bilotto suggested that the landscaping be changed to include trees with low staggered shrubbery between the trees. He feels that by staggering the shrubbery between the trees that it will give the maximum coverage from car lights and noise. Ms. Brown said that we had just received the Blair County Planning Commissions review, so it was not available to distribute before today. The Commission gave a favorable review and it appears as if the developer has followed and is consistent with county-wide planning as is presented. They noted that they had received concerns and comments from the public which is unusual. They have suggested that we hold a public hearing so that the public can express their concerns and affords the public time to learn about the proposal. This commission feels that this meeting is being considered a public hearing.

**RESOLUTION 08-01-23-PAC23-08**  
**A RESOLUTION APPROVING THE ALL WASHED UP AUTO SPA**  
**SUBDIVISION & LAND DEVELOPMENT PLAN**

WHEREAS an application for a land development project has been filed with the Altoona City Planning Commission (hereinafter “ACPC”) by All Washed Up Auto Spa (hereinafter referred to as the “DEVELOPER”); and

WHEREAS, the DEVELOPER desires to construct a new 4,045 SF Car Wash at 104 E Southey Avenue, Altoona, Pennsylvania; and

WHEREAS, staff has reviewed the LAND DEVELOPMENT PLAN, incorporated herein by this reference and filed with the ACPC by the Developer, and has found it to be in compliance, as a FINAL LAND DEVELOPMENT with all applicable provisions of the City of Altoona’s zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has determined that this LAND DEVELOPMENT PLAN constitutes a FINAL LAND DEVELOPMENT PLAN in full compliance with the City of Altoona’s zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has the power to APPROVE modifications to the City of Altoona's subdivision and land development requirements, and the Developer has requested the following waivers that are hereby approved by the ACPC:

1. §620-12C(2)(f): Pipe within a municipal right-of-way shall be reinforced concrete pipe with a minimum diameter of 15 inches.  
**The applicant is requesting a waiver to use HDEP in accordance to with this section.**
  
2. §640-63A(2): No access driveway shall be located within 50 feet of an intersection.  
**The applicant is requesting a waiver to provide the egress driveway 36 feet from the intersection.**
  
3. §640-64A(1): Sidewalks shall be provided along the entire length of the property. On a corner lot, the sidewalk shall be extended along the second street as well.  
**The applicant is requesting a waiver to not provide a sidewalk along Frost Avenue.**
  
4. §640-65C(4): Along the parking lot, trees and shrubs shall be planted so as to screen the parking facility from all surrounding streets and properties.  
**The applicant is requesting a waiver to not provide screened barrier of shrubs along the parking lot fronting Logan Boulevard and E Southey Avenue. In lieu of a screened barrier a staggered low landscape buffer of 3 feet is to be provided between the street trees along Logan Boulevard and the proposed evergreen strip and mound in the rear are to be extended to E Southey.**
  
5. §640-65D: Foundational landscaping.  
**The applicant is requesting a waiver to not provide foundational landscaping around the rear of the proposed building.**

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Altoona, Blair County, Pennsylvania, that the application and plans, as filed by the DEVELOPER, are hereby approved subject to the following conditions:

1. The conditions of the plan must be accepted in writing by developer within 30 days of plan approval.
2. All required signatures must be obtained on the plan.
3. Financial security to cover the cost of all public improvements must be provided to the City prior to plan.
4. A developer's agreement prepared by the ACPC must be executed by the Developer.

5. Any necessary permits from DEP and/or PennDOT must be provided.
6. A copy of the RECORDED plan must be provided to the ACPC as soon as it is recorded.
7. All conditions must be met, fees paid, and the plan signed and recorded within the plan deadline.

RESOLVED by the Altoona City Planning Commission on August 1, 2023:

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David B Albright, Chairman

All Washed Up Auto Spa is asking for 5 waivers. A motion was made by Larry Bilotto to approve the resolution with the conditions as stated. The motion was seconded by Jesse Ickes. Motion passed unanimously.

2. North Branch Avenue – 2312 N. Branch Avenue – Ms. Brown informed the commission that the North Branch Avenue plan would not be discussed at this time. The developer was unable to submit all the required paperwork for the project in time for the meeting.

#### **4. STAFF LEVEL REVEIWS**

Staff has received the following staff level subdivision/land development applications since the July 11, 2023 regular meeting.

- a. Donald McFarlin – 413 Bellview Street – No Impact Subdivision Plan – Approved
- b. JT Mattas – 5400 6<sup>th</sup> Avenue – No Impact Subdivision Plan – Pending Approval
- c. Logan Partners – 3331 Beale Avenue – No Impact Subdivision Plan – Approved
- d. Kenneth & Alexis Stover – 1815-1819 14<sup>th</sup> Avenue – No Impact Subdivision Plan  
Pending Approval

#### **5. SPOT BLIGHT DECLARATION - None**

#### **6. INFORMATIONAL ITEMS**

**GAEDC Report** – No meeting this month

**Blair County Planning Commission Report** – Jamie Klink reported that the Commission did a Kitchen Table Discussion at their meeting.

Mr. Albright read a letter from Omar Strohm regarding the City of Altoona Juniata Gap Lighting CFA Multimodal Transportation Fund Grand Application. The Altoona City Planning Commission needs to respond with a letter stating that the project is consistent

with the City's comprehensive plan, currently "Positively Altoona." Ms. White will draft a letter for Mr. Albright's signature.

**7. COMMISSIONER FORUM - None**

**8. QUESTIONS FROM THE PUBLIC AND MEDIA –**

Bill Kibler asked for clarification of the dirt mound that is to be installed parallel to Bryant and Logan Avenues. The trees will be on the earthen mound.

Bill Kibler asked if the waiver for sidewalks had been granted. Sidewalks will be installed along Logan and E. Southey.

**9. ADJOURNMENT**

There being no further business a motion was made by Devin Saylor to adjourn the meeting. Larry Bilotto seconded the motion. Motion passed unanimously. Meeting adjourned at 4:25 P.M.

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Approved by David Albright, Chairperson



Blair County Planning Commission  
Altoona Metropolitan Planning Organization  
Blair County Government Advisory Committee

August 23, 2023

Ms. Sabrina Appel-McMillen, GIS & Land Use Coordinator  
Altoona City Hall  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601

Dear Ms. Appel-McMillen:

The Blair County Planning Commission is in receipt of the Benzel Salt Storage Addition, located along 6<sup>th</sup> Avenue, for review under the provisions of the Pennsylvania Municipalities Planning Code and other relevant statutes. Our review has revealed the following.

- This proposal is for the construction of a ~5,200 SF addition to the existing Benzel Pretzel facility for the purpose of creating storage. No changes to impervious surface area are proposed.
- No changes to the site access are proposed; the property will still have frontage along a public roadway and no additional vehicle trips should be generated as a result of this minor addition.
- Environmentally, our review of natural features at this location did not reveal any immediate environmental concerns; the site is not located within the 100-year floodplain, nor does it contain any wetlands, steep slopes, prime agricultural soils or Blair County Natural Heritage Inventory areas.
- This site is located within the Beaverdam Branch of the Juniata River Watershed; this proposal includes the installation of an underground infiltration basins, which should help to offset any runoff as a result of this proposal.

In summary, we find this proposal to be consistent with countywide planning efforts as presented in the *Alleghenies Ahead* Regional Comprehensive Plan, adopted July 31, 2018, which includes comprehensive planning for Blair County. Thank you for the opportunity to review and comment on this proposal. If you should have any questions, please feel free to contact me.

Sincerely,

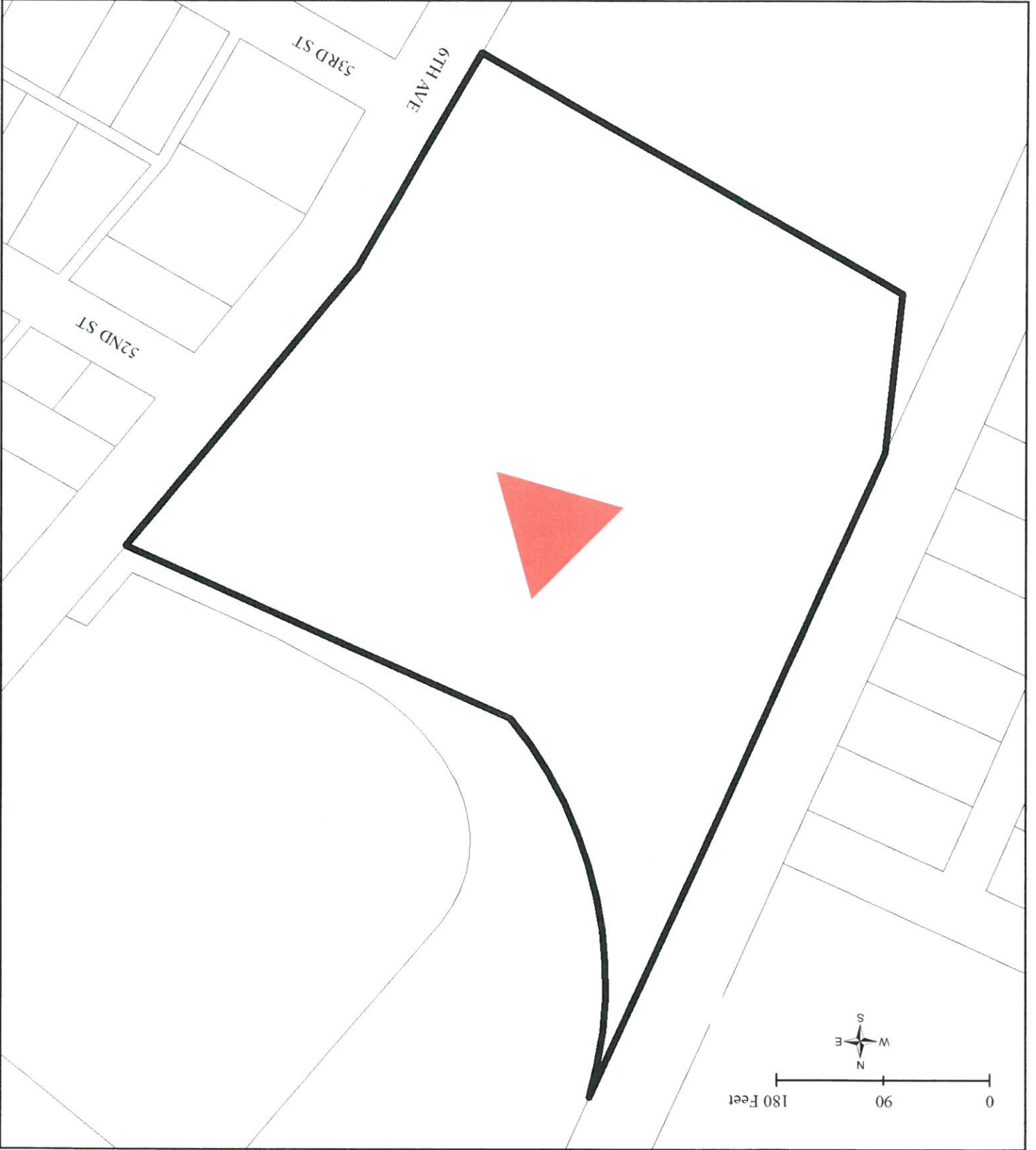
MacKenzie L. Caron  
Community Planner

cc: Joseph G. Keller, PE – Keller Engineers

# Benzel Salt Expansion Development

\* Beaverdam Branch of the Juniata River Watershed

Steep Slopes Tax Parcels



August 31, 2023

Ms. Rebecca Brown  
Director  
City of Altoona  
Department of Codes and Inspections  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601

RE: Benzel's Salt Room Addition  
Land Development Review

Dear Ms. Brown:

At the request of the City of Altoona, we have completed our review of the land development plan for the above-referenced project. The following information was provided to our office on 08/25/2023 for review of a land development located at 5200 6<sup>th</sup> Avenue in the City of Altoona, Blair County:

- Final Land Development Plans for Salt Room Addition for Benzel's as prepared by Keller Engineers, 7 sheets, project no. 641-3, dated 08/11/20023
- Design Report for Benzel's Salt Room Addition as prepared by Keller Engineers, project no. 641-3, dated August 11, 2023
- Project Narrative for Benzel Salt Room Addition

The above information has been reviewed for conformance with Chapter 620 and Chapter 640 of the Code of Ordinances for the City of Altoona, Blair County, Pennsylvania. This review was completed for ordinance conformance only. We do not accept any liability for any potential design errors or oversights made by the design engineer. Members of the City of Altoona Planning Commission have the final decision regarding comments for the construction plans. The developer shall address the following comments and proceed with final plan preparation.

#### General

1. All signature blocks are to be executed.
2. No changes can be made to the approved plans during construction without the approval of the City. After construction is complete provide record or as-built drawings to the city of all approved changes made during construction.
3. DPW notes that no sewage facilities are proposed; therefore, no sewage planning is necessary.
4. Please show the existing 10" storm sewer that is being connected into on the plans.
5. The spot elevation at the southern corner of the proposed addition is 1109.59 and the FFE is 1113.88. Please explain access from the door at this corner.

#### Chapter 620 Stormwater Management, Erosion and Sediment Control

6. 620-1.B. Prior to the commencement of any improvement which involves an earthmoving disturbance greater than 5,000 square feet, all erosion and sedimentation control plans must be submitted by the applicant to, and approved by, the Blair County Conservation District.
7. 620-16.A. The city Department of Public Works (DPW) requires a review fee. This fee is \$275.00. The consultant review fee will be in addition to the in-house reviews.



Chapter 640 Subdivision of Land and Land Developments

8. 640-57.C. Provide list of waivers being requested by the applicant, along with an explanation as to why the applicant feels each waiver request is appropriate, if applicable.
9. 640-57.H Provide proof of review and approval (for the Land Development Plan) from the County Planning Commission.
10. 640-58.B(4) Indicate / identify all the abutting properties.
11. 640-58.N. Locations and dimensions of existing and proposed buildings and structures, including ground coverage, gross floor area, and breakdown of both indoor and outdoor floor area, and indications of proposed use(s). Please show building coverage calculations (and lot size) to show conformance with zoning. Please show setbacks and easements on plan (although it does not appear to be an issue).
12. 640-63.G. There is a bicycle parking label on the plan pointing at two areas but it does not appear to be pointing at anything. Additionally it appears to be on top of an invert label for an adjacent structure. Please revise.
13. 640-64.A(1) Sidewalks shall be provided along the entire length of the property in accordance with this section.
14. 640-65.D. Foundational landscaping is to be provided in accordance with this section.
15. 640-65.H. All landscaping and improvements that are specifically required by this section shall be maintained and must be replaced if the required vegetation is damaged, diseased, cut, or dies. This is to be noted on the plan.

Should you have any questions please do not hesitate to contact The EADS Group at (814) 944-5035 or [sshoenfelt@eadsgroup.com](mailto:sshoenfelt@eadsgroup.com).

Sincerely,

**The EADS Group, Inc.** (Altoona)



By: Stephanie C. Shoenfelt, P.E.

cc: Project File

R:\0283 City of Altoona\19478 City of Altoona\Phase 62 - Task Order 68 - Plan Reviews 2023\Benzel Salt Room Addition\230829 Review 1 Benzel Salt Room.docx





420 Allegheny Street  
Post Office Box 61  
Hollidaysburg, PA 16648  
Phone: 814.696.7430  
Fax: 814.696.0150  
[www.keller-engineers.com](http://www.keller-engineers.com)

September 1, 2023

641-4

Ms. Rebecca Brown, Director  
City of Altoona  
Department of Codes and Inspections  
1301 12<sup>th</sup> Street, Suite 103  
Altoona PA, 16601

RE: BENZELS SALT ROOM REVIEW LETTER – COMMENT RESPONSE

Dear Ms. Brown:

Below are Keller Engineer's responses to your comments dated August 31, 2023 for the Benzel's Salt Room Addition 1<sup>st</sup> Submission:

General

1. All signature blocks are to be executed.  
All signature blocks will be executed upon final plan approval.
2. No changes can be made to the approved plans during construction without the approval of the City. After construction is complete provide record or as-built drawings to the city of all approved changes made during construction.  
Response: Acknowledged. Upon completion of construction as-built drawings will be provided.
3. DPW notes that no sewage facilities are proposed; therefore, no sewage planning is necessary.  
Response: Acknowledged.
4. Please show the existing 10" storm sewer that is being connected into on the plans.  
Response: Approximate location of 10" storm sewer has been shown on plans.
5. The spot elevation at the southern corner of the proposed addition is 1109.59 and the FFE is 1113.88. Please explain access from the door at this corner.  
Response: There are steps inside the building up to the floor level.

Chapter 620 Stormwater Management, Erosion and Sediment Control

6. 620-1.B. Prior to the commencement of any improvement which involves an earthmoving disturbance greater than 5,000 square feet, all erosion and sedimentation control plans must be submitted by the applicant to, and approved by, the Blair County Conservation District.  
Response: Approval letter for erosion and sedimentation control plan from the Blair County Conservation District will be provided once received.
7. 620-16.A The city Department of Public Works (DPW) requires a review fee. This fee is \$275.00. The consultant review fee will be in addition to the in-house reviews.  
Response: All required review fees will be paid by the developer.

Chapter 640 Subdivision of Land and Land Developments

8. 640-57.C. Provide list of waivers being requested by the applicant, along with an explanation as to why the applicant fees each waiver request is appropriate, if applicable.

Response: List of waivers being requested is included in this submission.

9. 640-57.H Provide proof of review and approval (for the Land Development Plan) from the County Planning Commission.

Response: Blair County Planning Commission review letter is included in this submission.

10. 640-58.B(4) Indicate/identify all the abutting properties.

Response: Abutting property owners are shown on Sheet 2. As of August 31, 2023 no deed or tax parcel number has been assigned to the recently subdivided parcel to the south of project site. Both parcels are still listed as 1.14-3-4 J.T. Mattas Rentals, LLC. Deed and tax parcel number will be shown on record drawings.

11. 640-58.N. Locations and dimensions of existing and proposed buildings and structures, including ground coverage, gross floor area, and breakdown of both indoor and outdoor floor area, and indications of proposed use(s). Please show building coverage calculations (and lot size) to show conformance with zoning. Please show setbacks and easements on plan (although it does not appear to be an issue).

Response: Locations of existing and proposed buildings and ground coverage are shown on Sheets 2 and 3. Building coverage calculation (and lot size) are shown on Sheet 2. The building coverage of 42% is less than the maximum allowable of 65%. Setback and easements are shown on Sheet 2.

12. 640-63.G. There is a bicycle parking label on the plan pointing at two areas but it does not appear to be pointing at anything. Additionally it appears to be on top of an invert label for an adjacent structure. Please revise.

Response: Bicycle parking label has been removed.

13. 640-64.A(1) Sidewalks shall be provided along the entire length of the property in accordance with this section.

Response: See waiver request.

14. 640-65.D. Foundational landscaping is to be provided in accordance with this section.

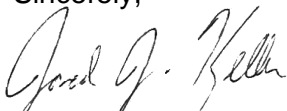
Response: See waiver request.

15. 640-65.H. All landscaping and improvements that are specifically required by this section shall be maintained and must be replaced if the required vegetation is damaged, diseased, cut, or dies. This is to be noted on the plan.

Response: See waiver request.

Please contact me at 814-696-7430 or [jjkeller@keller-engineers.com](mailto:jjkeller@keller-engineers.com) if you have any questions or would like additional information.

Sincerely,



Jared J. Keller  
Land Development Division

cc: Stephanie C. Shoenfelt, P.E. – The EADS Group, Inc. (Altoona)  
file

**RESOLUTION 09-12-23-PAC23-12**  
**A RESOLUTION APPROVING THE BENZEL SALT ROOM ADDITION**  
**LAND DEVELOPMENT PLAN**

WHEREAS an application for a land development project has been filed with the Altoona City Planning Commission (hereinafter "ACPC") by Benzel's Bretzel Bakery, Inc. (hereinafter referred to as the "DEVELOPER"); and

WHEREAS, the DEVELOPER desires to build a new 5,280 SF addition to the existing pretzel facility located at 5200 6<sup>th</sup> Avenue; and

WHEREAS, staff has reviewed the LAND DEVELOPMENT PLAN, incorporated herein by this reference and filed with the ACPC by the Developer, and has found it to be in compliance, as a FINAL LAND DEVELOPMENT with all applicable provisions of the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has determined that this LAND DEVELOPMENT PLAN constitutes a FINAL LAND DEVELOPMENT PLAN in full compliance with the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has the power to APPROVE modifications to the City of Altoona's subdivision and land development requirements, and the Developer has requested the following waivers that are hereby approved by the ACPC:

1. §640-63G: Bicycle parking. **The applicant is requesting a waiver to this section.**
2. §640-64A(1): Sidewalks shall be provided along the entire length of the property in accordance with this section. **The applicant is requesting a waiver to this section.**
3. §640-65D & H: Foundational landscaping is to be provided in accordance with this section and all landscaping and improvements shall be maintained and must be replaced if vegetation is damaged, diseased, or dies. **The applicant is requesting a waiver to these two sections.**

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Altoona, Blair County, Pennsylvania, that the application and plans, as filed by the DEVELOPER, are hereby approved subject to the following conditions:

1. The conditions of the plan must be accepted in writing by developer within 30 days.
2. A developer's agreement prepared by the ACPC must be executed by the Developer.
3. All required signatures must be obtained on the plan.
4. A copy of the RECORDED plan must be provided to the ACPC as soon as it is recorded.
5. All conditions must be met, fees paid, and the plan signed and recorded within the plan approval deadline.

RESOLVED by the Altoona City Planning Commission on September 12, 2023:

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David B. Albright, Chairman



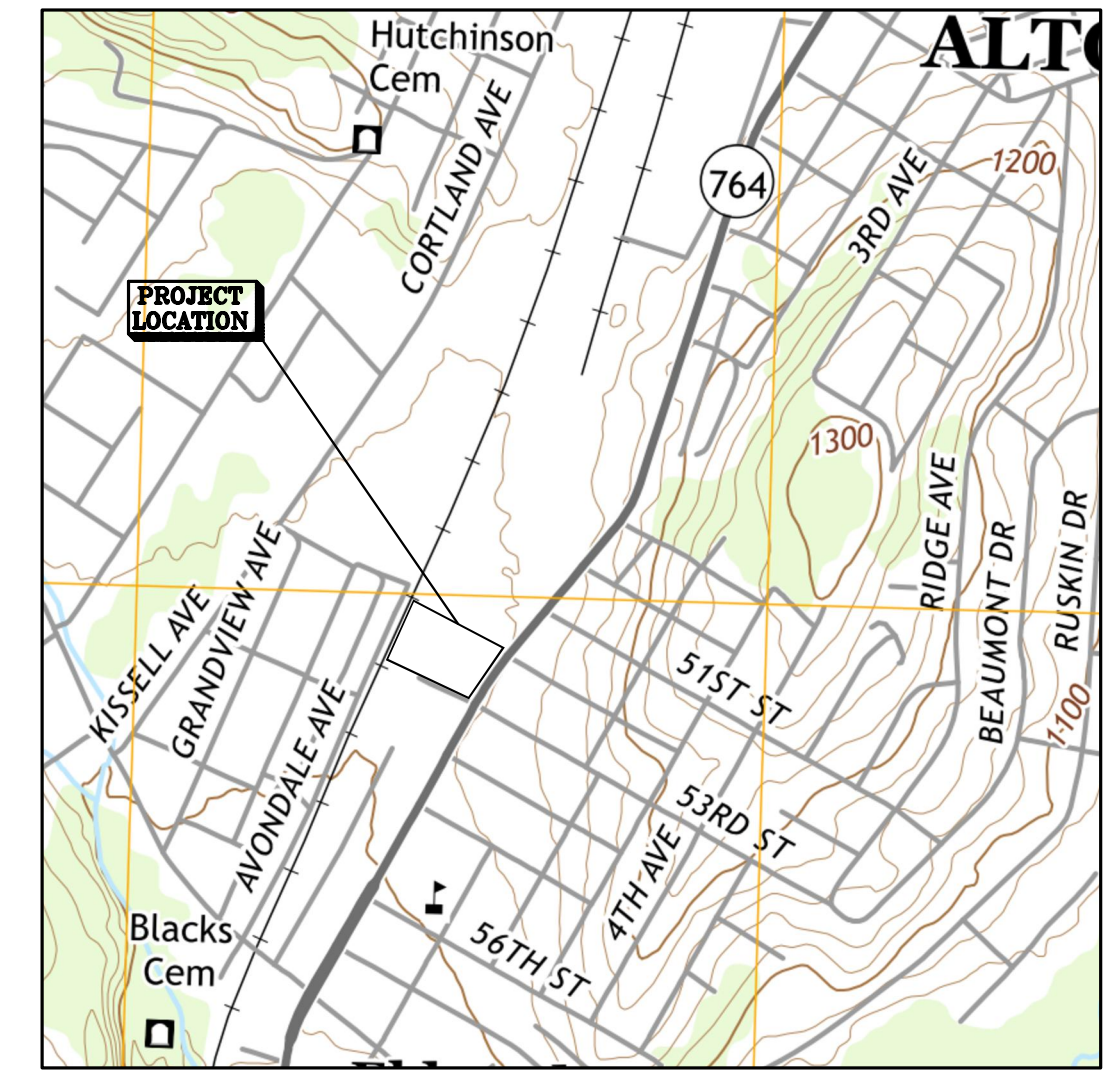
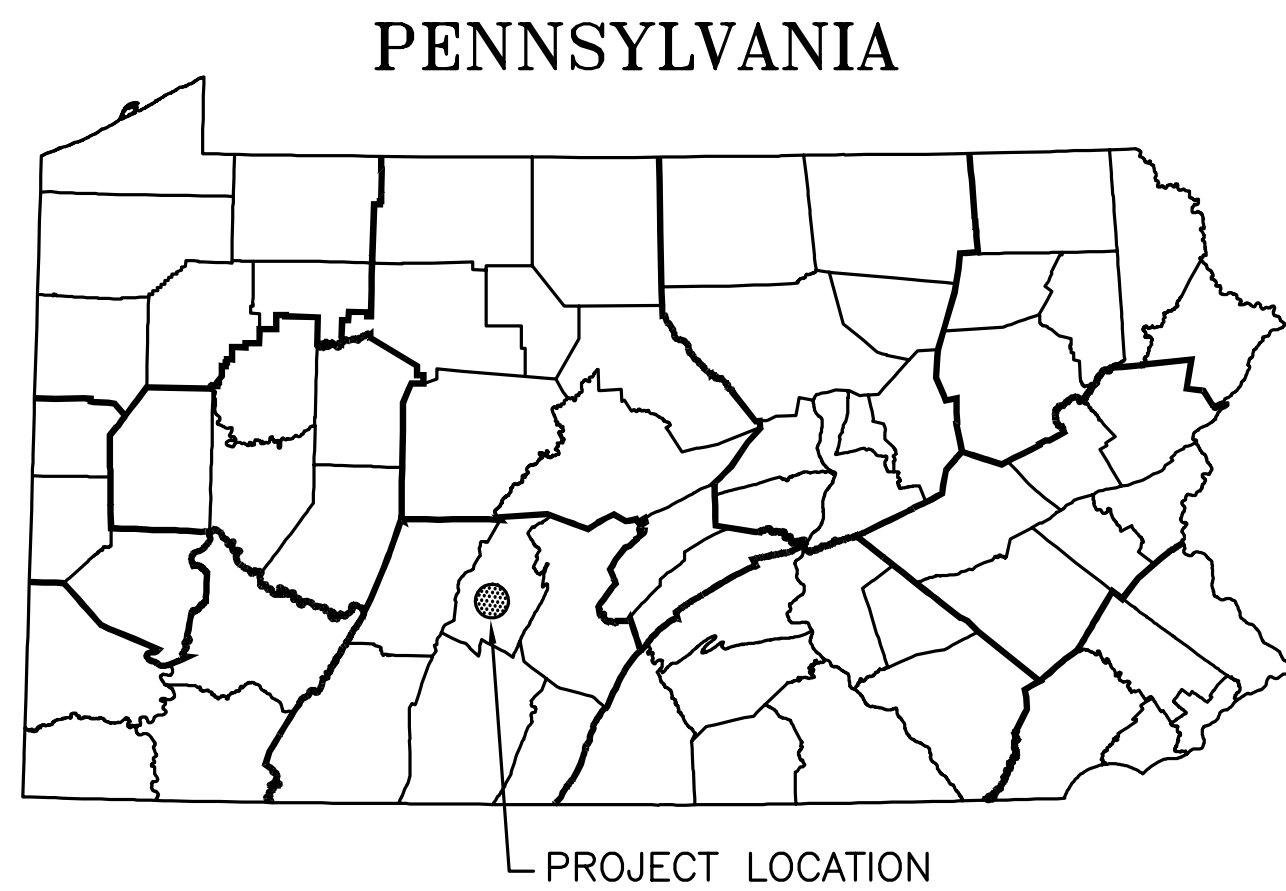
# FINAL LAND DEVELOPMENT PLANS

## SALT ROOM ADDITION

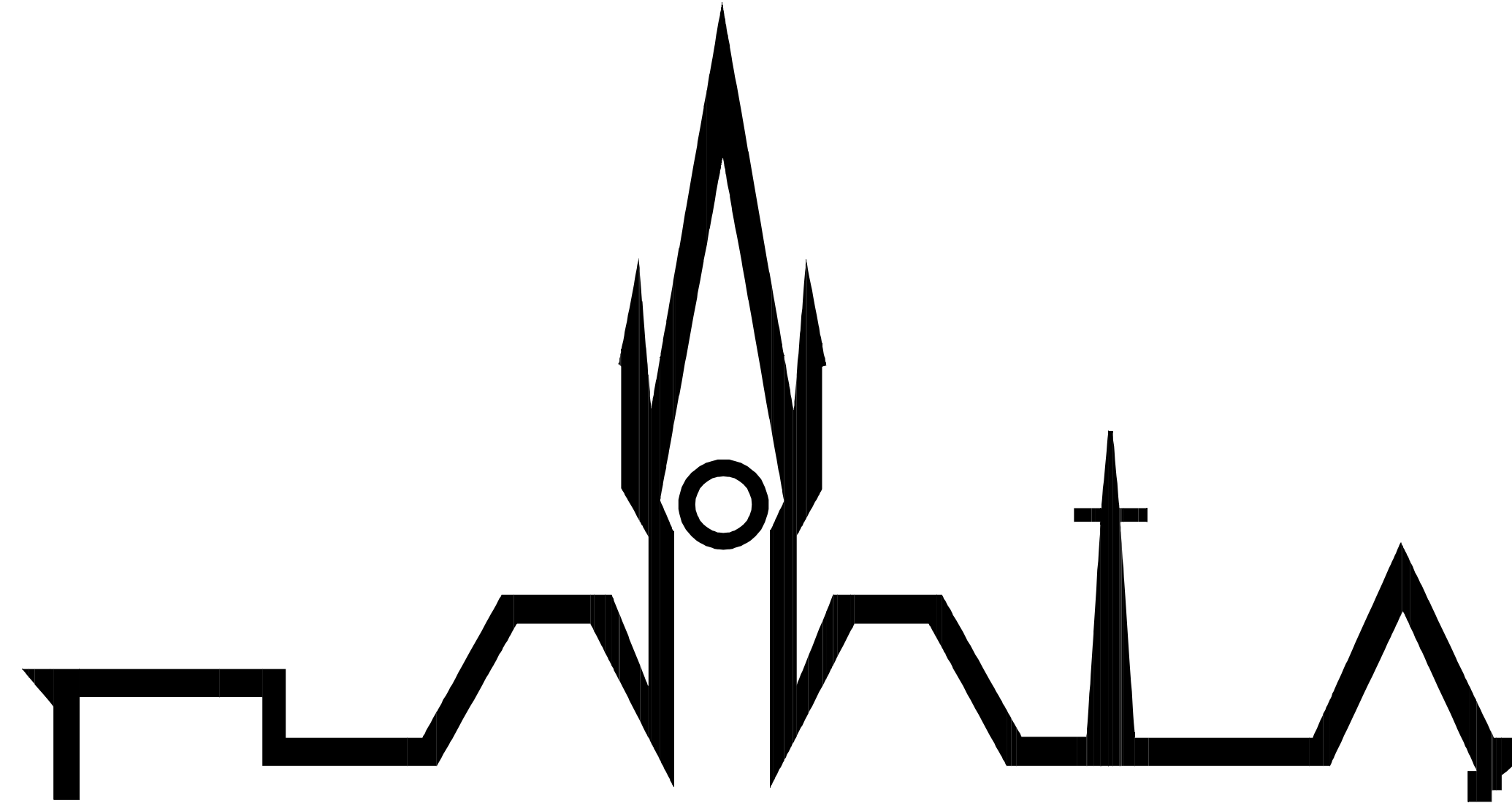
### FOR

# BENZEL'S

CITY OF ALTOONA, BLAIR COUNTY  
PENNSYLVANIA



LOCATION MAP  
SCALE: 1000' 0' 1000'  
1"=1000'



# KELLER ENGINEERS

HOLLIDAYSBURG • STATE COLLEGE

**MAINTENANCE**  
OWNERSHIP AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES FOR THIS PROJECT WILL BE THE RESPONSIBILITY OF THE SITE DEVELOPER. THE STORMWATER APPROACH FOR THIS PROJECT IS PIPE DETENTION AND AMENDED SOILS.

REGULAR MAINTENANCE IS NEEDED INITIALLY AFTER CONSTRUCTION AND CONTINUING INSPECTION AND MAINTENANCE IS REQUIRED TO ASSURE PROPER OPERATION OF ALL STORM SEWERS. INSPECTION AND MAINTENANCE SHALL FOLLOW THE MAINTENANCE PLAN.

THE OWNER OF THE STORMWATER MANAGEMENT FACILITIES SHALL KEEP A RECORD OF THE SCHEDULED MAINTENANCE, ALL ACTIVITIES UNDERTAKEN IN COMPLIANCE WITH APPROVED MAINTENANCE SCHEDULE, AS WELL AS ANY OTHER MAINTENANCE ACTIVITIES THAT WERE NECESSARY.

THE STORMWATER OFFICER OR ANY DULY-AUTHORIZED REPRESENTATIVE OF THE CITY MAY ENTER AT REASONABLE TIMES UPON THE PROPERTY TO INVESTIGATE, INSPECT, OR ASCERTAIN THE CONDITION OF THE STORMWATER STRUCTURES AND FACILITIES OF THE SUBJECT PROPERTY IN REGARD TO ANY ASPECT REGULATED BY THIS CHAPTER.

I HEREBY ACKNOWLEDGE THE STORM WATER MANAGEMENT SYSTEM TO BE A PERMANENT FIXTURE OF THIS PROPERTY THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE CITY ENGINEER OF A REVISED PLAN.

DEVELOPER ACKNOWLEDGEMENT \_\_\_\_\_  
MAX BENZEL

**ENGINEERS CERTIFICATION**  
I, BRIAN E. SMITH, P.E., ON THIS DATE \_\_\_\_\_, HEREBY CERTIFIES THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 620 OF THE CITY OF ALTOONA CODIFIED ORDINANCES, AS AMENDED.

SIGNATURE \_\_\_\_\_

**CITY OF ALTOONA**  
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE.

SIGNATURE \_\_\_\_\_

OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE CITY OF ALTOONA CODE ENFORCEMENT DEPARTMENT, CITY OF ALTOONA PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

DATE: \_\_\_\_\_

DRAWING INDEX		
SHEET	TITLE	REVISION
1	TITLE	
2	INDEX/DEMOLITION PLAN	
3	SITE/GRADING PLAN	
ES1	E&S PLAN	
ES2	E&S NOTES AND DETAILS	
PS1	PCSM PLAN	
PS2	PCSM NOTES AND DETAILS	

**CERTIFICATION OF OWNERSHIP**  
COMMONWEALTH OF PENNSYLVANIA SS:  
COUNTY OF BLAIR

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BEFORE ME, THE UNDERSIGNED OWNER/OFFICER PERSONALLY

APPEARED \_\_\_\_\_ WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT HE/SHE IS THE OWNER AND/OR EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, AND DESIRE THE SAME TO BE RECORDED AS SUCH, ACCORDING TO LAW.

OWNER \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

**PENNSYLVANIA STATE UTILITY ACT LIST**  
PENNSYLVANIA ONE CALL SERIAL #2023-220-0451

THREE DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OF THE PENDING CONSTRUCTION AND NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 OR THE COMMON GROUND ALLIANCE NATIONAL ONE-CALL AT 811.

THE CONTRACTOR SHALL LOCATE, BOTH IN PLAN AND ELEVATION, ALL EXISTING UTILITIES AND SERVICES WITHIN THE AREA OF CONSTRUCTION, COMPLY WITH THE UNDERGROUND UTILITY LINE PROTECTION LAW, ACT OF 1974, P.L. 852 NO. 287, DATED DECEMBER 12, 1991.

THE FOLLOWING UTILITIES ARE ON THE PA ONE CALL WEBSITE AS HAVING FACILITIES IN THE CITY OF ALTOONA, BLAIR COUNTY, PA

PEOPLES GAS COMPANY LLC  
375 NORTH SHORE DR  
PITTSBURGH, PA. 15212  
CONTACT: MICHAEL DENNY  
EMAIL: MICHAEL.DENNY@PEOPLES-GAS.COM

BREEZELINE  
2200 BEALE AVE  
ALTOONA, PA. 16601  
CONTACT: RICK HIMES  
EMAIL: RHIMES@BREEZELINE.COM

VERIZON PENNSYLVANIA LLC  
1026 HAY ST  
PITTSBURGH, PA. 15221  
CONTACT: DEBORAH BARUM  
EMAIL: DEBORAH.D.DELIA@VERIZON.COM

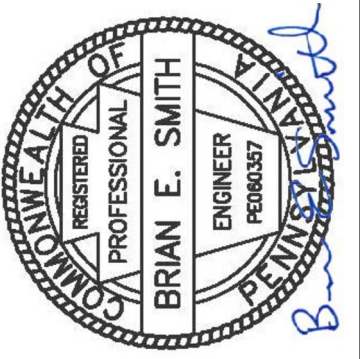
FIRST ENERGY PENELEC  
21 S MAIN ST  
AKRON, OH. 44308  
CONTACT: CARA WARREN  
EMAIL: CARAWARREN@FIRSTENERGYCORP.COM

ALTOONA WATER AUTHORITY WASTE WATER DIVISION  
144 WESTERLY TREATMENT PLANT RD  
DUNCANVILLE, PA. 16635  
CONTACT: PRESTON WILSON  
EMAIL: PWILSON@ALTOONAWATER.COM

ALTOONA CITY OF  
1301 12TH STREET SUITE 300  
ALTOONA, PA. 16601  
CONTACT: KEVIN BECHTEL  
EMAIL: KBECHTEL@ALTOONAPA.GOV

ALTOONA WATER AUTHORITY WATER DIVISION  
832 20TH ST  
ALTOONA, PA. 16601  
CONTACT: TIM MANLEY  
EMAIL: TMANLEY@ALTOONAWATER.COM

420 Allegheny Street  
Hollidaysburg, PA 16648  
P:(814) 696-7430  
www.keller-engineers.com



DATE & INITIALS	REVISION DESCRIPTION
9/1/2023 & JJK	CITY REVIEW COMMENTS

**TITLE**  
BENZEL'S SALT ROOM ADDITION  
CITY OF ALTOONA, BLAIR COUNTY  
PENNSYLVANIA

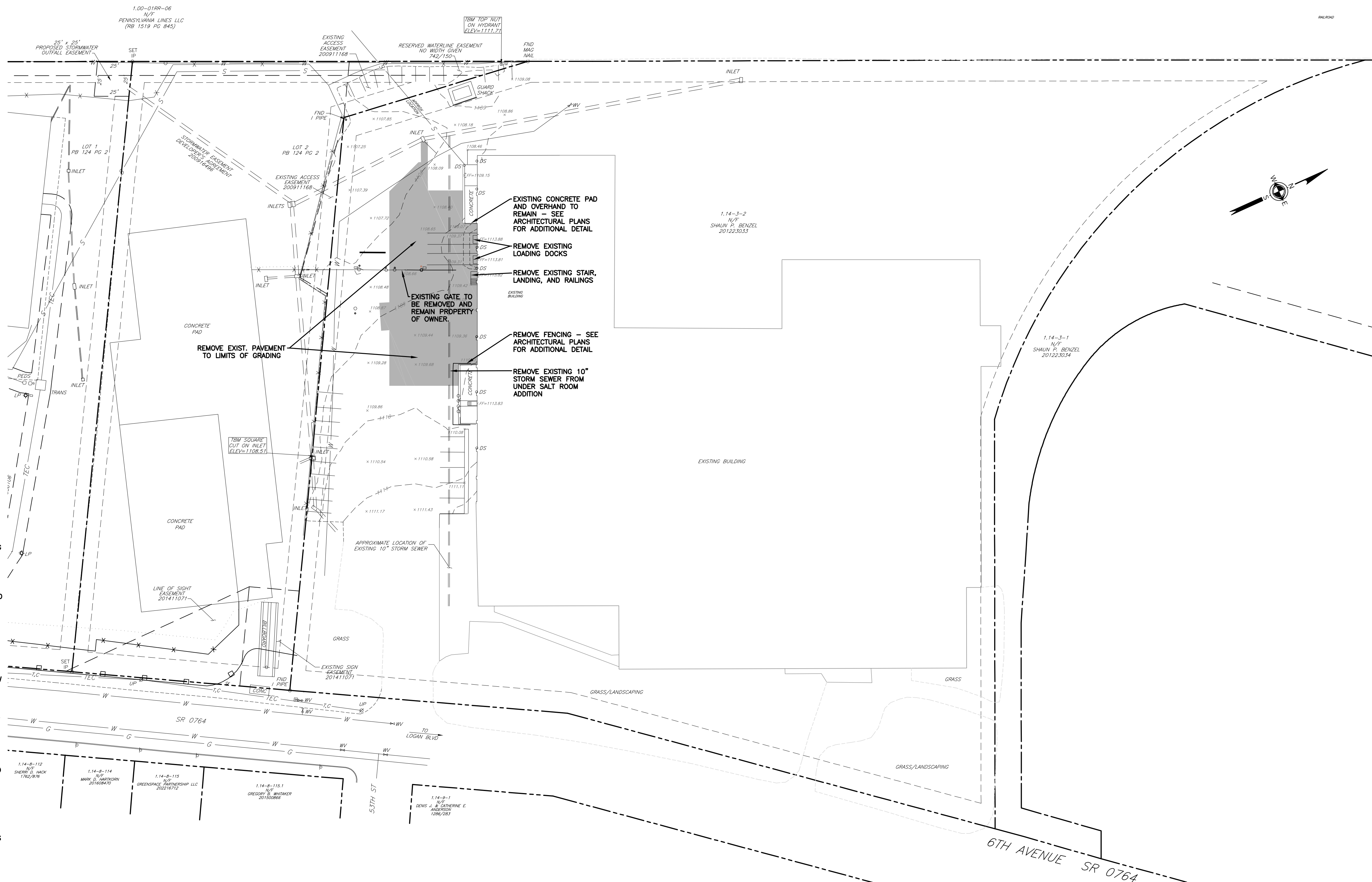
PROJECT NO.:	641-3
FILE NAME:	TITLE.DWG
DATE:	09/11/2023
DESIGNED BY:	JJK
DRAWN BY:	JJK
CHECKED BY:	BES

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**GENERAL NOTES:**

- PROPERTY IS CURRENTLY OWNED BY SHAUN P. BENZEL AS RECORDED IN BLAIR COUNTY INSTRUMENT NO. 201223033, AND INDEXED AS TAX PARCEL NO. 1.14-3-2.
- HORIZONTAL CONTROL IS BASED UPON NAVD 83, PA STATE PLANE COORDINATE SYSTEM - SOUTH ZONE.
- VERTICAL CONTROL IS BASED UPON NAVD 88.
- DEVELOPMENT TIMETABLE  
OBTAIN MUNICIPAL APPROVAL FALL 2023  
BEGIN CONSTRUCTION FALL 2023  
COMPLETE WINTER 2023/2024
- THE DEVELOPMENT IS ZONED LIGHT INDUSTRIAL
- THE PROPOSED USE OF THE DEVELOPMENT IS WAREHOUSE
- BUILDING SETBACK DISTANCES:  
FRONT = 15'  
SIDE = 10'  
REAR = 15'
- MAXIMUM ALLOWABLE BUILDING HEIGHT = 100 FT
- PROPOSED BUILDING HEIGHT = 30 FT
- PARKING GENERATION: NO ADDITIONAL PARKING IS REQUIRED FOR THIS PROJECT
- DENSITY CALCULATIONS:  
OPEN SPACE 0.734 ACRES (12.44%)  
PAVEMENT 2.688 ACRES (45.56%)  
BUILDING 2.478 ACRES (42.00%)  
TOTAL IMPERVIOUS 5.166 ACRES (87.56%)  
TOTAL LOT SIZE 5.900 ACRES
- MAXIMUM ALLOWABLE BUILDING COVERAGE = 65%
- SOILS ON THE SITE ARE Ux URBAN LAND
- WATER SERVICE IS SUPPLIED BY ALTOONA CITY AUTHORITY.
- SEWERAGE SERVICE IS SUPPLIED BY ALTOONA CITY AUTHORITY.
- PROPOSED TELEPHONE, ELECTRIC, AND CABLE SERVICE TO BE CONSTRUCTED UNDERGROUND, CONTRACTOR TO COORDINATE EXACT LOCATION WITH RESPECTIVE UTILITY COMPANY.
- ALL EXTERIOR LIGHTS TO BE FITTED WITH SHIELDS TO PREVENT GLARE ON ADJACENT PROPERTIES.
- ALL UTILITY TRENCHES TO BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.
- THE PROPOSED DEVELOPMENT IS OUTSIDE OF THE 100 YEAR FLOODPLAIN.
- ALL STORMWATER FACILITIES SHALL BE INSPECTED AFTER EACH SIGNIFICANT STORM EVENT AND ON A MONTHLY BASIS. THEY SHALL BE CLEANED FROM ANY DEBRIS OR SEDIMENT DEPOSITS AND RESTORED TO ORIGINAL CONDITIONS.
- FACILITIES, AREAS OR STRUCTURES USED AS STORMWATER MANAGEMENT BMPs SHALL BE ENUMERATED AS PERMANENT REAL ESTATE APPURTENANCES AND RECORDED AS DEED RESTRICTIONS OR CONSERVATION EASEMENTS THAT RUN WITH THE LAND. ANY EXISTING OR PROPOSED INLETS, PIPING, PONDS, RAINGARDENS, SWALES, ETC. LOCATED WITHIN THE SITE ARE CONSIDERED STORMWATER FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO ESTABLISH LINES, LOCATION, GRADES, DIMENSIONS, AND ELEVATIONS OF THE WORK FROM EXISTING FACILITIES.
- THE CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES AS SHOWN ON DRAWINGS. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION OF EVERY DESCRIPTION AND OF WHATEVER SUBSTANCE ENCOUNTERED TO THE DEPTHS INDICATED. ALL EXCAVATED MATERIAL NOT REQUIRED OR UNSUITABLE FOR FILL SHALL BE REMOVED AND WASTED OFF-PROPERTY.
- THE PRIMARY CONTRACTOR IS RESPONSIBLE FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE CONCERNING THE USE OF OR DISPOSAL OF CLEAN FILL FROM THIS PROJECT. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANITARY MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S POLICY ENTITLED "MANAGEMENT OF FILL".
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.) CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS AND FOLLOW THE GUIDANCE AS SET FORTH IN DEP POLICY "MANAGEMENT OF FILL".
- THE CONTRACTOR SHALL PROTECT IMPROVEMENTS ON ADJOINING PROPERTIES AND ON THE OWNER'S PROPERTY. IF DAMAGE OCCURS, DAMAGED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- ALL DISTURBED AREAS EXCEEDING THE LIMITS OF WORK TO BE RESTORED TO EXISTING CONDITIONS AT THE FULL EXPENSE OF THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, LATEST EDITION. HEREINAFTER REFERRED TO AS PADOT PUB. 408, AND ALL SUPPLEMENTS THERETO.
- AN EFFORT HAS BEEN MADE TO LOCATE AND SHOW APPROXIMATE LOCATION OF EXISTING UTILITY LINES. ALL UTILITIES ARE NOT NECESSARILY SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITIES TO VERIFY LOCATIONS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH PA ACT 38 OF 1991. CONTRACTOR MUST ALSO CONTACT THE PA ONE CALL SYSTEM AT LEAST 3 DAYS PRIOR TO START OF CONSTRUCTION BUT NOT MORE THAN 10 DAYS. PHONE NUMBER FOR PA ONE CALL IS 1-800-242-1776.
- ALL CONCRETE WORK SHALL COMPLY WITH THE SPECIFICATIONS AND/OR THE AMERICAN CONCRETE INSTITUTE'S "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI318-89 OR THE LATEST REVISION.
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3300 PSI AT THE END OF 28 DAYS EQUIVALENT TO PADOT CLASS 'A' CEMENT CONCRETE, UNLESS NOTED OTHERWISE.
- ALL REINFORCEMENT STEEL TO BE GRADE 60 DEFORMED BARS.
- MINIMUM SPLICE FOR REINFORCEMENT STEEL IS 30 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A-185 SPECIFICATIONS.



**ABBREVIATIONS**

CO	CLEANOUT
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUT
EM	ELECTRIC METER
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FP	FLAG POLE
GM	GAS METER
GV	GAS VALVE
HDPE	HIGH DENSITY POLY-ETHYLENE
LF	LINEAR FEET
LP	LIGHT POLE
MH	MANHOLE
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
SWPP	SMOOTH WALL POLY-ETHYLENE PIPE
TBM	TEMPORARY BENCHMARK
UP	UTILITY POLE
WM	WATER METER
WV	WATER VALVE
WWF	WELDED WIRE FABRIC

**EXISTING FEATURES LEGEND**

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	BUILDING SETBACK LINE
---	CONTOUR LINE
---	FENCE LINE
---	EDGE OF MACADAM
---	RAILROAD TRACKS
---	GAS LINE
---	SEWER LINE
---	STORM SEWER
---	TELEPHONE, ELECTRIC, CABLE
---	WATER LINE

**PROPOSED FEATURES LEGEND**

---	CONTOUR LINE
---	FENCE LINE
---	EDGE OF MACADAM
---	GAS LINE
---	SEWER LINE
---	STORM SEWER
---	TELEPHONE, ELECTRIC, CABLE
---	WATER LINE
---	LIMIT OF DISTURBANCE
---	COMPOST FILTER SOCK
□ FH	FIRE HYDRANT
● UP	UTILITY POLE
⊙ WV	WATER VALVE
○	SIGN
○	DECIDUOUS TREE
○	PINE TREE
○	SHRUB
■	MACADAM
■	CONCRETE

**INDEX/DEMOLITION PLAN**

**BENZEL'S SALT ROOM ADDITION**

CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

**KELLER ENGINEERS**  
CIVIL • STRUCTURAL • SURVEY

420 Allegheny Street  
Hollidaysburg, PA 16648  
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www.keller-engineers.com

**BRIAN E. SMITH**  
REGISTERED PROFESSIONAL ENGINEER  
PENNSYLVANIA

DATE & INITIALS: 9/17/2023 & JJK  
CITY REVIEW COMMENTS: [Blank]  
REVISION DESCRIPTION: [Blank]

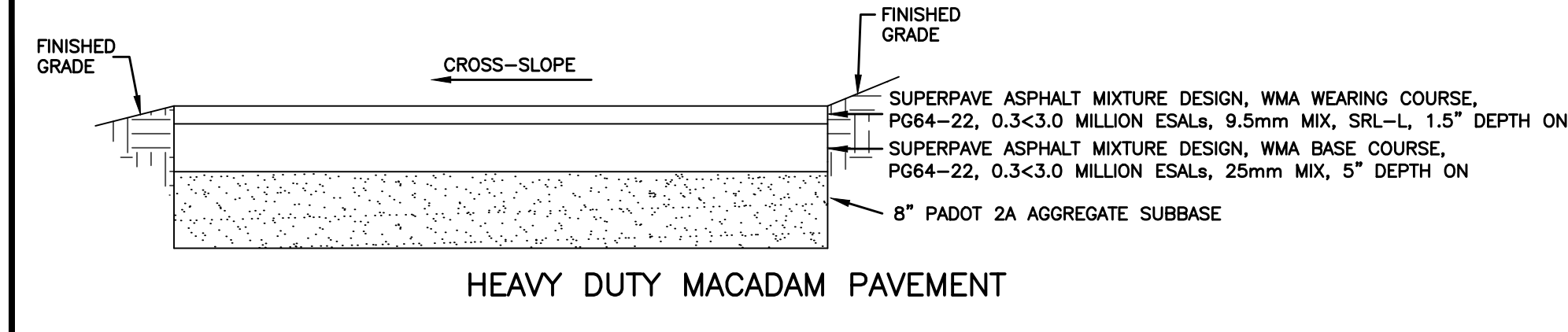
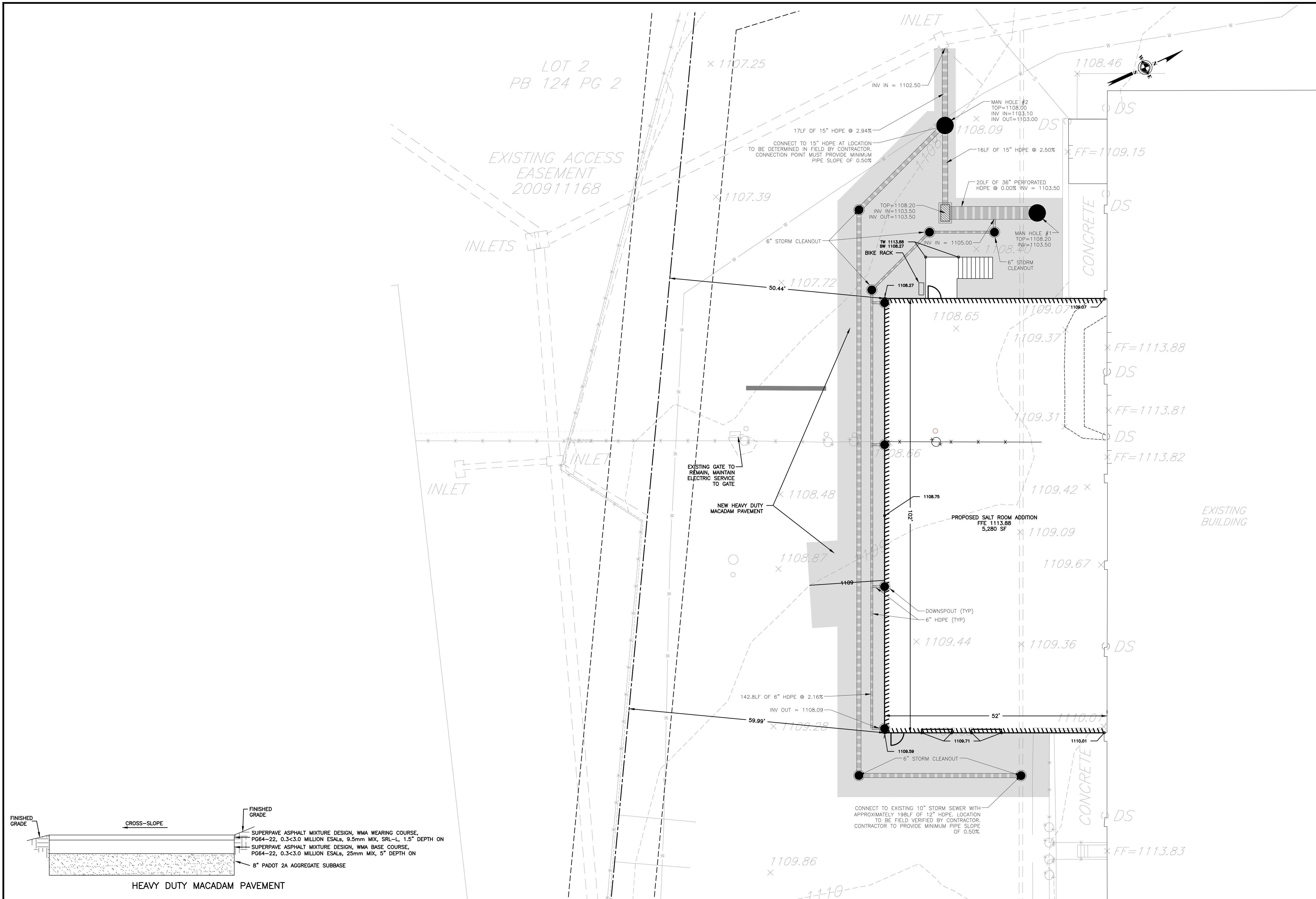
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PROJECT NO.: 641-3  
FILE NAME: 02\_INDEX.DWG  
DATE: 09/11/2023  
DESIGNED BY: JJK  
DRAWN BY: JJK  
CHECKED BY: BES

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2





LOT 2  
PB 124 PG 2

EXISTING ACCESS  
EASEMENT  
200911168

EXISTING  
BUILDING

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Holidaysburg, PA 16648  
P:(814) 696-7430  
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REGISTERED PROFESSIONAL ENGINEER  
PENNSYLVANIA

DATE & INITIALS	REVISION DESCRIPTION
9/17/2023 & JJK	CITY REVIEW COMMENTS

SCALE: 1"=10'

**SITE/GRADING PLAN**

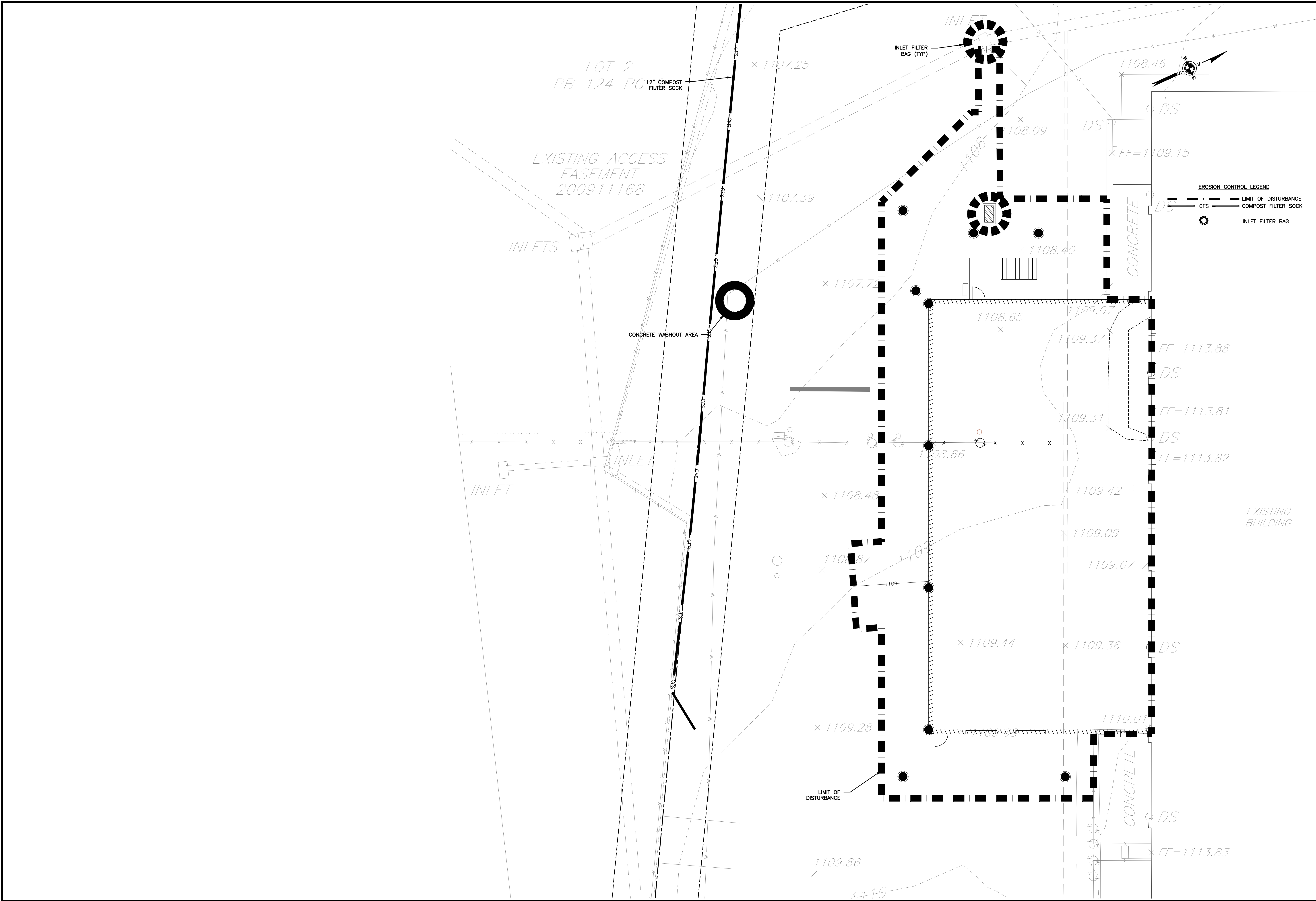
**BENZEL'S SALT ROOM ADDITION**

CITY OF ALTOONA, BLAIR COUNTY  
PENNSYLVANIA

PROJECT NO.: 641-3  
FILE NAME: 03 GRADING.DWG  
DATE: 09/11/2023  
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**3**

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PROJECT NO.: 641-3	DESIGNED BY: JJK	CITY REVIEW COMMENTS:
FILE NAME: 08/11/2023	DRAWN BY: JMK	REVISION DESCRIPTION:
DATE: 08/11/2023	CHECKED BY: BES	DATE & INITIALS: 9/1/2023 & JJK

**ES1**

**EROSION & SEDIMENTATION CONTROL PLAN**  
BENZEL'S SALT ROOM ADDITION

CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

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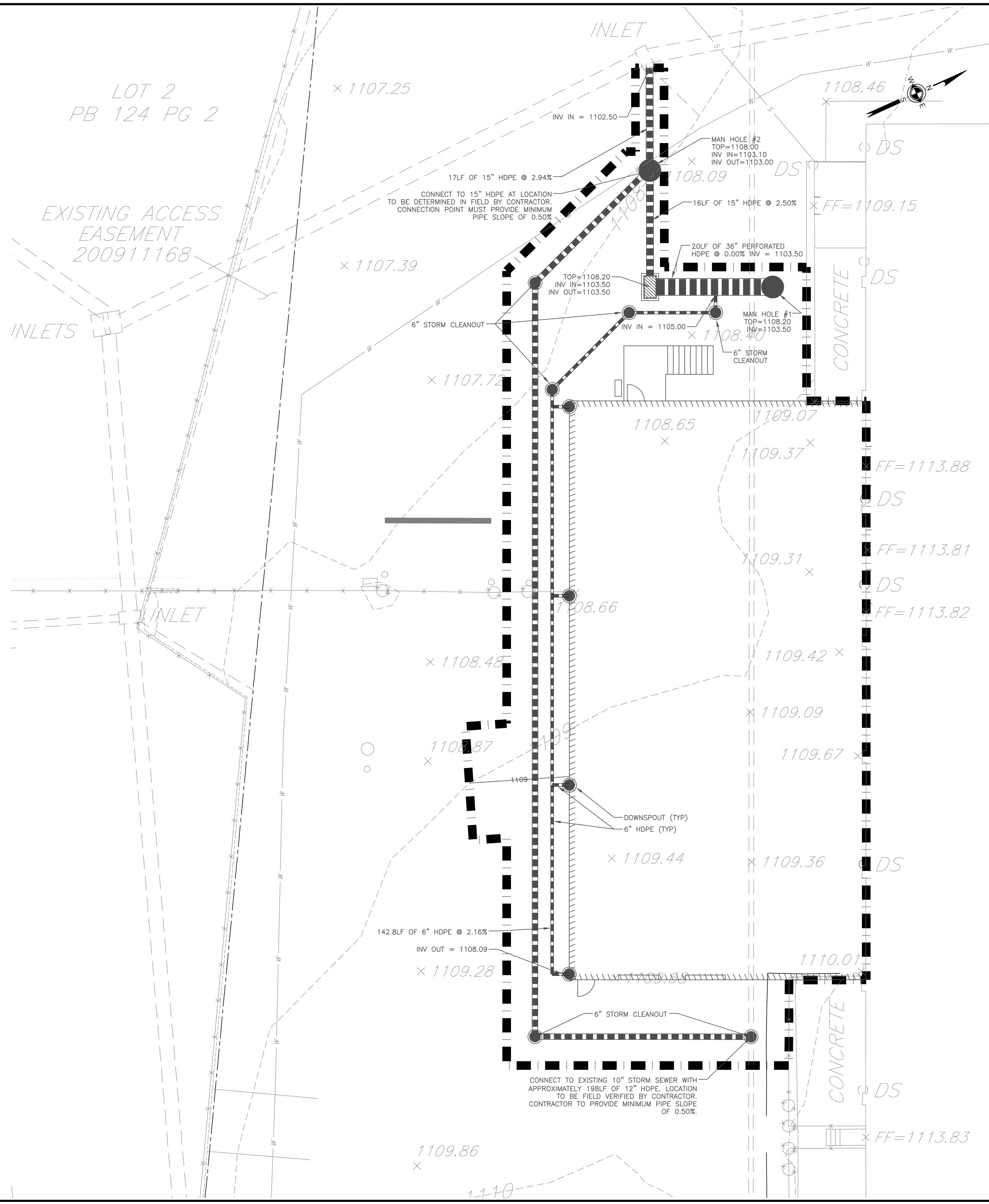
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PB 124 PG 2

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<p>PROJECT NO.: 641-3 FILE NAME: PCSM.DWG DATE: 09/11/2023 DESIGNED BY: JJK DRAWN BY: JMC CHECKED BY: BES</p>	<p>PCSM PLAN</p>	<p>KELLER ENGINEERS, INC. EXPLICITLY RESERVES ITS RIGHTS IN ALL RIGHTS AND OTHER RIGHTS CONTAINED IN THESE PLANS AND DESIGNS. THEY ARE NOT TO BE REPRODUCED, COPIED, ALTERED OR CHANGED IN ANY FORM OR MANNER, NOR ARE THEY TO BE USED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION AND CONSENT OF KELLER ENGINEERS, INC.</p>
	<p>BENZEL'S SALT ROOM ADDITION</p> <p>CITY OF ALTOONA, BLAIR COUNTY PENNSYLVANIA</p>	
<p>DATE &amp; INITIALS 9/17/2023 &amp; JJK</p>	<p>CITY REVIEW COMMENTS REVISION DESCRIPTION</p>	<p>SCALE: 1"=10'</p>
<p>420 Allegheny Street Hollidaysburg, PA 16648 P:(814) 696-7430 www.keller-engineers.com</p>		
<p><b>KELLER ENGINEERS</b> CIVIL • STRUCTURAL • SURVEY</p>		
<p>BRIAN E. SMITH REGISTERED PROFESSIONAL ENGINEER PENNSYLVANIA</p>		

PC1



**PROJECT DESCRIPTION/SITE CHARACTERISTICS**  
 LAND USE PAST: INDUSTRIAL PRESENT: INDUSTRIAL PROPOSED: INDUSTRIAL  
 RECEIVING WATERS: EXISTING STORM SEWER.

**RECYCLING & DISPOSAL OF WASTE MATERIALS**

- UPON COMPLETION OF CONSTRUCTION THE OWNER IS RESPONSIBLE TO ASSURE WASTES THAT RESULT FROM NORMAL MAINTENANCE OF THE PCSM BMP'S ARE PROPERLY DISPOSED. LITTER AND TRASH THAT COULD ACCUMULATE IN DRAINAGE FACILITIES MUST BE REMOVED DURING MAINTENANCE AND PROPERLY DISPOSED ACCORDING TO DEP REGULATORY REQUIREMENTS. SEE BELOW. DEAD OR DYING VEGETATION OR GRASS CLIPPINGS MUST BE DISPOSED AT AN APPROVED YARD WASTE RECYCLING FACILITY. ACCUMULATED SEDIMENT THAT IS REMOVED DURING REPAIR AND MAINTENANCE MUST BE PLACED IN AN UPLAND LOCATION OR REMOVED FROM THE PROPERTY AND IMMEDIATELY STABILIZED WITH SEED AND MULCH.
- ALL WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

**UNDERGROUND PIPE DETENTION**

- EXCAVATE TO 12" BELOW UNDERGROUND PIPE DETENTION BOTTOM AND BACKFILL WITH 12" OF 2A STONE
- INSTALL 36" HDPE AND OUTLET CONTROL STRUCTURE
- BACKFILL WITH 2A STONE AND PAVE
- AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING INLETS AND PIPE
- DO NOT REMOVE ANY UP-SLOPE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

**MAINTENANCE NOTES**

REGULAR MAINTENANCE IS NEEDED INITIALLY AFTER CONSTRUCTION AND CONTINUING INSPECTION AND MAINTENANCE IS REQUIRED TO ASSURE PROPER OPERATION OF ALL BMP'S. THE CONTRACTOR MUST MAINTAIN A WRITTEN REPORT ON THE PROJECT SITE DOCUMENTING EACH INSPECTION AND ALL REPAIR OR REPLACEMENTS AND MAINTENANCE ACTIVITIES.

SHOULD ROUTINE INSPECTION REVEAL THAT A PCSM BMP IS NOT FUNCTIONING AS DESIGNED, THE OWNER MUST IMMEDIATELY TAKE ACTION TO CORRECT THE PROBLEM. STRUCTURAL FAILURES SUCH AS, BROKEN OR CLOGGED PIPES CAN BE RESOLVED BY REPLACING AND REPAIRING THE BMP TO THE ORIGINAL DESIGN (SEE PCSM BMP MAINTENANCE GUIDELINES FOR THIS PROJECT'S SPECIFIC BMP'S SHOWN BELOW). SHOULD A PCSM BMP CONSTRUCTED TO THE ORIGINAL DESIGN SPECIFICATIONS FAIL TO FUNCTION, THE OWNER MUST IMMEDIATELY CONTACT A STORMWATER DESIGN ENGINEER/PROFESSIONAL TO EVALUATE THE PROBLEM AND RECOMMEND CORRECTIONS. ANY MODIFICATION PROPOSED TO ADDRESS THE PROBLEM MUST BE SUBMITTED TO THE BLAIR COUNTY CONSERVATION DISTRICT AND DEP FOR REVIEW AND APPROVAL PRIOR TO INITIATING IMPLEMENTATION OF CORRECTIVE ACTIONS.

IN ACCORDANCE WITH PERMIT CONDITIONS, WHERE PCSM BMP'S ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION OR ANY OTHER TIME THE PERMITTEE BECOMES AWARE OF ANY INCIDENT CAUSING OR THREATENING POLLUTION AS DESCRIBED IN TITLE 25 PA CODE § 91.33, AS REQUIRED IN TITLE 25 PA CODE § 92A.41(B), THE PERMITTEE AND CO-PERMITTEE SHALL WITHIN 24 HOURS CONTACT THE DEPARTMENT OR AUTHORIZED COUNTY CONSERVATION DISTRICT BY PHONE OR PERSONAL CONTACT, FOLLOWED BY SUBMISSION OF A WRITTEN REPORT WITHIN FIVE (5) DAYS OF THE INITIAL CONTACT.

**UNDERGROUND PIPE DETENTION**

- REGULAR MAINTENANCE IS NEEDED INITIALLY AFTER CONSTRUCTION AND CONTINUING INSPECTION AND MAINTENANCE IS REQUIRED TO ASSURE PROPER OPERATION OF THE BMP.
- UPON INITIAL COMPLETION OF CONSTRUCTION, INSPECT UNDERGROUND PIPE WEEKLY AND AFTER RUNOFF EVENTS. EVIDENCE OF SEDIMENT, DEBRIS, AND/OR IMPROPER FUNCTION MUST BE IMMEDIATELY ADDRESSED.
- ROUTINE INSPECTION WILL BE CONDUCTED AT LEAST QUARTERLY AND AFTER MAJOR RUNOFF EVENTS. AS FOLLOWS -
- INSPECT AND CLEAN THE INLETS AND PIPES.
- EVIDENCE OF DETERIORATION MUST BE IMMEDIATELY REPAIRED.
- ACCUMULATED SEDIMENT OR DEBRIS MUST BE REMOVED AND PROPERLY DISPOSED OF AND THE SOURCE OF SEDIMENT AND DEBRIS MUST BE ADDRESSED.
- INSPECT THE OUTLET STRUCTURES FOR EROSION, DAMAGE, AND STABILITY. REPAIR AS NEEDED.
- SHOULD THE UNDERGROUND PIPE STILL HAVE PONDED WATER 3 DAYS AFTER A PRECIPITATION OR THAWING EVENT, FURTHER INVESTIGATION MUST BE CONDUCTED TO INSPECT FOR CLOGGED OUTFALL DEVICES, UNDERDRAINS, PIPES, OR SPILLWAYS AND REPAIR AS NEEDED.

**PAVEMENT**

- ALL PAVED STREETS AND PARKING LOTS WILL BE CLEANED WITH HIGH EFFICIENCY STREET SWEEPING EQUIPMENT AS REQUIRED DEPENDING ON WEATHER CONDITIONS WITH A FREQUENCY OF NOT LESS THAN ONE TIME PER MONTH.

**LICENSED PROFESSIONAL OVERSIGHT**

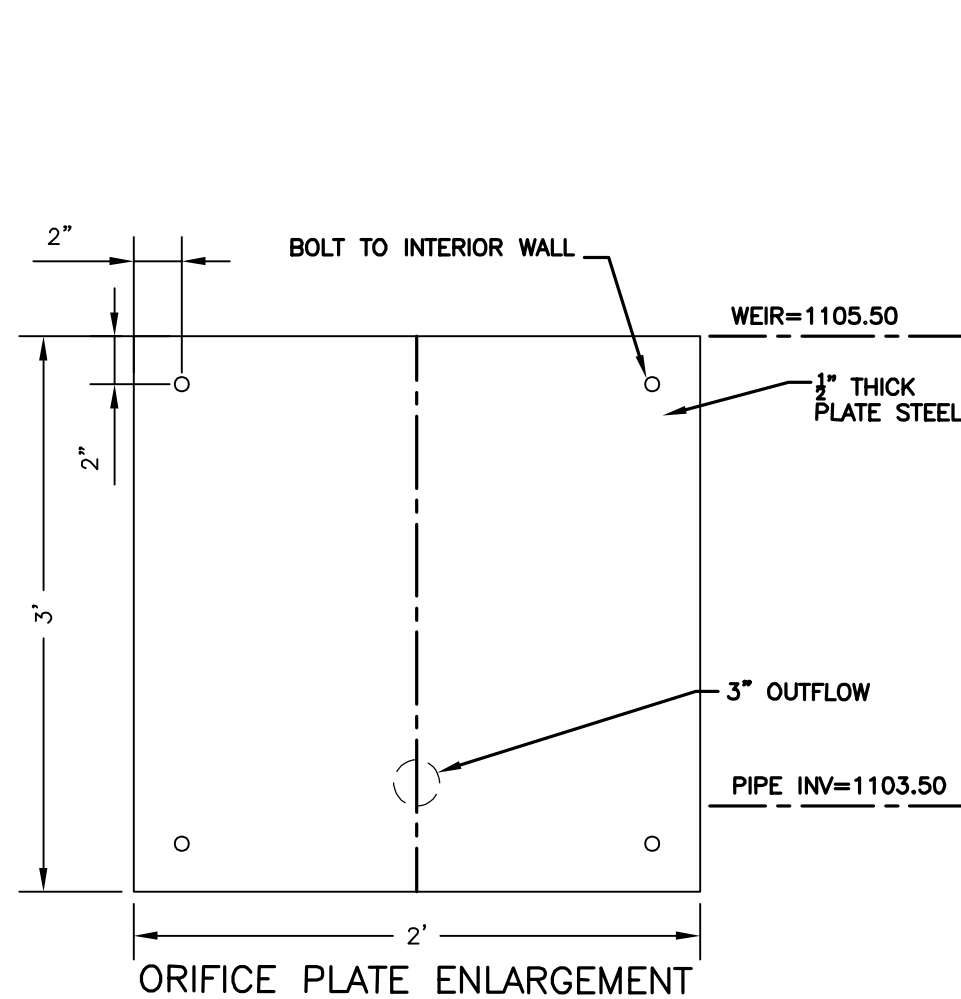
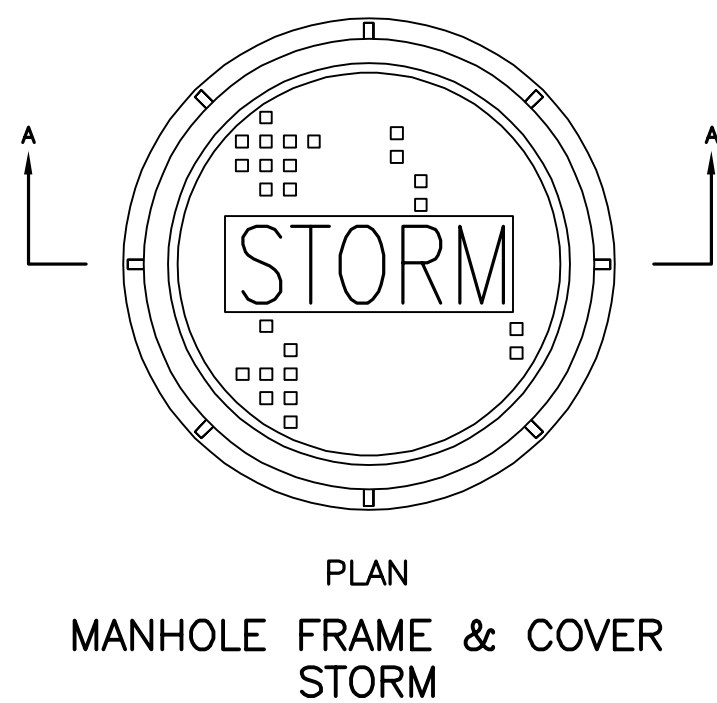
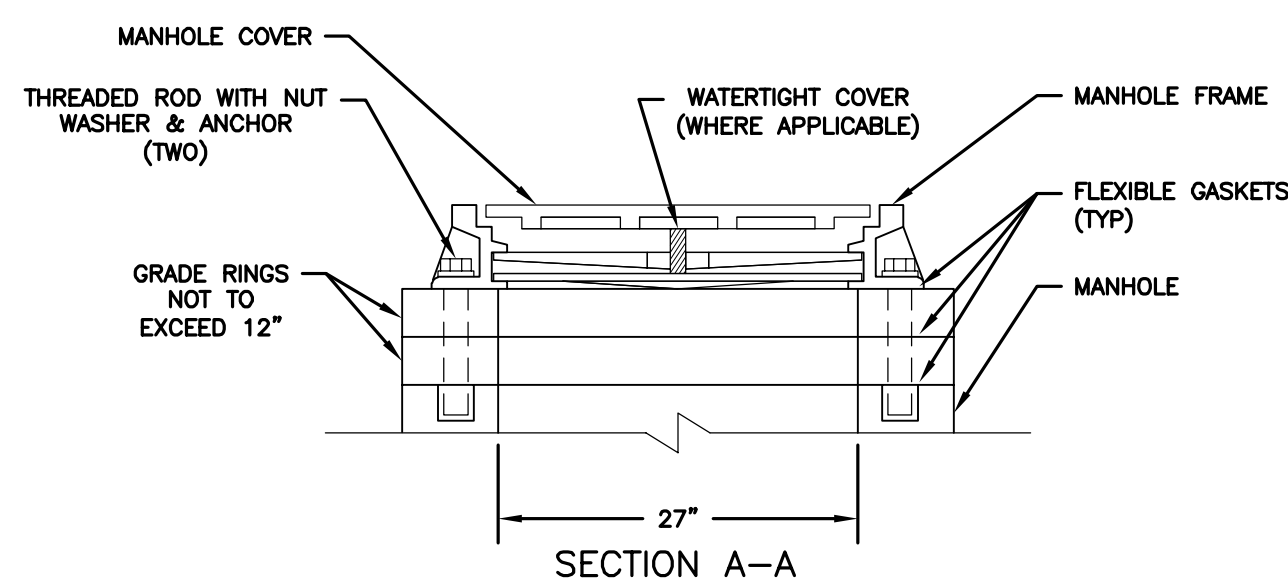
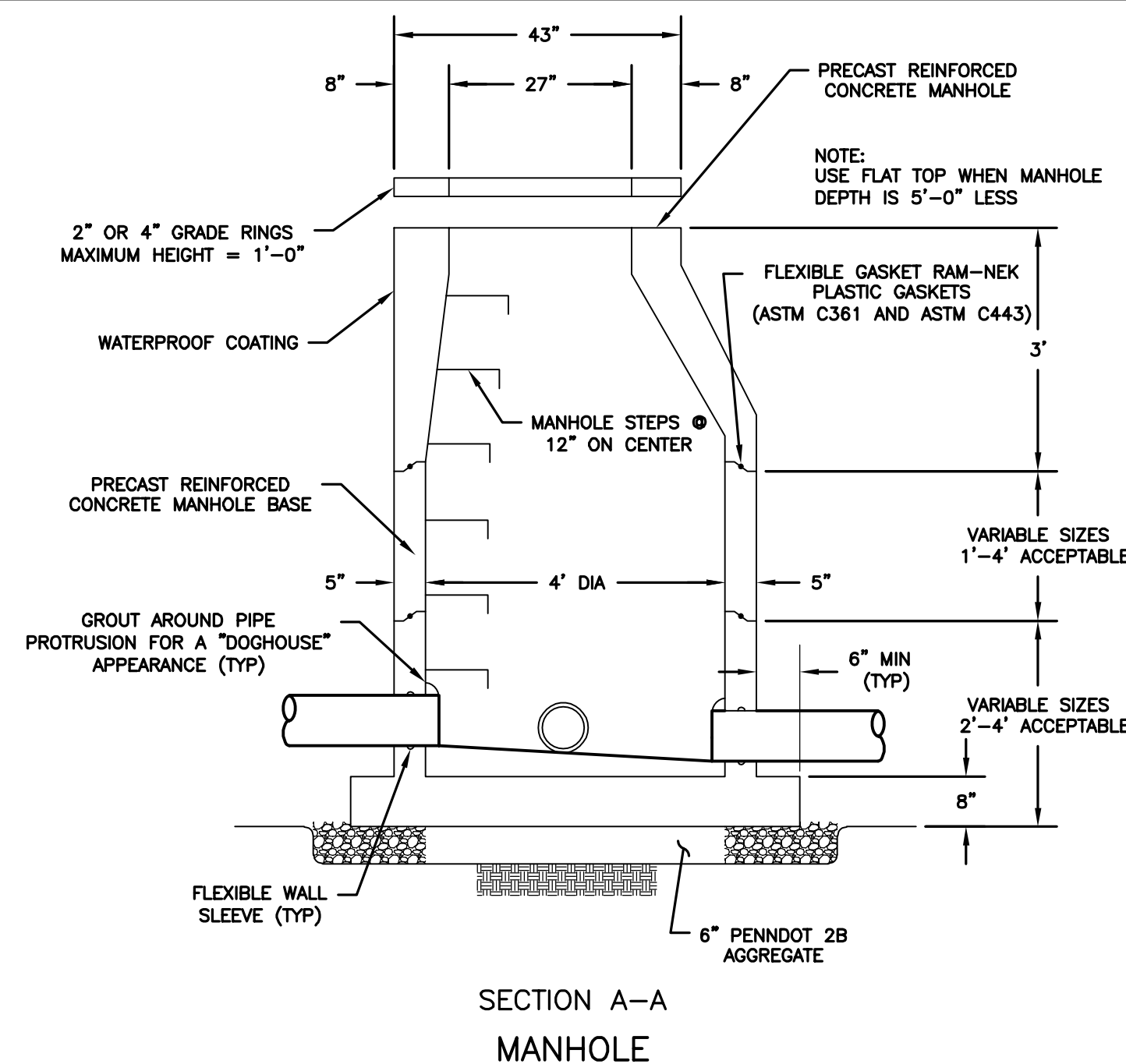
A LICENSED PROFESSIONAL (PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, GEOLOGIST, OR LAND SURVEYOR) OR DESIGNEE SHALL OVERSEE CONSTRUCTION OF ALL STRUCTURAL PCSM BMP'S - UNDERGROUND PIPE DETENTION FACILITIES CRITICAL STAGES REQUIRING OVERSIGHT INCLUDE:

- WHEN THE SHAPE AND DEPTH ARE EXCAVATED
- INSTALLATION OF PIPING AND OUTLET STRUCTURES
- PLACEMENT AND INSTALLATION OF STONE LAYERS

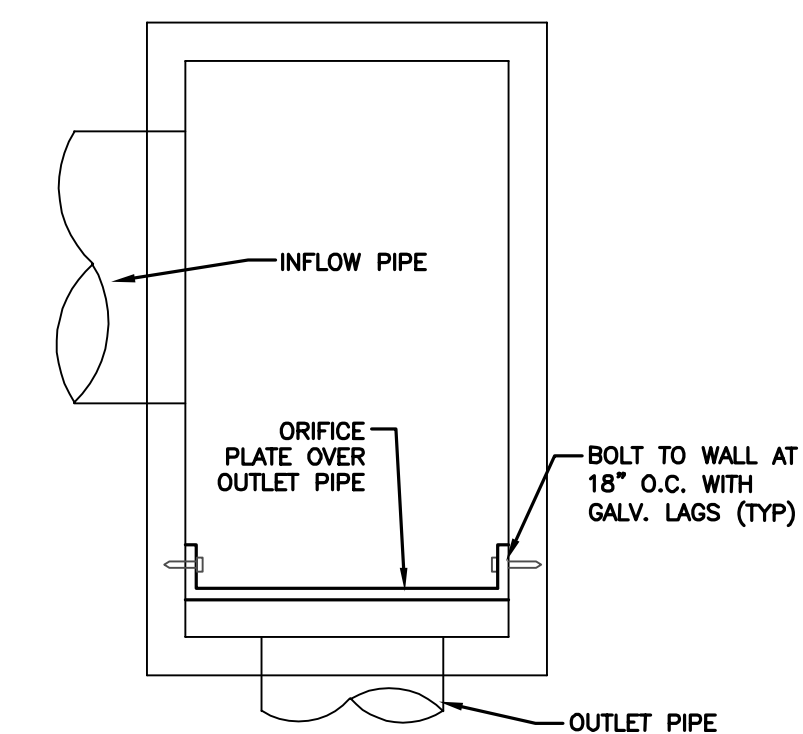
**PROFESSIONAL CERTIFICATION:**

UPON COMPLETION OF THE PROJECT AND SUBMISSION OF THE REQUIRED NOTICE OF TERMINATION (NOT) THE RECORD DRAWINGS SHALL INCLUDE THE FOLLOWING EXECUTED CERTIFICATION, WITH THE PROFESSIONAL'S SEAL:

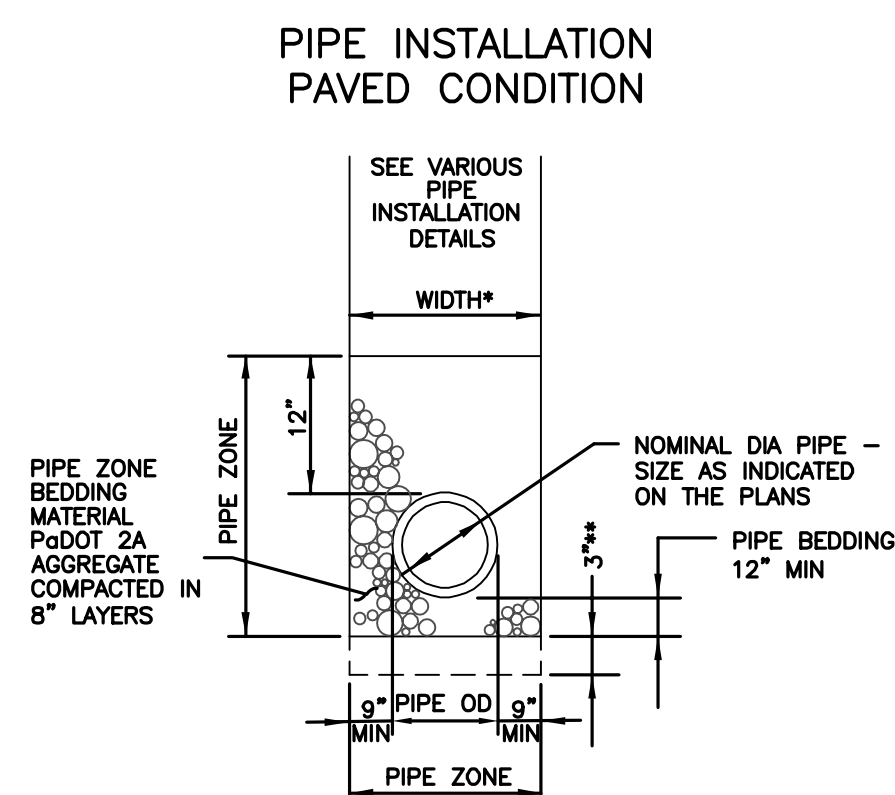
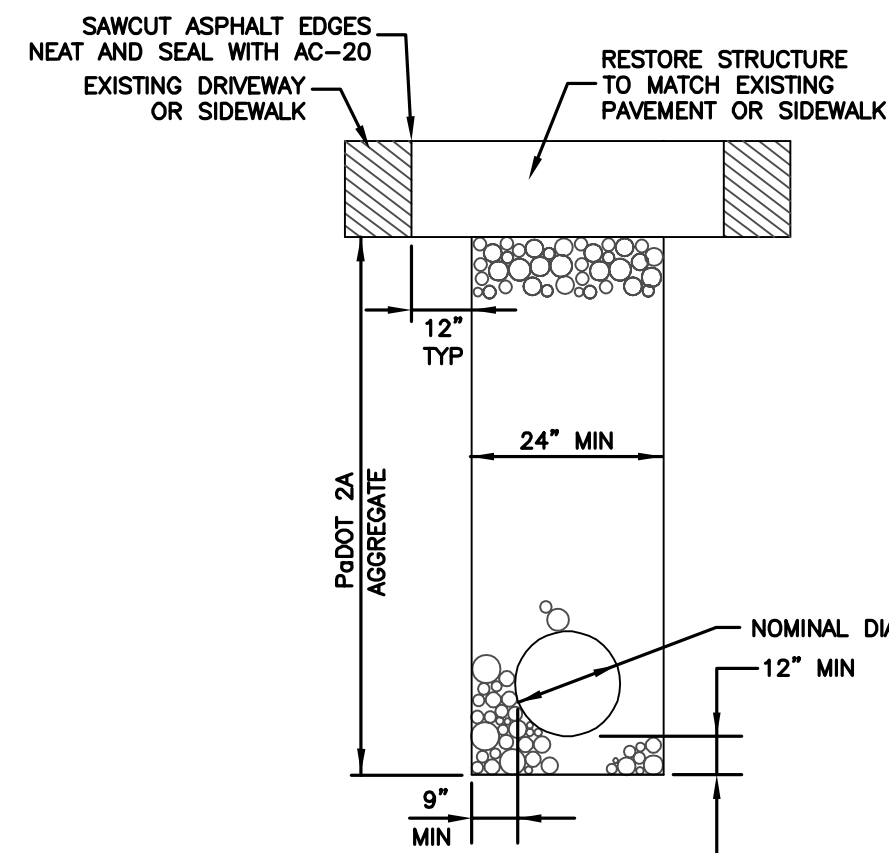
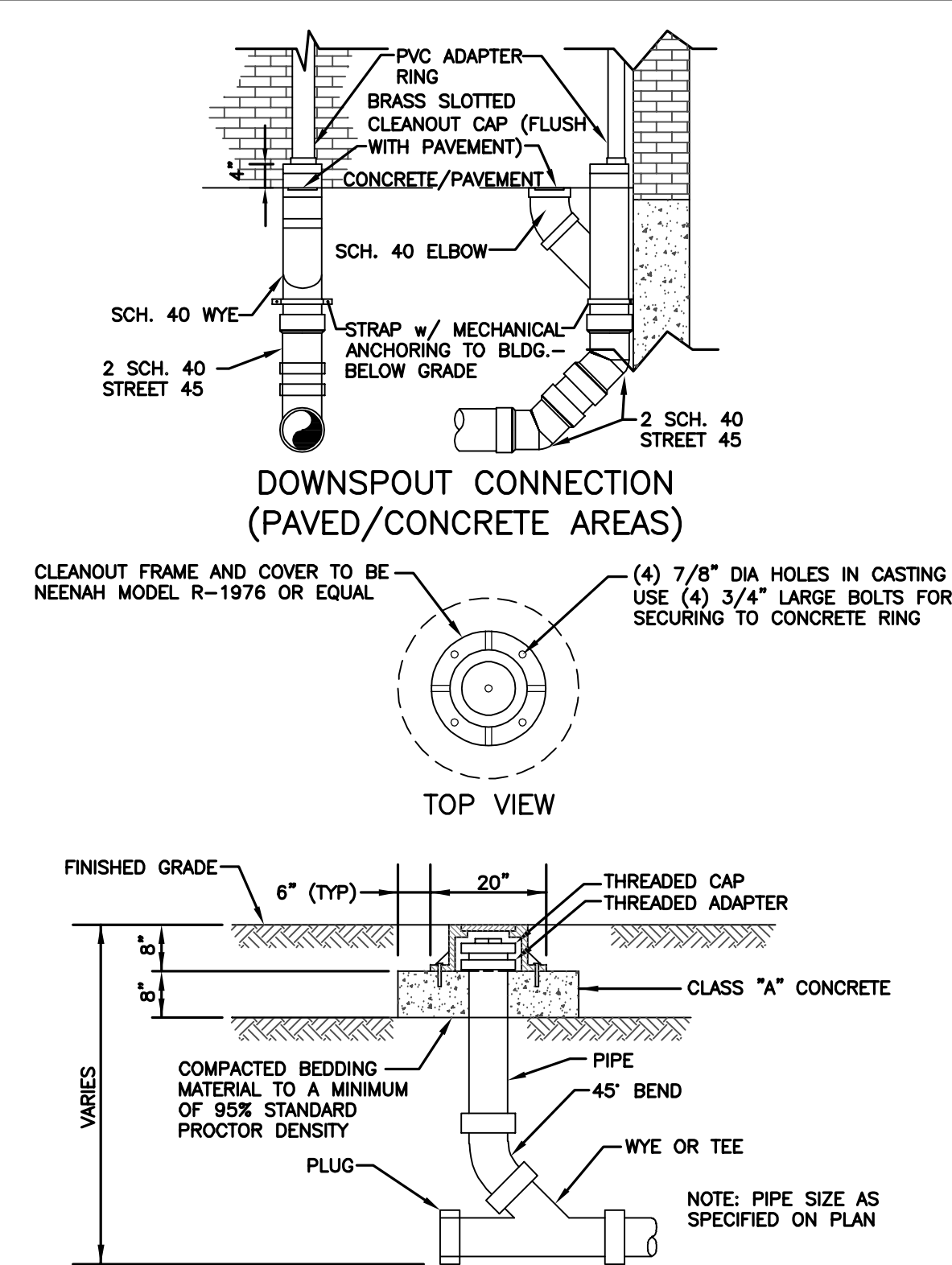
"I (NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA.C.S.A. § 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."



**OUTLET STRUCTURE PIPE DETENTION**

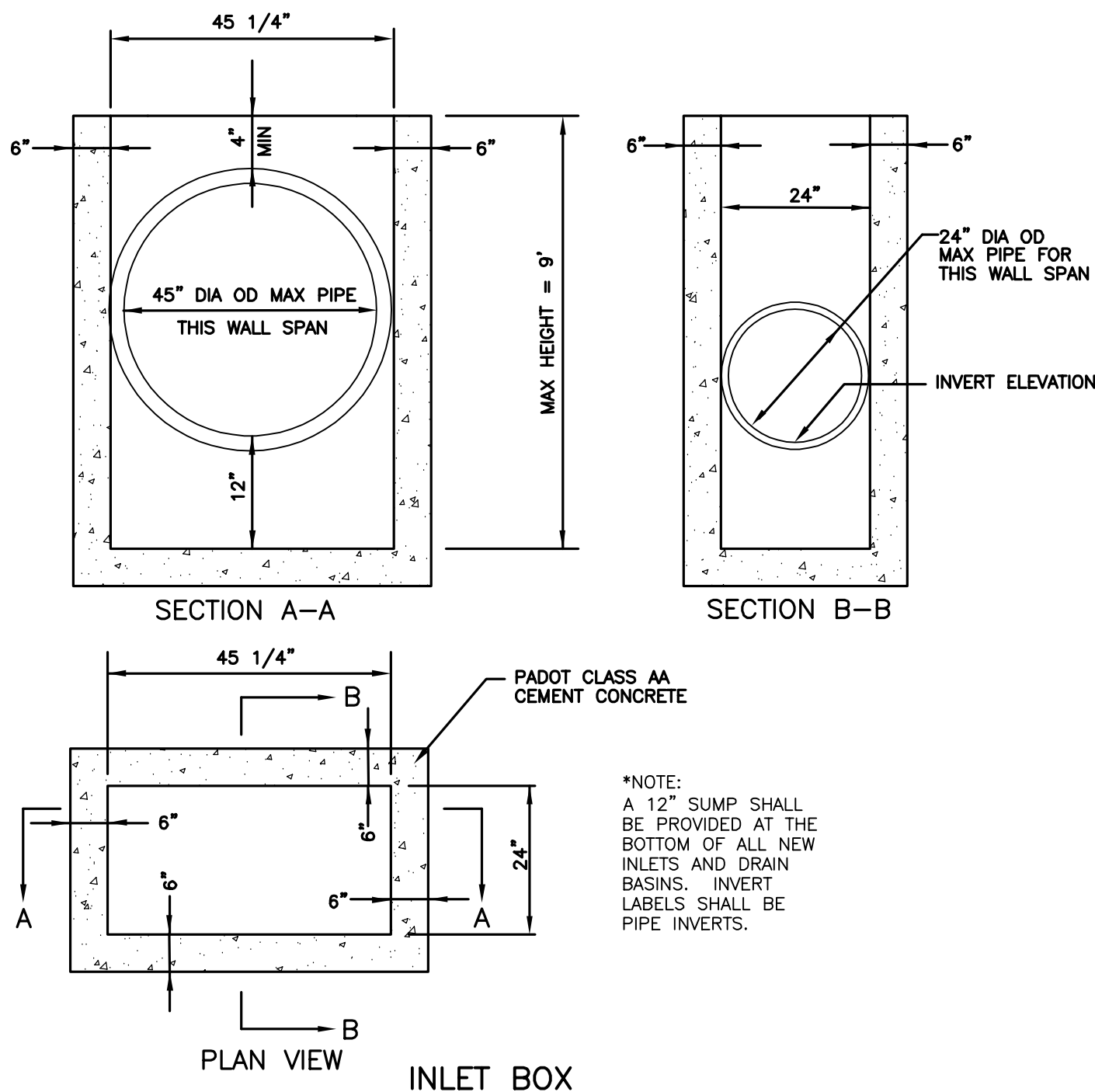
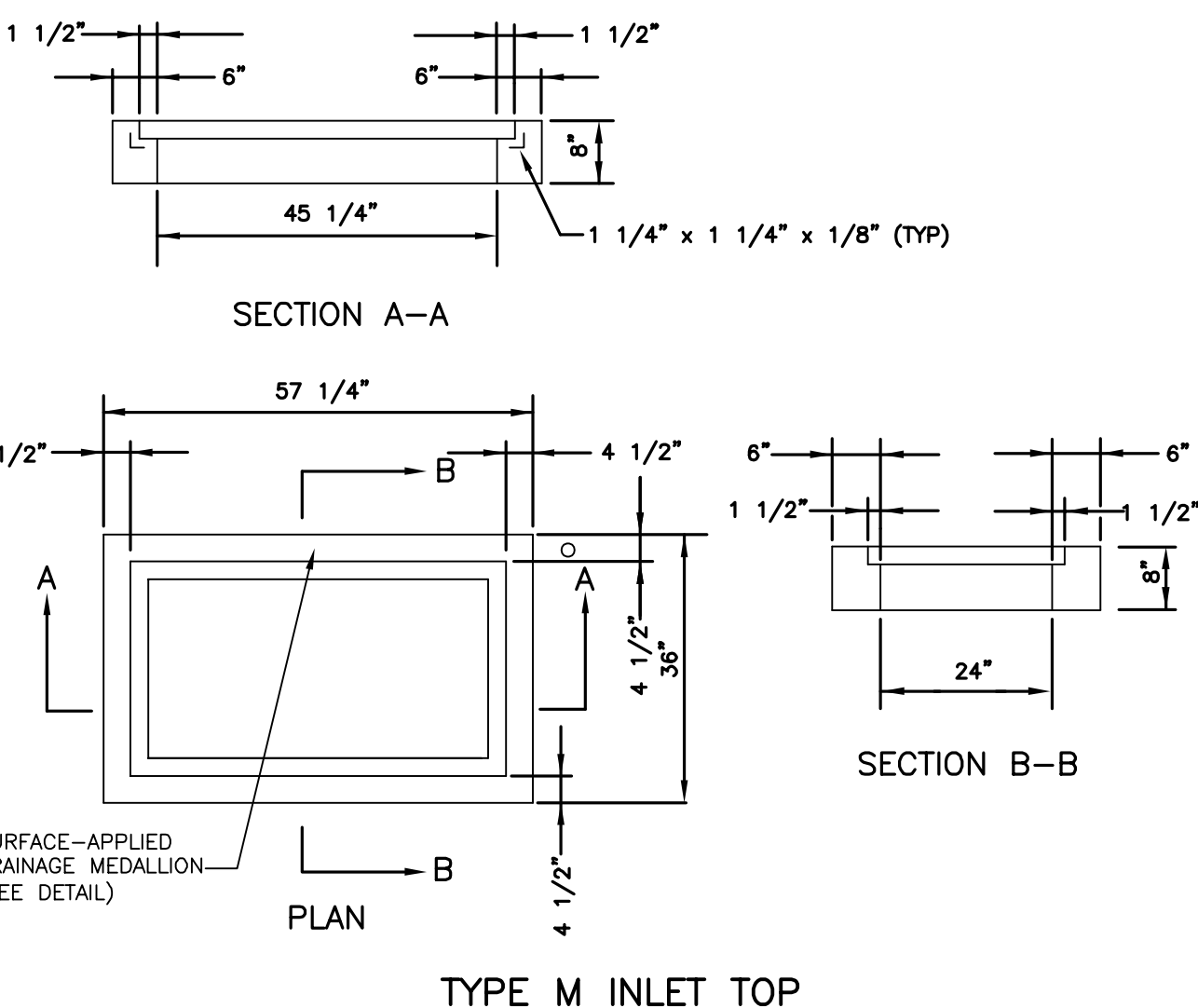
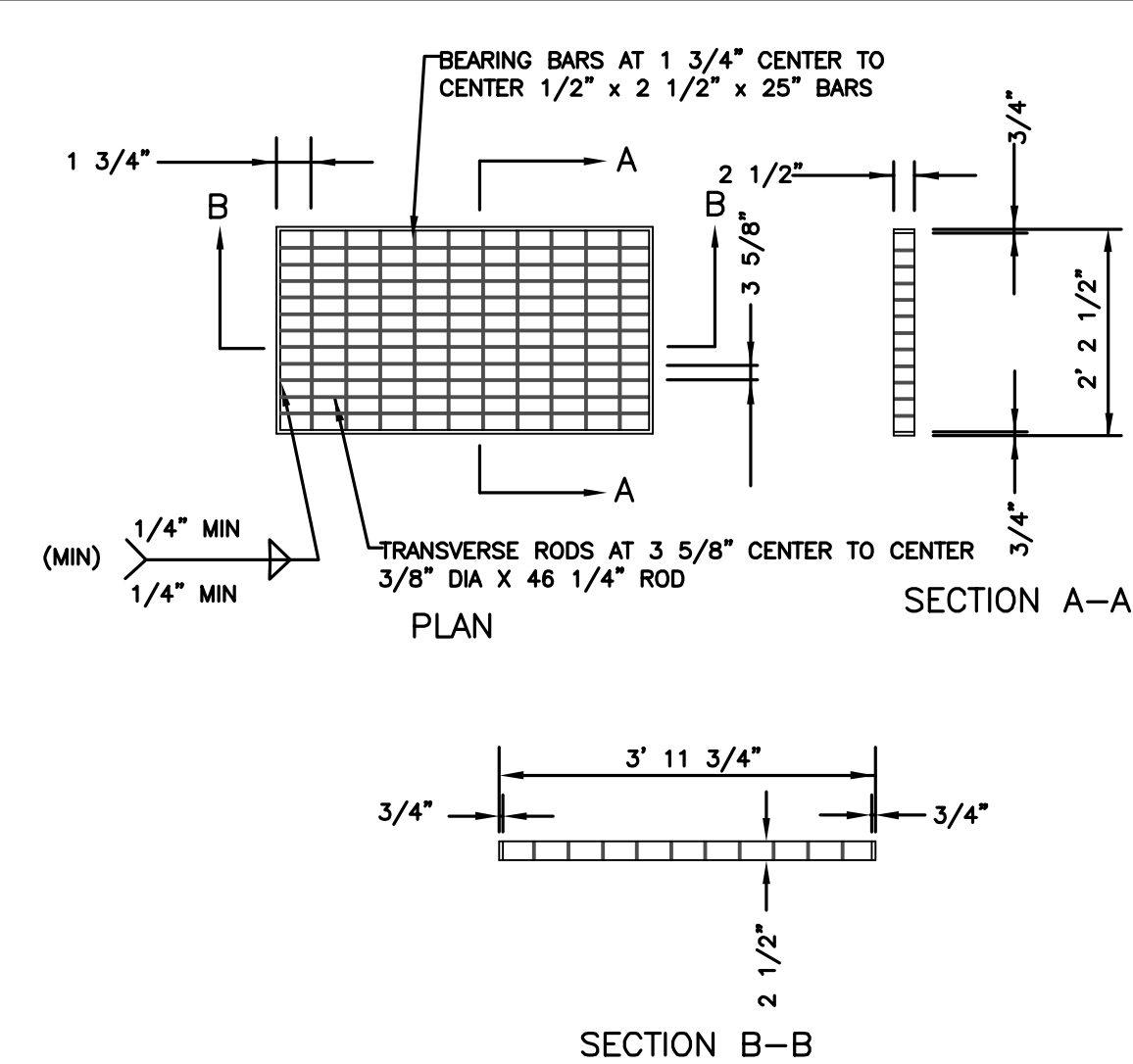


**OUTLET STRUCTURE PLAN VIEW**



- NOTES:**
- TRENCH WALLS TO BE VERTICAL TO A DEPTH OF AT LEAST 12" ABOVE TOP OF PIPE.
  - \* WIDTH DETERMINED BY PIPE INSTALLATION APPLICATION.
  - \*\* OVER-EXCAVATE TRENCH ADDITIONAL 3" IF ROCK, HARD SHALE, OR UN-YIELDING MATERIAL ENCOUNTERED BACKFILL WITH SPECIFIED BEDDING MATERIAL.

**PIPE BEDDING**



420 Allegheny Street  
 Hollidaysburg, PA 16648  
 P:(814) 696-7430  
 www.keller-engineers.com

**KELLER ENGINEERS**  
 CIVIL • STRUCTURAL • SURVEY

BRIAN E. SMITH  
 REGISTERED PROFESSIONAL ENGINEER  
 PENNSYLVANIA

9/1/2023 & JMK  
 DATE & INITIALS

CITY REVIEW COMMENTS  
 REVISION DESCRIPTION

**PCSM NOTES & DETAILS**

BENZEL'S SALT ROOM ADDITION

CITY OF ALTOONA, BLAIR COUNTY PENNSYLVANIA

KELLER ENGINEERS, INC. EXPRESSLY RESERVES ITS RIGHTS AND OTHER RIGHTS CONTAINED IN THESE PLANS AND DESIGNS. THEY ARE CHANGED, ALTERED OR COPIED IN ANY FORM OR MANNER, NOR ARE THEY TO BE REPRODUCED OR USED WITHOUT THE WRITTEN PERMISSION AND CONSENT OF KELLER ENGINEERS, INC.

PROJECT NO.: 641-3  
 FILE NAME: PCSM.DWG  
 DATE: 09/11/2023  
 DESIGNED BY: JMK  
 DRAWN BY: JMK  
 CHECKED BY: BES

**PC2**

## WAIVER REQUEST BENZEL SALT STORAGE ADDITION

1. *Chapter 640 Subdivision of Land and Land Development  
640-63.G - Bicycle parking.*

The request for bicycle parking is being asked to be waived from current requirements. No additional employees will be added as a result of the project. At present, no current employees ride a bicycle to work. If an employee would ride a bicycle to work they could park the bicycle in the building.

2. *Chapter 640 Subdivision of Land and Land Development  
640-64.A(1) - Sidewalks shall be provided along the entire length of the property.*

The request for a new sidewalk along the entire length of the property frontage along 6<sup>th</sup> Avenue will cause an undue hardship for the owner and is being asked to be waived from current requirements. Over 500 feet of sidewalk would be required, which is significant. The request for the sidewalk does not fit within the existing context of the west side of 6<sup>th</sup> Avenue as no other existing business has any sidewalk to connect to for any continuity. Also, immediately south of the Benzel property there is guiderail approximately six feet off the edge of the roadway. A sidewalk could not easily be extended south of the property. There is sidewalk along the east side of 6<sup>th</sup> Avenue the entire length of the property.

3. *Chapter 640 Subdivision of Land and Land Development  
640-65.D - Foundational landscaping is to be provided.*

The request for foundational landscaping is being asked to be waived from current requirements. Maintaining landscaping around foundation would be difficult due to loading docks, traffic circulation, building access, and stormwater facilities. The area of proposed salt storage addition is presently an impervious paved area. The front of the Benzel property is heavily landscaped and well maintained.

4. *Chapter 640 Subdivision of Land and Land Development  
640-65.H - All landscaping and improvements shall be maintained and must be replaced if vegetation is damaged, diseased, or dies.*

If waiver 2 above is approved, this note will not need to be added to the plan.



August 22, 2023

Ms. Rebecca Brown  
Director  
City of Altoona  
Department of Codes and Inspections  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601

RE: Groundhog Solar, 800 N 4<sup>th</sup> Avenue  
Land Development Review

Dear Ms. Brown:

At the request of the City of Altoona, we have completed our review of land development plan for the above referenced project. The following information was provided to our office on 08/01/2023 for review of a land development located at 800 N 4<sup>th</sup> Avenue in the City of Altoona, Blair County:

- Final Land Development Plans for Outdoor Solar Panel Showroom for Groundhog Solar, LLC. as prepared by P. Joseph Lehman, Inc. Consulting Engineers, 14 sheets, project no. 7214, dated 07.26.23
- Post Construction Stormwater Management Plan for Outdoor Solar Panel Showroom prepared for Groundhog Solar, LLC, as prepared by P. Joseph Lehman, Inc. Consulting Engineers, dated July 26, 2023
- Erosion and Sediment Pollution Control Plan for Outdoor Solar Panel Showroom prepared for Groundhog Solar, LLC, as prepared by P. Joseph Lehman, Inc. Consulting Engineers, dated July 26, 2023
- Project Narrative for Groundhog Solar, LLC Outdoor Solar Panel Showroom

The above information has been reviewed for conformance with Chapter 620 and Chapter 640 of the Code of Ordinances for the City of Altoona, Blair County, Pennsylvania. This review was completed for ordinance conformance only. We do not accept any liability for any potential design errors or oversights made by the design engineer. Members of the City of Altoona Planning Commission have the final decision regarding comments for the construction plans. The developer shall address the following comments and proceed with final plan preparation.

#### General

1. All signature blocks are to be executed.
2. No changes can be made to the approved plans during construction without the approval of the City. After construction is complete provide record or as-built drawings to the city of all approved changes made during construction.
3. Zoning Hearing Board approval has expired and will need to be re-approved.
4. On sheet 2 under Site Data it states the project site address is 1024 Chestnut Avenue. This does not appear to be correct.
5. Remove "(If Necessary)" text from the Rock Construction Entrance on the E&S plan.

#### Chapter 620 Stormwater Management, Erosion and Sediment Control

6. 620-1.B. Prior to the commencement of any improvement which involves an earthmoving disturbance greater than 5,000 square feet, all erosion and sedimentation control plans must be submitted by the applicant to, and approved by, the Blair County Conservation District. A copy of the approval letter from the Blair County Conservation District has been received.

7. 620-16.A. The city Department of Public Works (DPW) requires a review fee. This fee is \$275.00. The consultant review fee will be in addition to the in-house reviews.

Land Development:

8. 640-57.C. Provide list of waivers being requested by the applicant, along with an explanation as to why the applicant feels each waiver request is appropriate.
9. 640-57.H Provide proof of review and approval (for the Land Development Plan) from the County Planning Commission.
10. 640-58.I. Please add a signature line to the Altoona City Planning Commission signature block.
11. 640-63.C(1) Facilities shall be designed so that each vehicle may enter and exit a parking space without maneuvering into a public right-of-way. It appears a waiver is required to this section as the plans are proposing to use the alley to maneuver into and out of the spaces.
12. 640-63.C(3c1) Perpendicular stalls require a twenty-four-foot accessway. The width provided behind the proposed stalls does not appear to meet this requirement and should be increased.
13. 640-63.C(4a) Spaces for the physically disabled shall be provided.
14. 640-63.C(7) Curbing shall be placed at the edges of all surfaced areas, including islands. It appears a waiver is desired.
15. 640-63.D(5) Concerning parking requirements, in the event a standard is not listed for a particular use, the Planning Commission shall establish a standard during the review and approval. This appears to be the case in this scenario.
16. 640-63.G(1) For every 10 spaces provided by the applicant for motor vehicles, one bicycle parking space shall be provided, with a minimum of two bicycle spaces for all proposals.
17. 640-64.A(2) All Sidewalks shall be constructed to provide adequate access to the physically disabled.
  - Provide proof of PennDOT Highway Occupancy Permit for work within N. 8<sup>th</sup> Street right-of-way.
  - DWS in the Right-of-Way to be Brick Red Composite. Please add a note to ADA ramp detail.
18. 640-65.C(3) Along the frontage, the area shall be planted with shrubs and trees so as to provide a pleasant driving and walking atmosphere and to minimize the impact of the project on the street.
19. 640-65.C(4) Along the parking lot, trees and shrubs shall be planted so as to screen the parking facility from all surrounding streets and properties. The intent is to mitigate the impact of vehicle noise, lights, and fumes on adjacent land. Such vegetation shall be planted so as to provide a full screen within five years. The city requires bushes planted at 3' on center.
20. 640-65.C(6) Elsewhere the plantings shall be designed to screen and filter out noise, light, and odor produced by the proposal and create a full screen within five years.
21. 640-65.G If a dumpster is needed, it must be shown on the plan in conformance with this section.
22. 640-65.H. All landscaping and improvements that are specifically required by this section shall be maintained and must be replaced if the required vegetation is damaged, diseased, cut, or dies. This is to be noted on the plan.

Should you have any questions please do not hesitate to contact The EADS Group at (814) 944-5035 or [sshoenfelt@eadsgroup.com](mailto:sshoenfelt@eadsgroup.com).

Sincerely,

**The EADS Group, Inc.** (Altoona)



By: Stephanie C. Shoenfelt, P.E.

cc: Project File

R:\0283 City of Altoona\19478 City of Altoona\Phase 62 - Task Order 68 - Plan Reviews 2023\Groundhog Solar\230821 Review 1 Groundhog Solar.docx



[www.eadsgroup.com](http://www.eadsgroup.com)



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**P. JOSEPH LEHMAN, INC.**  
CONSULTING ENGINEERS

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August 29, 2023

7214

GROUNDHOG SOLAR LLC  
OUTDOOR SOLAR PANEL SHOWROOM  
REVIEW RESPONSE

Ms. Rebecca Brown, Director  
City of Altoona  
Department of Codes and Inspections  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601

Dear Ms. Brown:

Enclosed are two (2) copies of the revised documents for the above-mentioned project. This submission is in response to the City Engineer's review letter dated August 22, 2023. The comments have been addressed as follows:

General

1. Signature blocks will be executed once all technical review comments have been addressed.
2. Notes have been added to sheet 2 requiring City approval of all changes during construction and record or as-built drawings for all approved changes made during construction.
3. So noted that Zoning Hearing Board approval has expired. An application has been refiled and will be heard by the Board at their September 6<sup>th</sup> meeting.
4. The site address has been revised.
5. The rock construction entrance label has been revised.

Chapter 620 Stormwater Management, Erosion and Sediment Control

6. So noted that the Conservation District has approved the erosion control plans.
7. A check for the Department of Public Works \$275.00 review fee will be forwarded under another cover letter. So noted that consultant review fees will be in addition to the in-house reviews.

Land Development:

8. Requested waivers are listed in this response letter.
9. A copy of the County Planning Commission review will be forwarded when received.
10. The City's signature block has been revised on all sheets.
11. The parking stalls were rotated to a 45-degree angle, thus only needing a 14' wide aisle. Vehicles exiting these stalls will require encroachment into the right of way by 5.4'. The developer is requesting a waiver to this section of the ordinance.
12. The parking stalls were rotated to a 45-degree angle, requiring only a 14' wide aisle.
13. A handicap parking stall has been added to the plans.
14. The developer is requesting a waiver to this section of the ordinance. Stormwater runoff is controlled by grading and traffic is controlled by landscaping.

cont.



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**P. JOSEPH LEHMAN, INC.**  
CONSULTING ENGINEERS

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15. So noted that the Planning Commission will need to establish a standard. The proposed site is a display lot only. Only the salesman and potential buyer will access the proposed site by appointment only. The sales office is located off-site at a different address.
16. The developer is requesting a waiver to this section of the ordinance. Access to the site is by appointment only. If the salesman or potential buyer ride a bike to the site, they can utilize one of the parking stalls.
17. PADOT has reviewed the permit application and determined that the proposed sidewalk is outside their right of way. Attached is a letter from the Department with this decision. A note for Brick Red Composite DWS has been added to the detail on sheet 8.
18. Trees are proposed at the two corners of the property, decorative grass along the inside of the fence and cultivated wildflowers bordering the solar panels. International Fire Code standards for ground mounted solar panels has vegetation setback requirements which prevent additional trees and shrubs from being install. The developer is requesting a waiver to this section of the ordinance.
19. Trees and decorative grasses are proposed around the parking lot to mitigate the impact of occasional vehicular traffic. International Fire Code standards for ground mounted solar panels has vegetation setback requirements which prevent additional trees and shrubs from being install. The developer is requesting a waiver to this section of the ordinance.
20. Trees are proposed at the two corners of the property, decorative grass along the inside of the fence and cultivated wildflowers bordering the solar panels. International Fire Code standards for ground mounted solar panels has vegetation setback requirements which prevent additional trees and shrubs from being install. The developer is requesting a waiver to this section of the ordinance.
21. There is no product being manufactured at this site nor is there any office space. No dumpster is required.
22. Note 2 on sheet 7 has been revised to reflect this wording.

Don't hesitate to call me if there are any questions. The office telephone number is 814-695-7500.

Sincerely,

Kenneth W. Szala, P.E.  
Land Development/Building Systems Director

Enclosures

KWS/eah

cc: Mr. Richard Flarend, Groundhog Solar, LLC





September 6, 2023

Ms. Sabrina Appel-McMillen, GIS & Land Use Coordinator  
Altoona City Hall  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601

Dear Ms. Appel-McMillen:

The Blair County Planning Commission is in receipt of the Groundhog Solar Outdoor Showroom, located at the corner of N 8<sup>th</sup> Street and N 4<sup>th</sup> Avenue, for review under the provisions of the Pennsylvania Municipalities Planning Code and other relevant statutes. Our review has revealed the following.

- This proposal is for the construction of an outdoor solar panel showroom on a 0.206 acre parcel owned by Groundhog Solar, LLC. Additional site improvements include sidewalks, landscaping, parking facilities, and a maintenance shed.
- Proposed parking at the site will consist of 2 standard paved vehicle parking spaces, which should be sufficient for the showroom's proposed call-to-schedule usage.
- Access to the proposed site appears to be through the rear alley, which connects to N 8th Street. The proposed outdoor showroom appears to be enclosed in a 5-foot-high chain-link fence with two 4-foot-wide gates in front of the parking area. Because of the site's intended use as a by-appointment showroom, the proposed site access should not be a significant cause for concern.
- Sidewalks are proposed along N 8<sup>th</sup> Street to continue the existing N 4<sup>th</sup> Avenue sidewalk, that presently ends at the corner, to the alley. Included with the sidewalk is a tapered, detectable surface design which is appreciated for its ADA compliance.
- The construction of an outdoor showroom has the potential to generate additional peak hour vehicle trips at the site; however, we do not anticipate that any increase would be significant enough to warrant a Transportation Impact Study. We recommend, if the developer has not already done so, to consult with the City in order to assess any unforeseen negative impacts on the local transportation system as a result of this proposal.
- Landscaping plans provided with this proposal include various trees and shrubs throughout the site, including street trees along both N. 8<sup>th</sup> Street and N 4<sup>th</sup> Avenue, which should make for an attractive site as well as provide a sufficient buffer for headlight glare onto and off of the property.
- No lighting plan or photometrics have been included with this plan; the developer should ensure that all exterior lighting be shielded or directed in a manner that prevents glare into neighboring properties and roadways.

-continued-

Page 2  
Ms. Appel-McMillen  
September 6, 2023

- Environmentally, our review of natural features at this location did not reveal any immediate environmental concerns; the site is not located within the 100-year floodplain, nor does it contain any wetlands, steep slopes, prime agricultural soils or Blair County Natural Heritage Inventory areas.
- This site is located within the Little Juniata River Watershed. This proposal includes reseeded the existing compacted gravel lot in order to grow grass, which should not only help mitigate any runoff, but also any potential thermal impacts as a result of this proposal.

In summary, we find this proposal to be consistent with countywide planning efforts as presented in the *Alleghenies Ahead* Regional Comprehensive Plan, adopted July 31, 2018, which includes comprehensive planning for Blair County. Thank you for the opportunity to review and comment on this proposal. If you should have any questions, please feel free to contact me.

Sincerely,

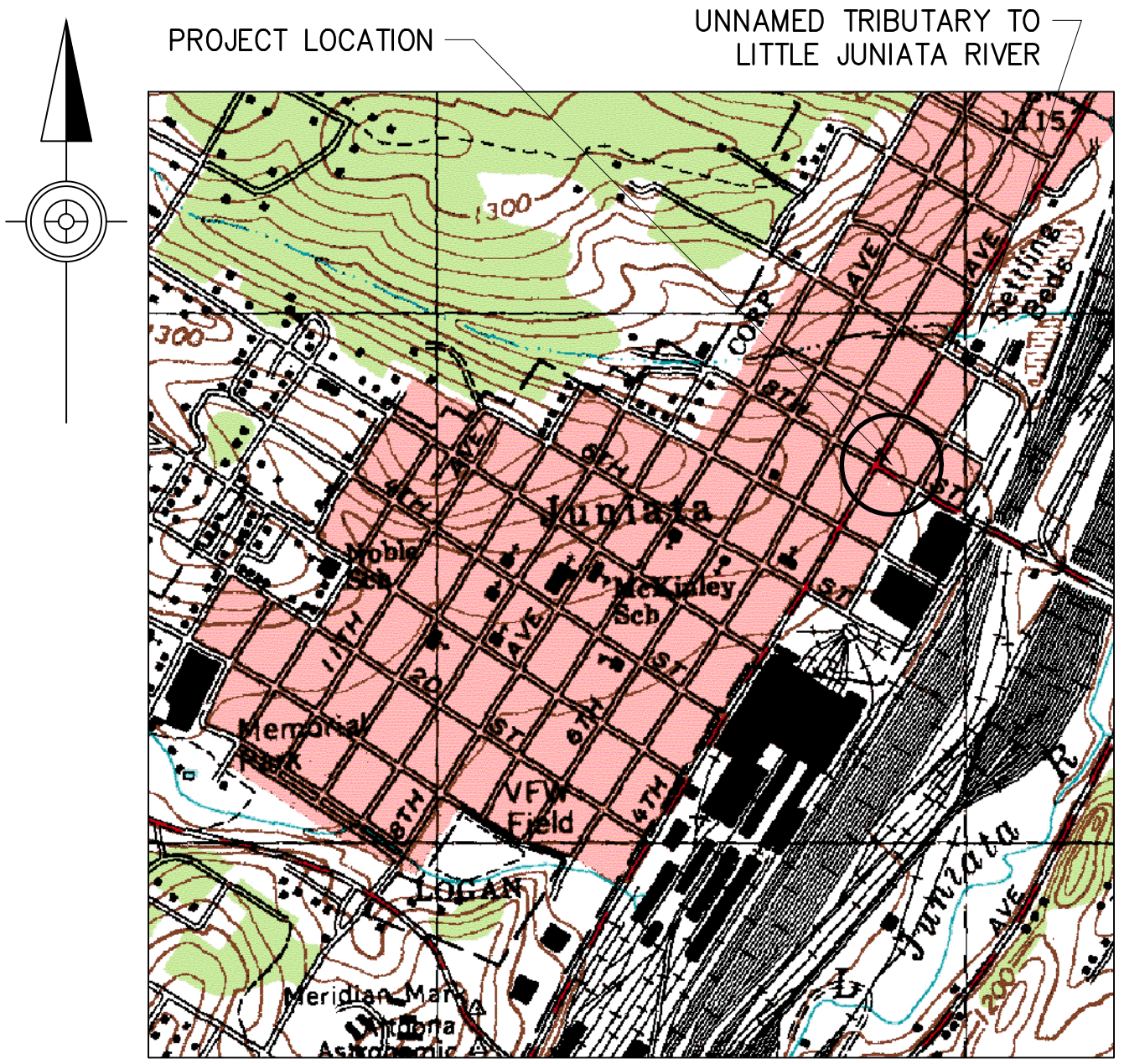


MacKenzie L. Caron  
Community Planner

cc: Ken Szala, PE – P. Joseph Lehman, Inc.



FILE: G:\Projects\72xx\7214 Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Final\1\_Title.dwg  
USER: EHeggi  
DATE: 08/29/23 - 09:13 PM



ALTOONA QUAD  
SCALE 1" = 1000'

# FINAL LAND DEVELOPMENT PLANS

FOR

## OUTDOOR SOLAR PANEL SHOWROOM

FOR

## GROUNDHOG SOLAR, LLC.

IN

## CITY OF ALTOONA, BLAIR COUNTY

## PENNSYLVANIA

JULY 26, 2023

REVISED AUGUST 29, 2023



**P. JOSEPH LEHMAN, INC.**  
CONSULTING ENGINEERS

POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
(814) 695-7500 www.LEHMANENGINEERS.com



### ENGINEER'S CERTIFICATION

I, \_\_\_\_\_, ON THIS DATE \_\_\_\_\_, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 620 OF THE CITY OF ALTOONA CODIFIED ORDINANCES, AS AMENDED.

### OWNER'S STORMWATER CERTIFICATION

ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2023 THE OWNER IS RESPONSIBLE FOR THE PERPETUAL OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. FURTHERMORE, THE OWNER ACKNOWLEDGES THE STORMWATER MANAGEMENT SYSTEM TO BE A PERMANENT FIXTURE WHICH CAN BE ALTERED OR REMOVED ONLY AFTER A REVISED STORMWATER PLAN IS APPROVED BY THE CITY.

OWNER(S) \_\_\_\_\_  
RICHARD FLAREND  
GROUNDHOG SOLAR, LLC.

### OWNER'S CERTIFICATION

ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2023 THE UNDERSIGNED OWNERS PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT THEY WERE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIGNS, THE SAME TO BE RECORDED AS SUCH, ACCORDING TO THE LAW.

OWNER(S) \_\_\_\_\_  
RICHARD FLAREND  
GROUNDHOG SOLAR, LLC.

WITNESS MY HAND AND SEAL, THIS DATE \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_ COMMISSION EXPIRES \_\_\_\_\_

### ALTOONA CITY PLANNING COMMISSION

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATE: \_\_\_\_\_

### BLAIR COUNTY PLANNING COMMISSION

REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION ON

\_\_\_\_\_

SIGNED \_\_\_\_\_

### RECORDING CERTIFICATE



SITE DATA

GENERAL NOTES

LIST OF PUBLIC UTILITIES

EXISTING OWNER/DEVELOPER:  
GROUNDHOG SOLAR, LLC.  
209 W 15TH AVENUE  
ALTOONA, PA 16601

TAX PARCEL NO. 01.013-39.-038.00-000  
DEED REF: 2020-09704

PROJECT SITE ADDRESS:  
800 N. 4TH AVE.

THE PURPOSE OF THIS PLAN IS TO DEPICT SITE IMPROVEMENTS FOR AN OUTDOOR SOLAR PANEL DISPLAY SHOWROOM

NO WATER OR SEWER SERVICE WILL BE PROVIDED.

TOTAL PROPERTY AREA: 0.206 ACRES  
TOTAL DISTURBED AREA: 0.233 ACRES

EXISTING USE: VACANT LOT

PROPOSED USE: OUTDOOR DISPLAY SHOWROOM

ZONING: C-CB CENTRAL BUSINESS

SETBACKS:  
FRONT 0' MIN.; 10' MAX.  
REAR 0' MIN.  
SIDE 0' MIN.; 10' MAX. WHERE ADEQUATE LEASABLE PARKING EXISTING WITHIN 1 BLOCK; WHERE ADEQUATE LEASABLE PARKING DOES NOT EXIST WITHIN 1 BLOCK, BUILDINGS MAY IGNORE THE MAXIMUM SETBACK REQUIREMENT ON 1 SIDE ONLY.

PARKING PROVIDED: 2 STALLS (INCLUDING 1 HANDICAP STALL)

ALL MATERIALS, WORKMANSHIP AND METHODS OF WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE MOST CURRENT VERSION OF PADOT PUBLICATION 408 SPECIFICATIONS AND PUBLICATION 72M AS ACCEPTED AND COMMONLY USED BY THE MUNICIPALITY.

FTP: //FTP.DOT.STATE.PA.US/PUBLIC/PUBSFORMS/PUBLICATIONS/PUB%2012.PDF

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL ELEVATIONS AND DIMENSIONAL INFORMATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER.

BENCHMARK: SEE PLANS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING BENCHMARK ELEVATIONS PRIOR TO THE START OF ANY AND ALL CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL REPLACE ANY MISSING SURVEY MARKERS PRIOR TO THE START OF CONSTRUCTION.

PROPOSED FACILITIES INDICATED BY VERTICAL LETTERING.

EXISTING FACILITIES INDICATED BY *SLANTED* LETTERING.

P. JOSEPH LEHMAN (P.JL) MUST BE CONSULTED PRIOR TO FIELD ADJUSTMENTS DURING CONSTRUCTION. P.JL WILL NOT ACCEPT RESPONSIBILITY FOR ANY CONDITIONS, WHICH DEVIATE FROM THOSE DEPICTED ON THESE PLANS. P.JL WILL NOT BE RESPONSIBLE FOR THE IMPLEMENTATION OF THESE PLANS IF NOT NOTIFIED OF ANY CHANGES DURING CONSTRUCTION.

DO NOT SCALE DRAWINGS. CONTRACTOR TO USE ELECTRONIC FILE TO DETERMINE STAKEOUT LOCATIONS AND DISTANCES FOR CONSTRUCTION PURPOSES.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION AND CONTACTING ALL UNDERGROUND UTILITIES PRIOR TO THE START OF ANY AND ALL EXCAVATION IN ACCORDANCE WITH ACT 187.

AS PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 42013C0142D DATED MARCH 2, 2012, THE PROPOSED SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA.

IT IS RECOMMENDED THAT AN INSPECTOR BE RETAINED TO PROVIDE OBSERVATION AND TESTING OF CONSTRUCTION ACTIVITIES RELATED TO THE DESIGN ELEMENTS PROVIDED IN THESE PLANS. THE ENGINEER OF RECORD WILL NOT ACCEPT RESPONSIBILITY FOR THE PERFORMANCE OF THESE PLAN DESIGNS IF AN INDEPENDENT THIRD PARTY INSPECTOR OR P. JOSEPH LEHMAN IS NOT ENGAGED TO PROVIDE CONSTRUCTION OBSERVATION AND TESTING FOR THIS PROJECT.

THESE PLANS MUST BE READ IN THEIR ENTIRETY TO OBTAIN A MORE COMPLETE UNDERSTANDING OF THE INFORMATION PROVIDED AND TO AID IN ANY DECISIONS MADE OR ACTIONS TAKEN BASED ON THESE PLANS.

THE DEVELOPER MUST ADHERE TO ALL OTHER LOCAL, STATE AND FEDERAL REQUIREMENTS AS REQUIRED.

ALL ELECTRIC, TELEPHONE, CABLE AND GAS LINES SHALL BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED.

THERE ARE NO LANDS TO BE OFFERED FOR DEDICATION TO THE CITY.

THERE ARE NO WETLANDS LOCATED WITHIN THE PROJECT AREA.

SEE THE FOLLOWING SUPPORTING DOCUMENTATION FOR ADDITIONAL INFORMATION:  
EROSION AND SEDIMENT POLLUTION CONTROL PLAN PREPARED BY P. JOSEPH LEHMAN, INC.  
DATED 07/26/2023.

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN PREPARED BY P. JOSEPH LEHMAN, INC.  
DATED 07/26/2023 AND REVISED 08/29/2023.

ALL PROPOSED PEDESTRIAN FACILITIES ON THESE PLANS SHALL BE CONSTRUCTED TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), AND THE ADA ACCESSIBILITY GUIDELINES CAD.

SUBJECT TO A PERFORMANCE COVENANT, DATED \_\_\_\_\_, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAYBE ON FILE WITH THE CITY OF ALTOONA CODE ENFORCEMENT DEPARTMENT, CITY OF ALTOONA PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

CONTRACTOR TO PROVIDE PROPER SIGNING FOR TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE MUTCD AND PADOT PUBLICATIONS 212 AND 213.

NO CHANGES CAN BE MADE TO THE APPROVED PLANS DURING CONSTRUCTION WITHOUT APPROVAL OF THE CITY.

AFTER CONSTRUCTION IS COMPLETE DEVELOPER/CONTRACTOR IS TO PROVIDE RECORD OR AS-BUILT DRAWINGS TO THE CITY OF ALL APPROVED CHANGES MADE DURING CONSTRUCTION.

IN ACCORDANCE WITH ACT 172, A LISTING OF UTILITIES IS PROVIDED. THE DEPICTED LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE FOLLOWING UTILITIES ARE PRESENT IN THE VICINITY OF THE PROJECT AREA.

STORM SEWER:  
CITY OF ALTOONA  
ATTN: KEVIN BECHTEL  
1301 12TH STREET, SUITE 300  
ALTOONA, PA 16601  
(814) 949-2446

TELEPHONE:  
VERIZON  
ATTN: RICHARD LAMPENFELD  
1119 16TH STREET, FLOOR 3  
ALTOONA, PA 16601  
(814) 231-6507

SEWAGE:  
ALTOONA WATER AUTHORITY  
WASTE WATER DIVISION  
ATTN: PRESTON WILSON  
900 CHESTNUT AVENUE  
ALTOONA, PA 16601  
(814) 949-2214

ELECTRIC:  
FIRST ENERGY CORP.  
ATTN: TIM FRYE  
405 WEST PLANK ROAD  
ALTOONA, PA 16602  
(814) 949-4652

WATER:  
ALTOONA WATER AUTHORITY  
WATER DIVISION  
ATTN: TIM MANELY  
832 20TH STREET  
ALTOONA, PA 16601  
(814) 949-2214

CABLE:  
BREEZELINE  
ATTN: JEFF DODSON  
2200 BEALE AVENUE  
ALTOONA, PA 16601  
(814) 949-6314

NATURAL GAS:  
THE PEOPLES NATURAL GAS CO.  
ATTN: MARY LOU  
100 EAST BELLWOOD AVENUE  
ALTOONA, PA 16601  
(814) 505-5582

PENNSYLVANIA ONE-CALL SYSTEM, INC.  
PHONE NO. 1-800-242-1776  
DESIGN SERIAL NO. 20231382311

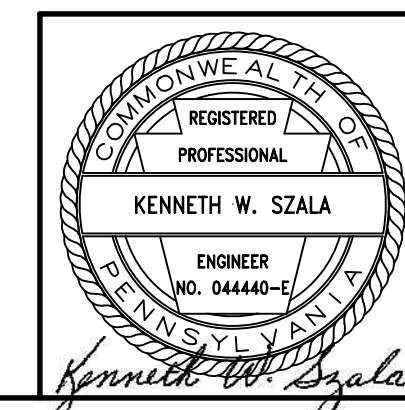
INDEX	
DESCRIPTION	SHEET
TITLE SHEET	1
GENERAL NOTES	2
EXISTING CONDITIONS PLAN	3
SITE PLAN	4
GRADING & DRAINAGE PLAN	5
EROSION & SEDIMENT CONTROL PLAN	6
UTILITY & LANDSCAPING PLAN	7
DETAILS	8-14

ALTOONA CITY PLANNING COMMISSION

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: \_\_\_\_\_

FILE: G:\Projects\72xx\7214 Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Final\2\_Index.dwg  
USER: EHeggi  
DATE: 08/29/23 - 09:13 PM



**P. JOSEPH LEHMAN, INC.**  
CONSULTING ENGINEERS  
POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
(814) 695-7500 www.LEHMANENGINEERS.com

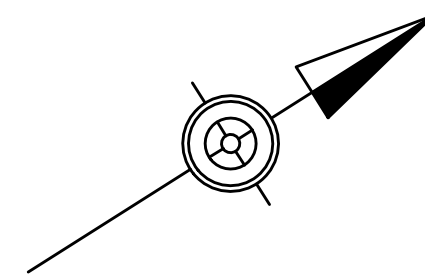
PROJECT NO. 7214 DATE: 07.26.23

DATE	NO.	REVISION
08.29.23	1	CITY ENGINEER LT 08.22.23

OUTDOOR SOLAR PANEL SHOWROOM  
GROUNDHOG SOLAR, LLC.  
CITY OF ALTOONA  
BLAIR COUNTY, PENNSYLVANIA

GENERAL NOTES

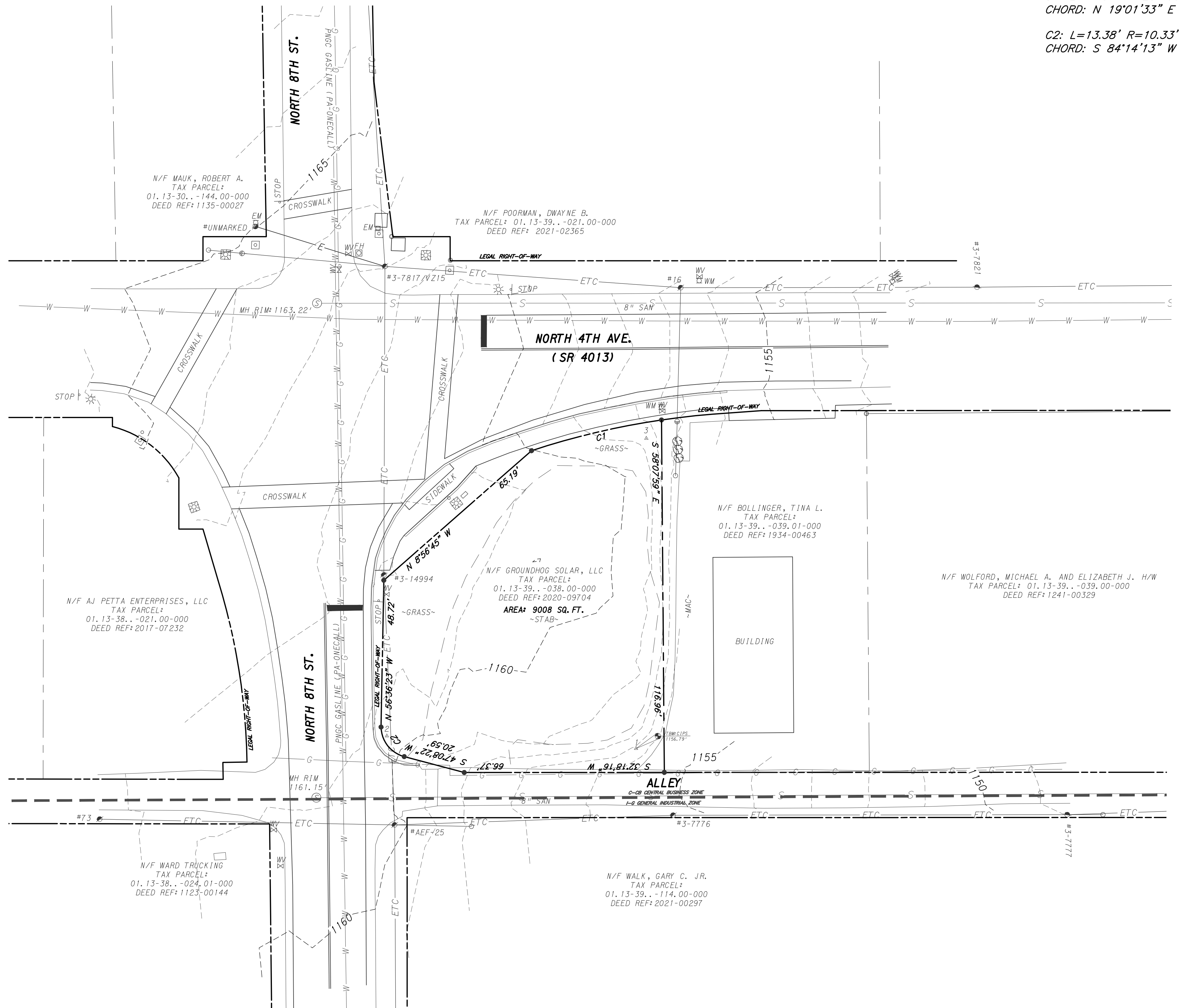
SHEET  
2 OF 14



**LEGEND**

- 1160 --- EXISTING CONTOUR LINE
- ==== RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROXIMATE ADJOINER LINE
- G — G — EXISTING GAS LINE
- S — S — EXISTING SANITARY SEWER LINE
- W — W — W — EXISTING WATER LINE
- ETC — EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- FH □ EXISTING FIRE HYDRANT
- WV □ EXISTING WATER VALVE
- ⊙ EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- ☀ EXISTING LIGHT
- ↑ EXISTING SIGN
- ⊗ EXISTING SHRUB
- IRON PIN/PIPE FOUND (AS NOTED)
- 5/8" REBAR SET (UNLESS OTHERWISE NOTED)
- △ CONTROL POINT
- ⊕ TEMPORARY BENCH MARK

**CURVE DATA**  
 C1: L=44.37' R=257.00'  
 CHORD: N 19°01'33" E 44.31'  
 C2: L=13.38' R=10.33'  
 CHORD: S 84°14'13" W 12.46'



**NOTES**

1. BEARINGS BASED ON NORTH AMERICAN DATUM 1983 (2011), PENNSYLVANIA SOUTH ZONE.
2. ELEVATIONS BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
3. ADJOINING PROPERTY LINES ARE APPROXIMATELY SHOWN WITH RESPECT TO TAX RECORDS AND RECORDED DEED INFORMATION.
4. THE PROPERTY SHOWN HEREON MAY OR MAY NOT BE ENCUMBERED BY ONE OR MORE ADVERSE, EASEMENTS, SERVITUDES, OR LIENS THAT COULD BE REVEALED BY A COMPLETE TITLE REPORT. THE SURVEYOR RESPONSIBLE FOR THIS PLAN WAS NOT FURNISHED WITH A COMPLETE TITLE REPORT PRIOR TO COMPLETION OF THIS SURVEY.
5. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE UNDERGROUND UTILITY LOCATIONS ARE SHOW WITH RESPECT TO OBSERVED EVIDENCE, UTILITY COMPANY DRAWINGS AND RECORDED EASEMENT DOCUMENTS.

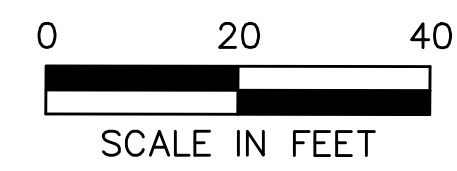
**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: \_\_\_\_\_

**SURVEY AND PLAN REFERENCES**

1. ALTOONA CITY BLOCK PLAN NUMBER 1382.
2. COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION DRAWINGS AUTHORIZING ACQUISITION OF RIGHT-OF-WAY FOR STATE ROUTE 4013 SECTION 03S R/W APPROVED JUNE 6, 2010.
3. PLAT OF SURVEY & RE-PLOT OF LOTS OWNED BY DWAYNE B. POORMAN BY RICK STEELE P.L.S. DATED JULY 17, AS RECORDED IN THE BLAIR COUNTY REGISTER AND RECORDERS OFFICE AT INSTRUMENT NUMBER: 202017789.
4. SURVEY OF PROPERTY BY JOHN DEGENNARO DATED OCTOBER 4, 1975 AS RECORDED IN THE BLAIR COUNTY REGISTER AND RECORDERS OFFICE IN DEED BK 977 PG 452.



  
**P. JOSEPH LEHMAN, INC.**  
 CONSULTING ENGINEERS  
 POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
 (814) 695-7500 www.LEHMANENGINEERS.com  
 PROJECT NO. 7214      DATE: 07.26.23

DATE	NO.	REVISION
08.29.23	1	CITY ENGINEER LT 08.22.23

**OUTDOOR SOLAR PANEL SHOWROOM**  
**GROUNDHOG SOLAR, LLC.**  
 CITY OF ALTOONA  
 BLAIR COUNTY, PENNSYLVANIA

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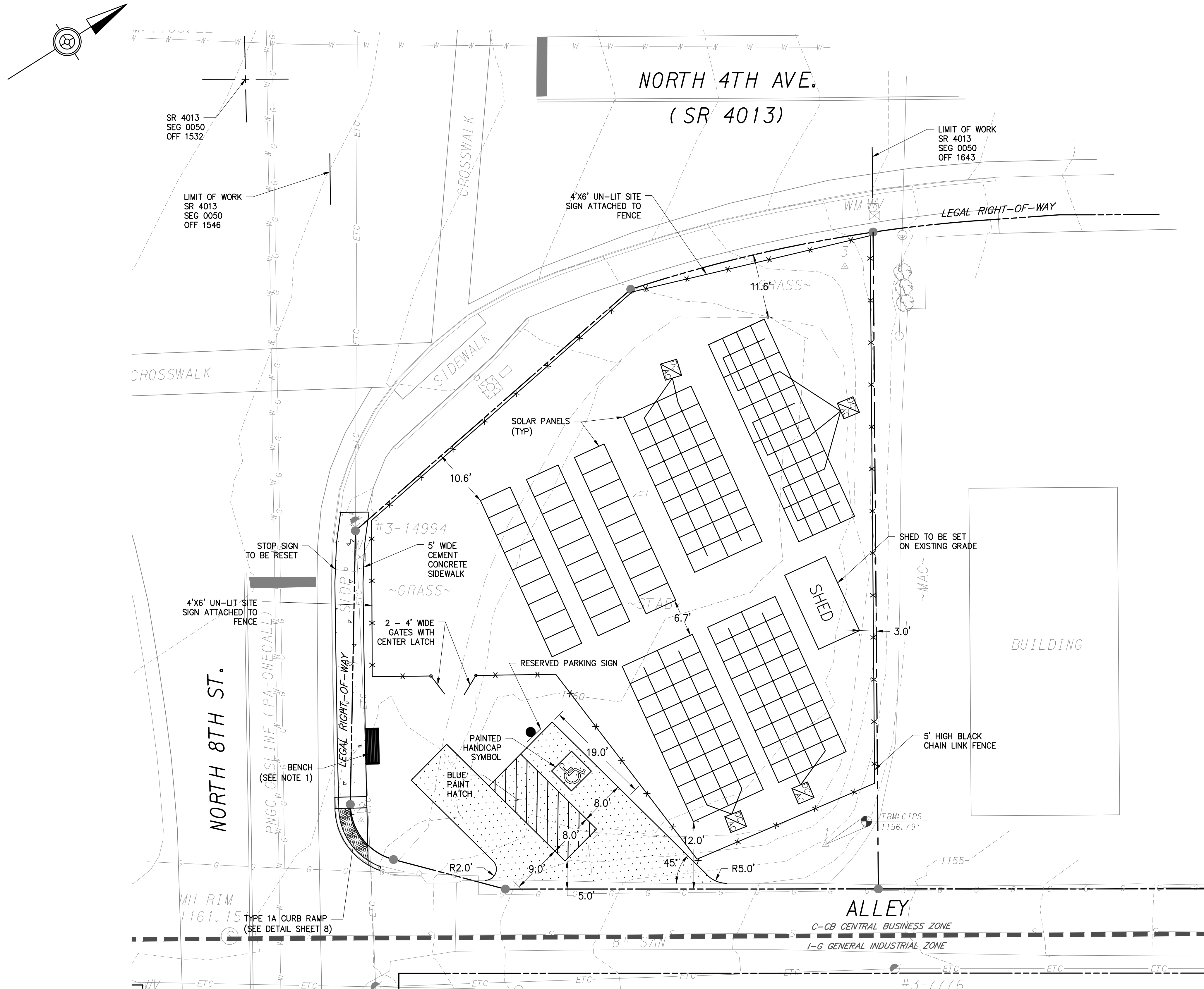
**EXISTING CONDITIONS**  
**PLAN**

SHEET  
 3 OF 14

FILE: G:\Projects\72xx\7214 Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Final\3-Existing.dwg  
 USER: EHeggi  
 DATE: 08/29/23 - 09:14 PM

**LEGEND**

- 1160 EXISTING CONTOUR LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROXIMATE ADJOINER LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING SIGN
- EXISTING SHRUB
- IRON PIN/PIPE FOUND (AS NOTED)
- 5/8" REBAR SET (UNLESS OTHERWISE NOTED)
- CONTROL POINT
- TEMPORARY BENCH MARK
- PROPOSED CEMENT CONCRETE SIDEWALK
- PROPOSED PARKING LOT PAVEMENT



**NOTE(S):**

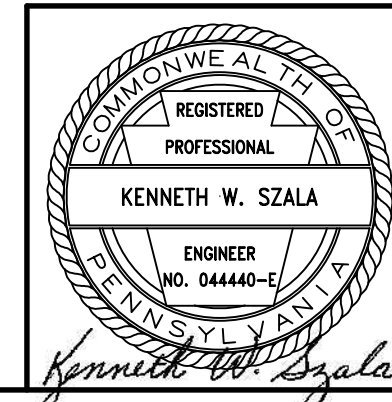
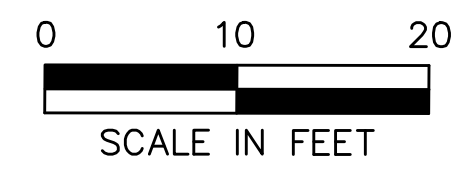
1. BENCH MODEL TO BE DETERMINED BY DEVELOPER. INSTALL BENCH AS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
2. ALL CURB RAMP CONSTRUCTION TO COMPLY WITH PADOT 67M DATED FEBRUARY 19, 2021. ALL DETECTABLE WARNING SURFACES ARE TO BE WET SET REPLACEABLE AND BRICK RED IN COLOR.

**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: \_\_\_\_\_

FILE: G:\Projects\72xx\7214 Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Final\5\_Site.dwg  
 USER: EHeggi  
 DATE: 08/29/23 - 09:14 PM



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 CONSULTING ENGINEERS  
 POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
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 PROJECT NO. 7214      DATE: 07.26.23

DATE	NO.	REVISION
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OUTDOOR SOLAR PANEL SHOWROOM  
 GROUNDHOG SOLAR, LLC.  
 CITY OF ALTOONA  
 BLAIR COUNTY, PENNSYLVANIA

---

**SITE PLAN**

SHEET  
 4 OF 14



**LEGEND**

- 1160 --- EXISTING CONTOUR LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROXIMATE ADJOINER LINE
- G — G — EXISTING GAS LINE
- S — S — EXISTING SANITARY SEWER LINE
- W — W — W — EXISTING WATER LINE
- ETC — EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- FH □ EXISTING FIRE HYDRANT
- WV □ EXISTING WATER VALVE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING LIGHT
- ⊙ EXISTING SIGN
- ⊙ EXISTING SHRUB
- IRON PIN/PIPE FOUND (AS NOTED)
- 5/8" REBAR SET (UNLESS OTHERWISE NOTED)
- △ CONTROL POINT
- ⊕ TEMPORARY BENCH MARK
- ▭ PROPOSED CEMENT CONCRETE SIDEWALK
- ▭ PROPOSED PARKING LOT PAVEMENT
- 1160 — PROPOSED CONTOUR LINE
- 60.00 ± PROPOSED SPOT ELEVATION
- 60.00 MATCH EXISTING ELEVATION = 1160.00
- 60.00 ELEVATION = 1160.00

**NOTE(S):**

1. THE PROJECT AREA DRAINS TO AN UNNAMED TRIBUTARY OF THE LITTLE JUNIATA RIVER, WHICH IS LOCATED 1000' NORTHEAST OF THE PROPERTY. THE TRIBUTARY IS DESIGNATED AS WARM WATER FISHERY/MIGRATORY FISHERY (TSF/MF) BY CHAPTER 93 WATER QUALITY STANDARDS.
2. UNLESS NOTED OTHERWISE, PROPOSED ELEVATIONS ARE TO MATCH EXISTING.
3. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR ALTER ANY EXISTING STORMWATER BMP, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER OR STORMWATER OFFICER. NO CHANGES CAN BE MADE TO THE APPROVED PLANS DURING CONSTRUCTION WITHOUT APPROVAL FROM THE CITY.

**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

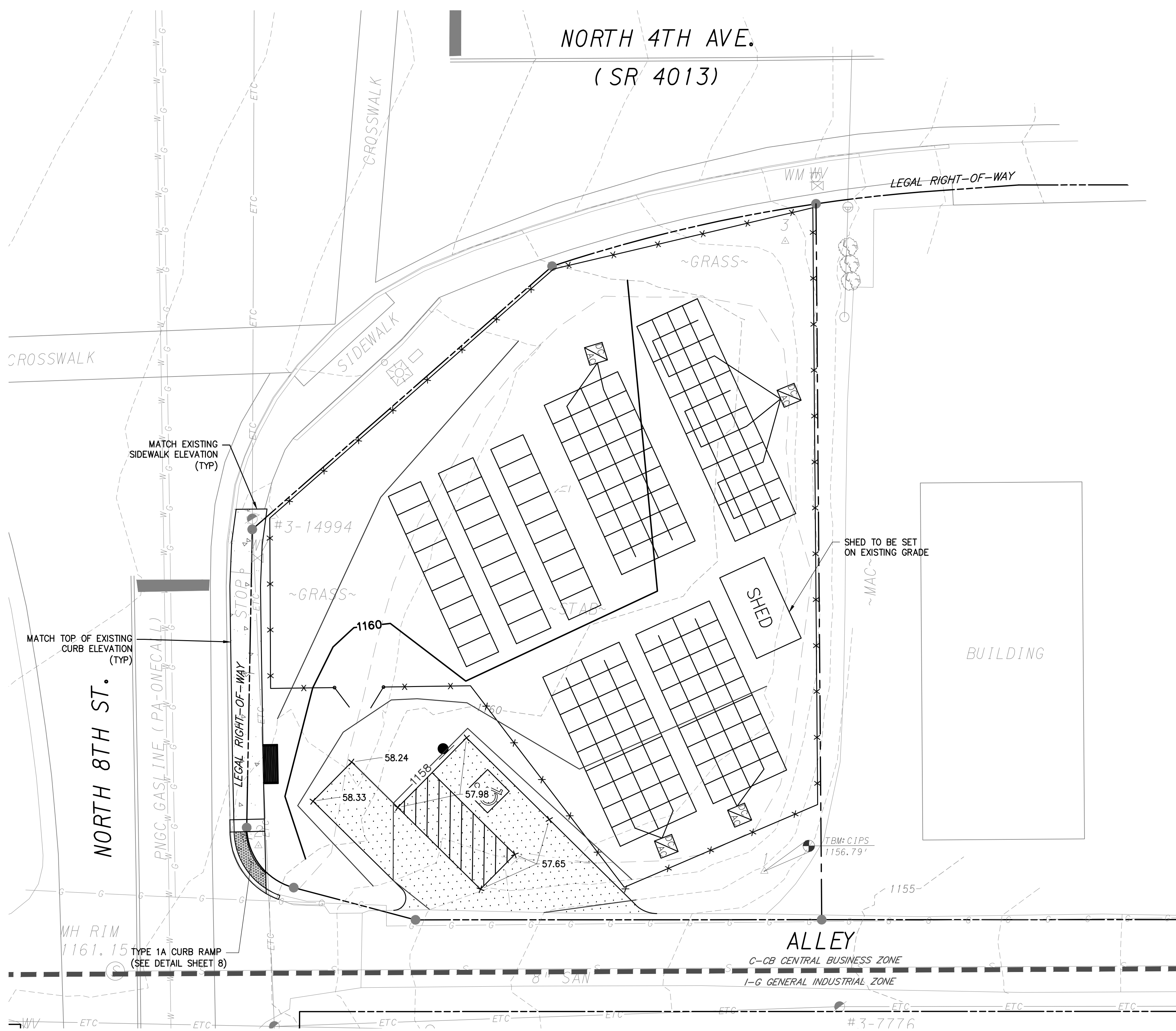
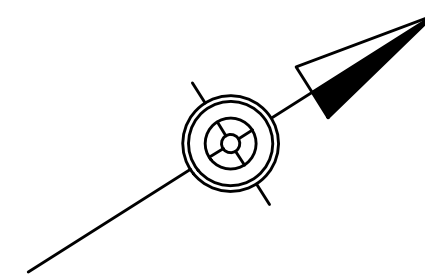
DATE: \_\_\_\_\_

DATE	NO.	REVISION
08.29.23	1	CITY ENGINEER LT 08.22.23

OUTDOOR SOLAR PANEL SHOWROOM  
GROUNDHOG SOLAR, LLC.  
CITY OF ALTOONA  
BLAIR COUNTY, PENNSYLVANIA

GRADING &  
DRAINAGE PLAN

SHEET  
5 OF 14

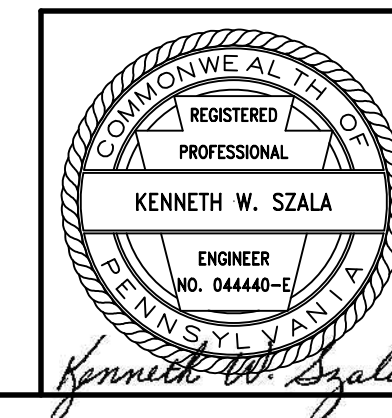
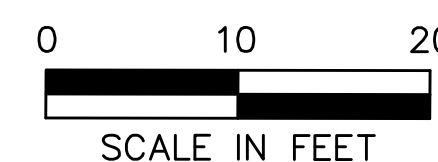


**STORMWATER MANAGEMENT FACILITIES OWNERSHIP AND MAINTENANCE PROGRAM**

THE STORMWATER MANAGEMENT FACILITIES DESIGNED FOR THIS PROJECT SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES SHALL CONSIST OF THE FOLLOWING:

- PERMANENT SITE STABILIZATION
- THE SEED/MULCH SHALL BE INSPECTED EVERY DAY UNTIL SEED HAS TAKEN. PROMPTLY REAPPLY MULCH MATERIALS WHICH BECOME DISLODGED OR LOST DUE TO WIND, RAIN, FIRE, OR OTHER CAUSES AT INITIAL OR MODIFIED RATES AS DIRECTED. AFTER ESTABLISHMENT, CHECK MONTHLY FOR BARE SPOTS. IF BARE SPOTS APPEAR, LOOSEN SOIL, APPLY LIME AND RESEED/MULCH.

OWNER:  
GROUNDHOG SOLAR, LLC  
209 W 15TH AVENUE  
ALTOONA, PA 16601



**P. JOSEPH LEHMAN, INC.**  
CONSULTING ENGINEERS  
POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
(814) 695-7500 www.LEHMANENGINEERS.com

PROJECT NO. 7214 DATE: 07.26.23

FILE: G:\Projects\72xxx\7214 Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Final\6\_G&D-Spot.dwg  
USER: EHeggi  
DATE: 08/29/23 - 09:15 PM

**LEGEND**

- EXISTING CONTOUR LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROXIMATE ADJOINER LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING SIGN
- EXISTING SHRUB
- IRON PIN/PIPE FOUND (AS NOTED)
- 5/8" REBAR SET (UNLESS OTHERWISE NOTED)
- CONTROL POINT
- TEMPORARY BENCH MARK
- PROPOSED CEMENT CONCRETE SIDEWALK
- PROPOSED PARKING LOT PAVEMENT
- PROPOSED CONTOUR LINE
- PROPOSED COMPOST FILTER SOCK
- EXISTING SOIL BOUNDARY & SOIL TYPE
- CONCRETE WASHOUT AREA

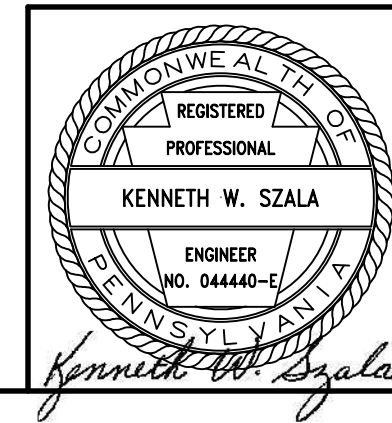
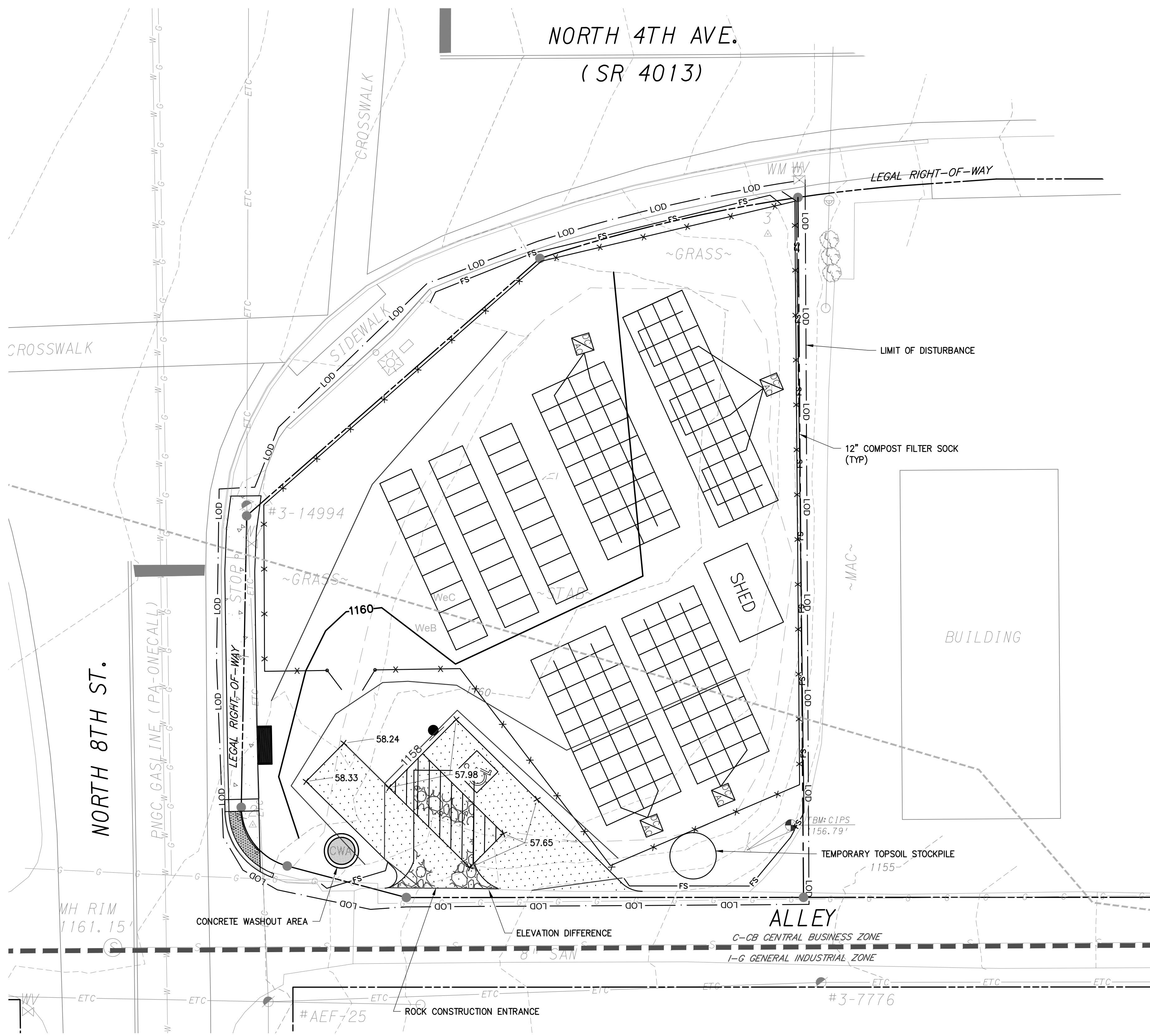
**NOTE(S):**

1. THE PROJECT AREA DRAINS TO AN UNNAMED TRIBUTARY OF THE LITTLE JUNIATA RIVER, WHICH IS LOCATED 1000' NORTHEAST OF THE PROPERTY. THE TRIBUTARY IS DESIGNATED AS WARM WATER FISHERY/MIGRATORY FISHERY (TSF/MF) BY CHAPTER 93 WATER QUALITY STANDARDS.
2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE CITY STREET FREE OF DEBRIS AND MUD.

**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: \_\_\_\_\_



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PROJECT NO. 7214      DATE: 07.26.23

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OUTDOOR SOLAR PANEL SHOWROOM  
 GROUNDHOG SOLAR, LLC.  
 CITY OF ALTOONA  
 BLAIR COUNTY, PENNSYLVANIA


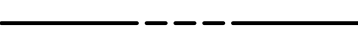
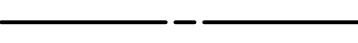
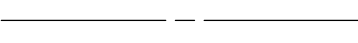

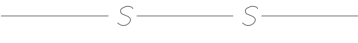









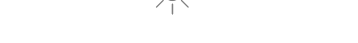








**EROSION & SEDIMENT CONTROL PLAN**

SHEET 6 OF 14

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 USER: EHeggi  
 DATE: 08/29/23 - 09:16 PM



**LEGEND**

-  -1160- EXISTING CONTOUR LINE
-  RIGHT-OF-WAY LINE
-  PROPERTY LINE
-  APPROXIMATE ADJOINER LINE
-  EXISTING GAS LINE
-  EXISTING SANITARY SEWER LINE
-  EXISTING WATER LINE
-  EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
-  EXISTING FIRE HYDRANT
-  EXISTING WATER VALVE
-  EXISTING SANITARY MANHOLE
-  EXISTING UTILITY POLE
-  EXISTING LIGHT
-  EXISTING SIGN
-  EXISTING SHRUB
-  IRON PIN/PIPE FOUND (AS NOTED)
-  5/8" REBAR SET (UNLESS OTHERWISE NOTED)
-  CONTROL POINT
-  TEMPORARY BENCH MARK
-  PROPOSED CEMENT CONCRETE SIDEWALK
-  PROPOSED PARKING LOT PAVEMENT
-  PROPOSED CONTOUR LINE
-  PROPOSED ELECTRIC SERVICE
-  PROPOSED TOPSOIL, SEEDING & MULCH

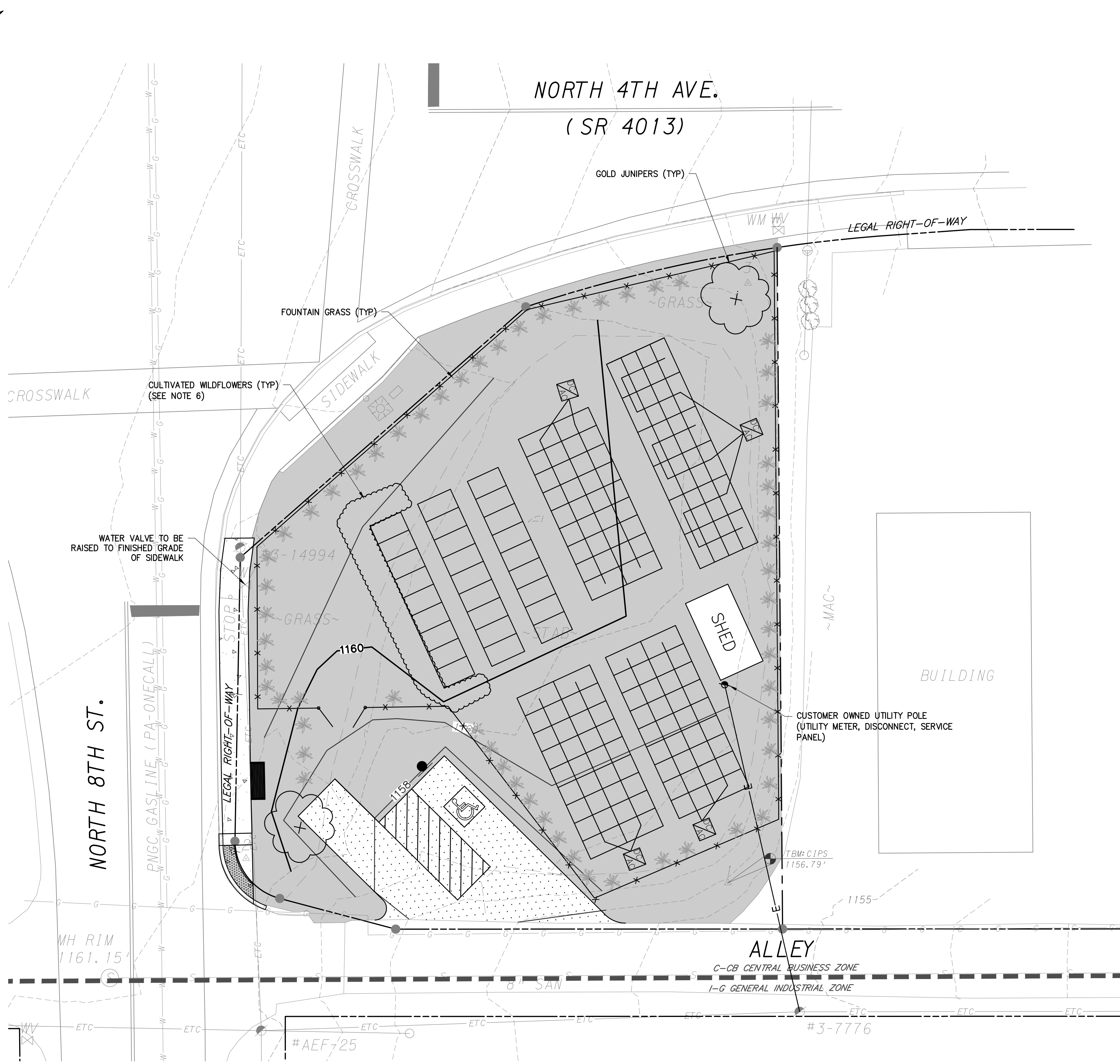
**NOTE(S):**

1. ALL PLANT MATERIAL AND INSTALLATION SHALL FOLLOW THE AMERICAN STANDARD FOR NURSERY STOCK AND THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. ALL LANDSCAPING AND IMPROVEMENTS THAT ARE SPECIFICALLY REQUIRED BY SECTION 640-65 OF THE ALTOONA PLANNING CODE SHALL BE MAINTAINED AND MUST BE REPLACED IF THE REQUIRED VEGETATION IS DAMAGED, DISEASED, CUT OR DIES.
3. ALL AREAS NOT LANDSCAPED, SIDEWALK OR PAVEMENT SHALL BE COVERED IN TOPSOIL AND SEEDING AND MULCHED.
4. TREES SHALL HAVE TEMPORARY LABELS ATTACHED SO INSPECTORS CAN DETERMINED COMPLIANCE WITH THE APPROVED PLAN.
5. RAISING OF WATER VALVE TO BE PERFORMED AS PER ALTOONA CITY AUTHORITY SPECIFICATIONS.
6. CULTIVATED WILDFLOWERS TO BE A MIXTURE OF WILD BERGAMOT, NEW ENGLAND ASTER, CARDINAL FLOWER, BUTTERFLY WEED AND BLACK-EYED SUSAN.

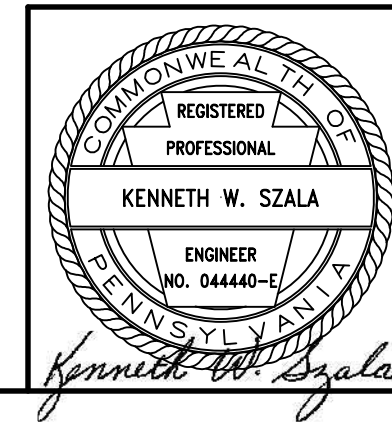
**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: \_\_\_\_\_



FILE: G:\Projects\72xx\7214\_Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Final\9\_Landscaping.dwg  
 USER: EHeggi  
 DATE: 08/29/23 - 09:17 PM



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 POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
 (814) 695-7500 www.LEHMANENGINEERS.com  
 PROJECT NO. 7214 DATE: 07.26.23

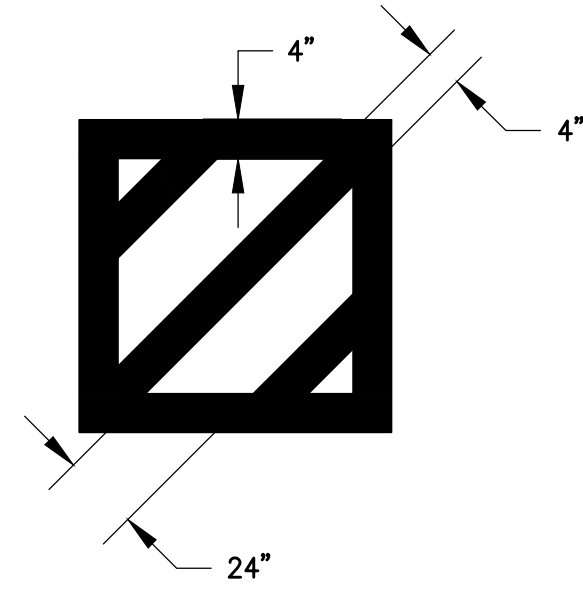
DATE	NO.	REVISION
08.29.23	1	CITY ENGINEER LT 08.22.23

OUTDOOR SOLAR PANEL SHOWROOM  
 GROUNDHOG SOLAR, LLC.  
 CITY OF ALTOONA  
 BLAIR COUNTY, PENNSYLVANIA

UTILITY &  
 LANDSCAPING PLAN

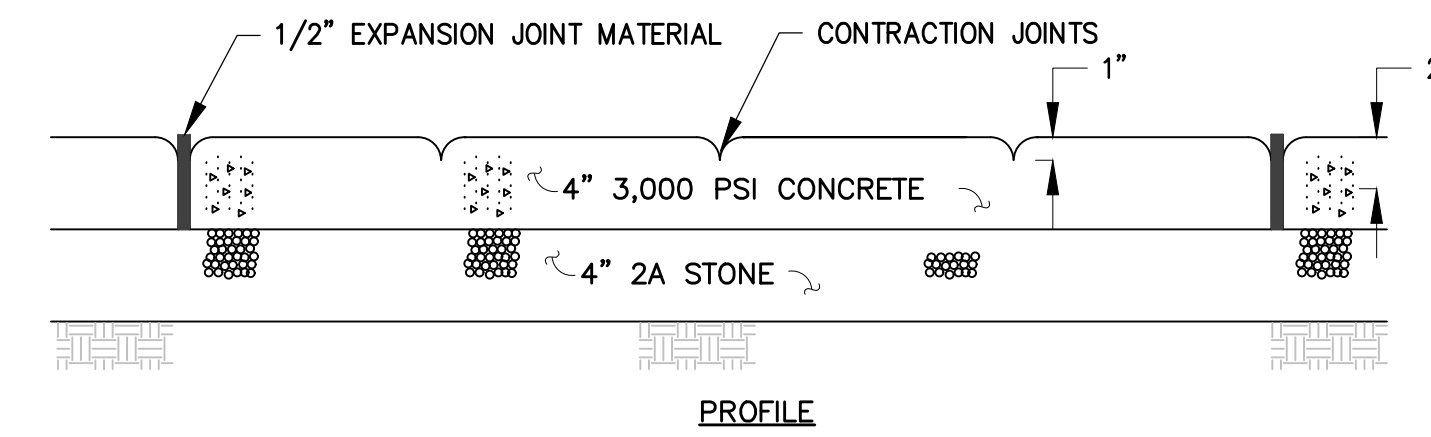
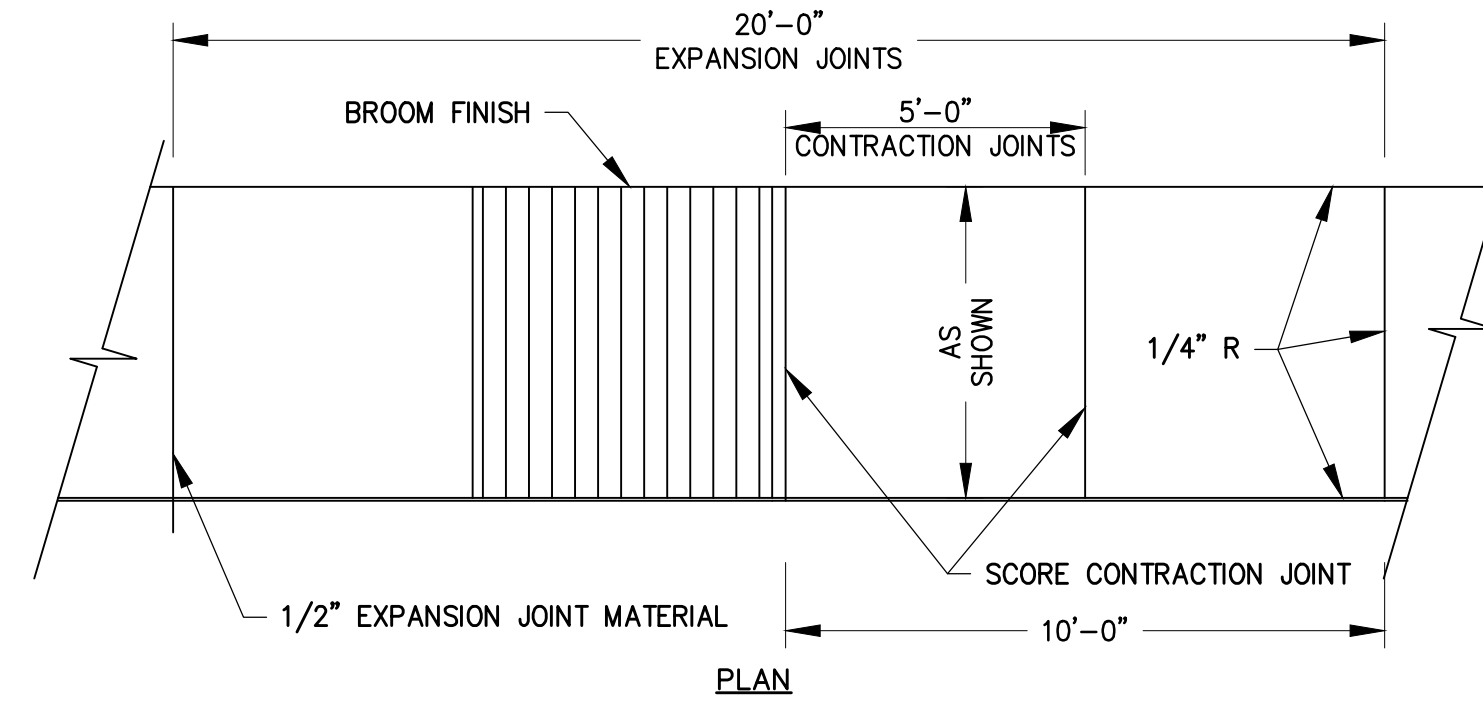
SHEET  
 7 OF 14

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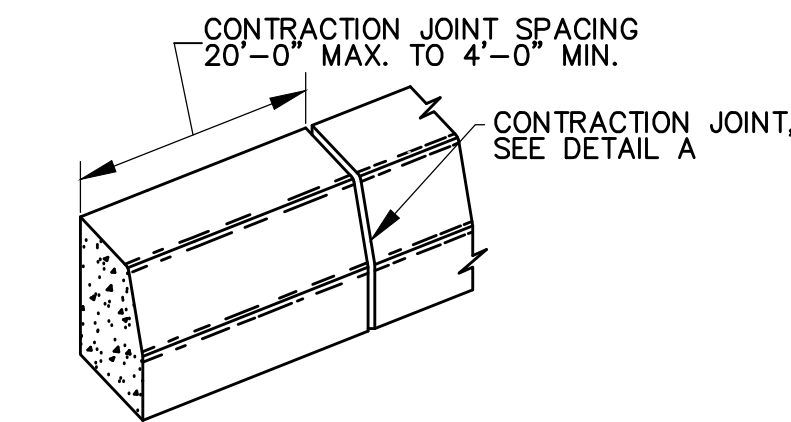
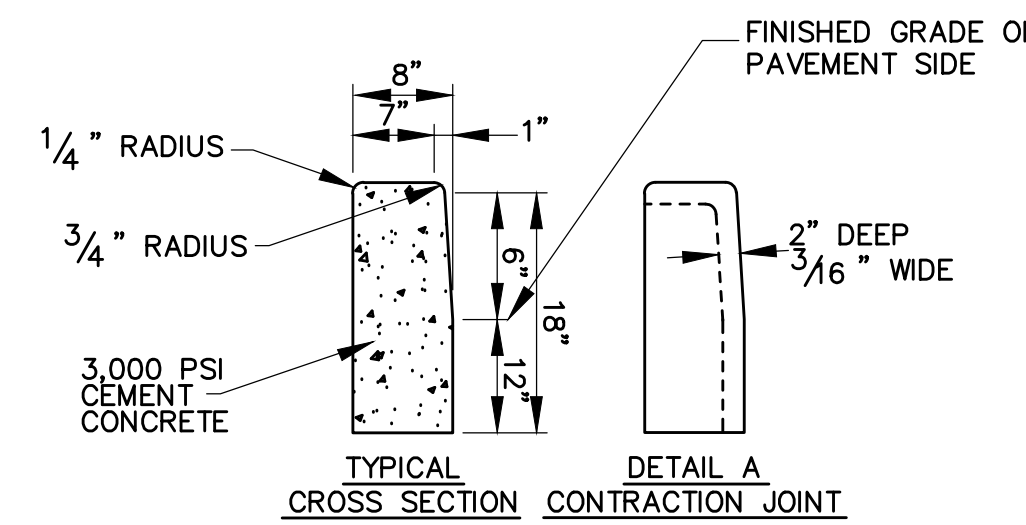
NOTE(S):  
 1. SPACING OF 4" PAINT HATCHING WITH 4" WIDE PAINTED BORDERS

**PAINT HATCHING DETAIL**  
 NO SCALE



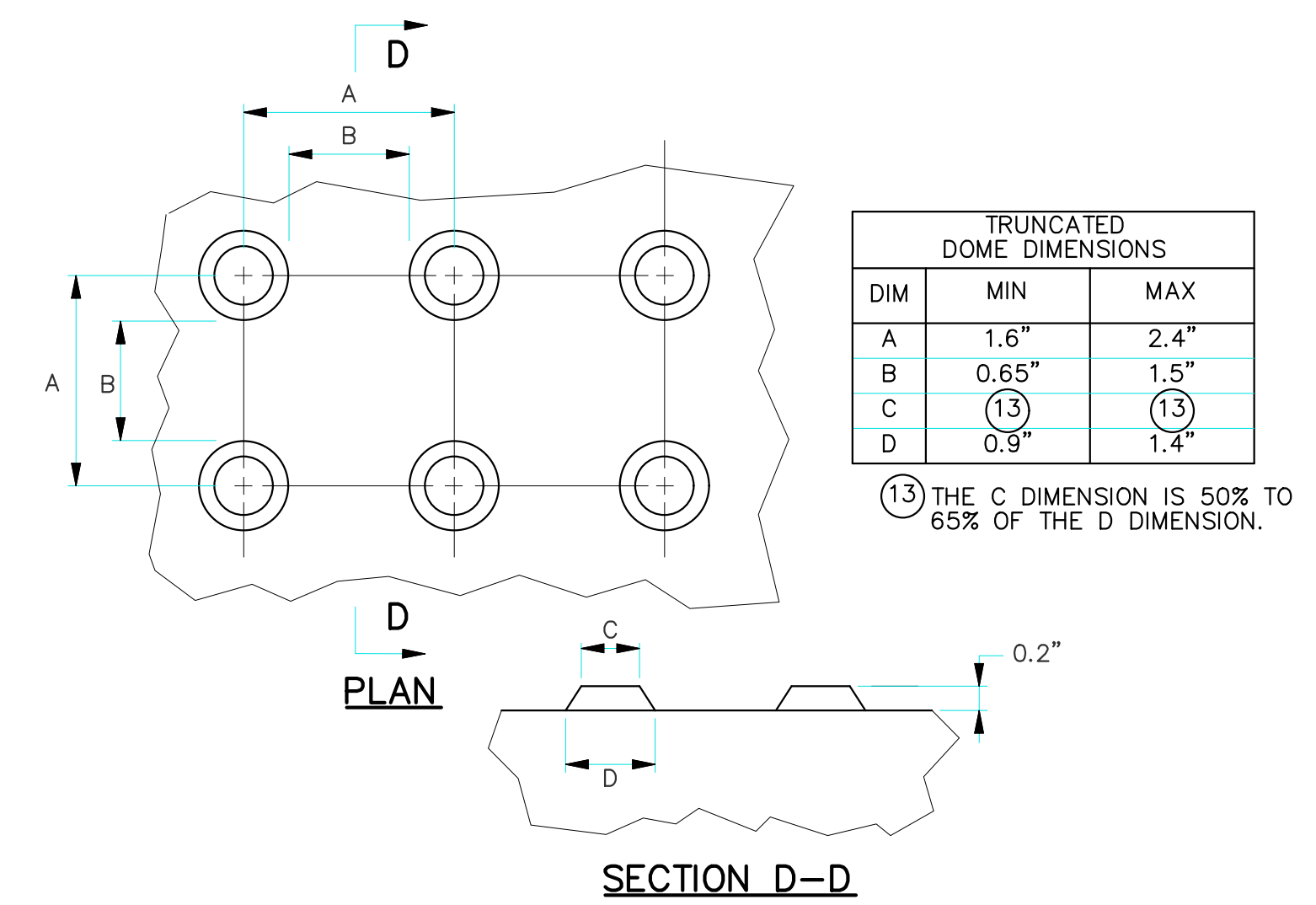
NOTE(S):  
 1. PLACE 3/4" EXPANSION JOINT MATERIAL ALONG ANY STRUCTURE OR BUILDINGS ABUTTING THE SIDEWALK.  
 2. PLACE 1/2" EXPANSION JOINT MATERIAL AROUND EXISTING POLES, FIRE HYDRANTS, AND SIMILAR STRUCTURES FOR THE FULL DEPTH OF THE SIDEWALK.  
 3. SLOPE SIDEWALK 2% MAX. AWAY FROM BUILDING; ADJUSTMENT FOR CONDITIONS MAY BE NECESSARY BY DECREASING THE SIDEWALK SLOPE.  
 4. COMPACT SUBGRADE AND SUBBASE TO THE APPROVAL OF THE PROJECT INSPECTOR.

**CEMENT CONCRETE SIDEWALK DETAIL**  
 NO SCALE

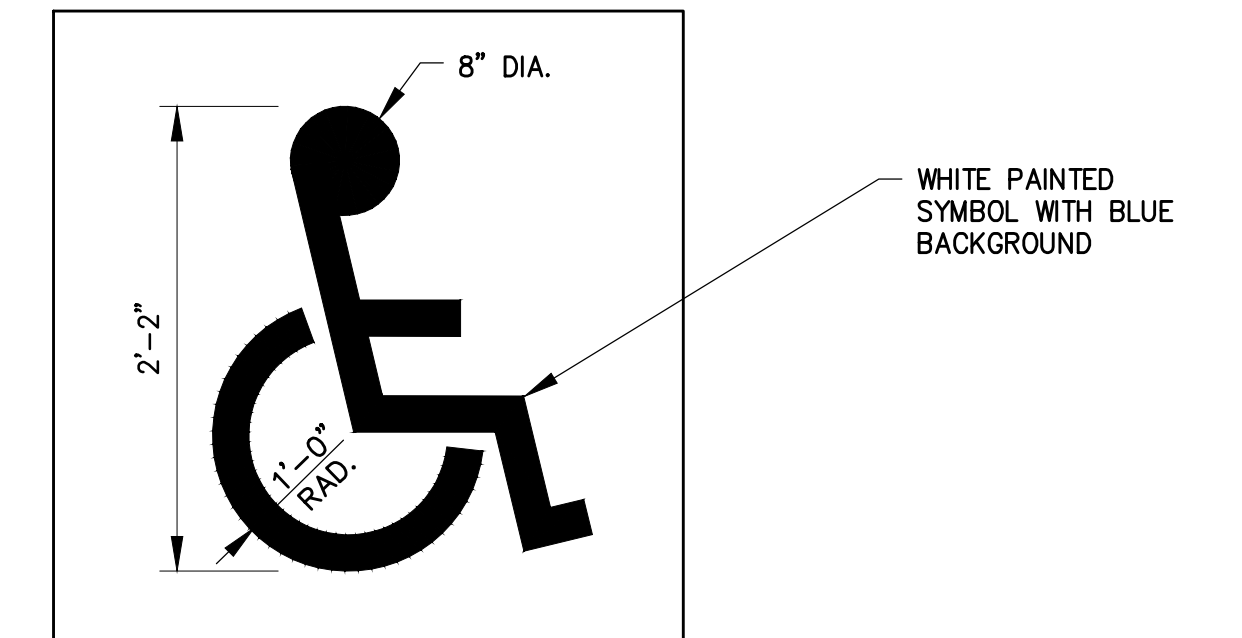


NOTE(S):  
 1. ALL CONCRETE CURB CONSTRUCTION TO COMPLY WITH PADOT RC-64M DATED JUNE 1, 2010 AND PA CODE, TITLE 67, CHAPTER 441.8(g).

**PLAIN CEMENT CONCRETE CURB**  
 NO SCALE

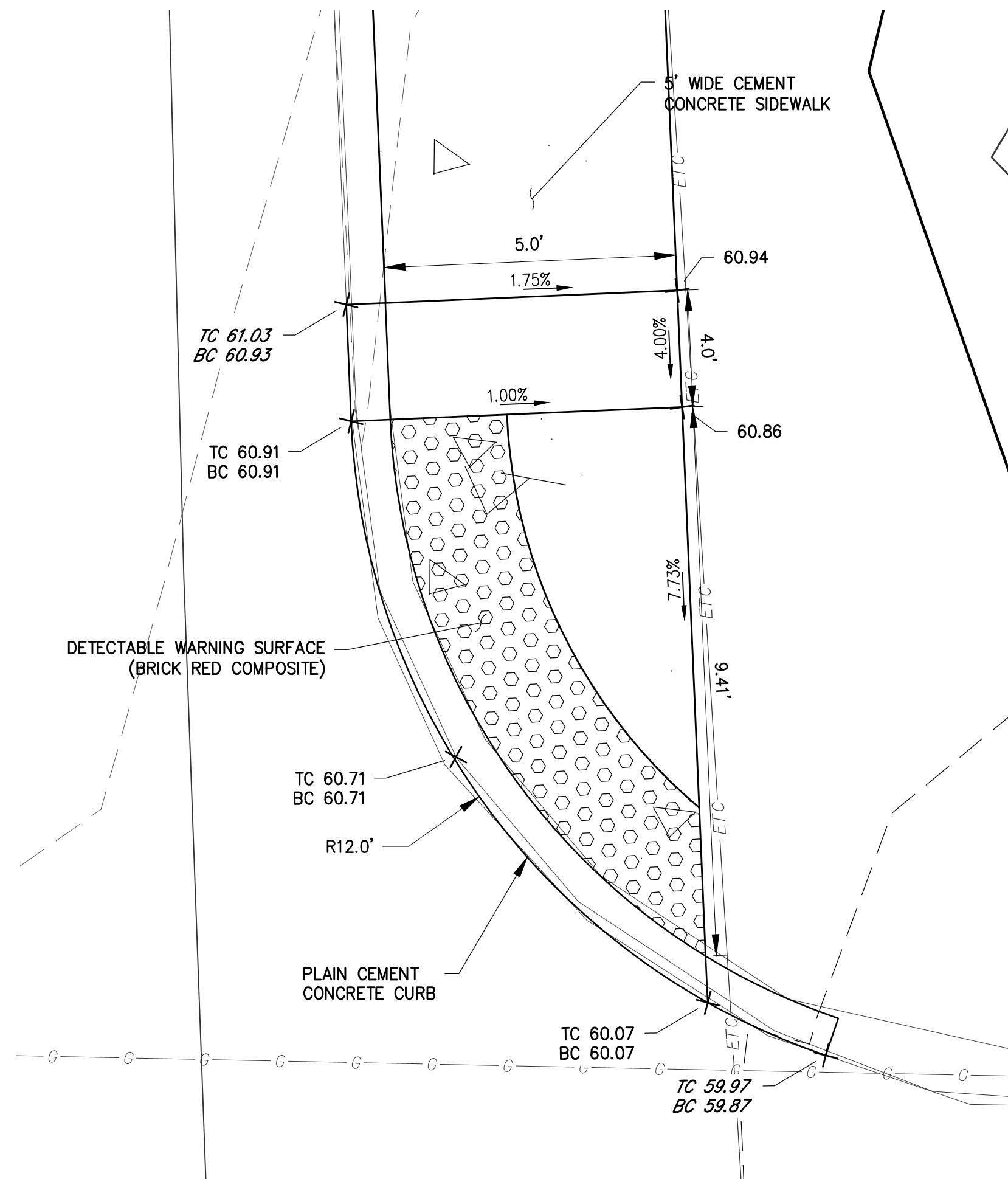


**DETECTABLE WARNING SURFACE (DWS) TRUNCATED DOME DETAIL**  
 NO SCALE



NOTE(S):  
 1. SYMBOL STRIPE IS TO BE 3" WIDE MIN. AND PAINTED ON EACH HANDICAP SPACE.  
 2. HANDICAPPED SPACES ARE AS SHOWN ON SITE PLANS.

**PAINTED HANDICAP SYMBOL**  
 NO SCALE

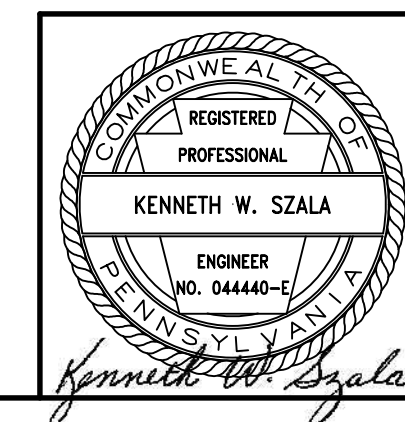


**CURB RAMP DETAIL**  
 NO SCALE

**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: \_\_\_\_\_



**P. JOSEPH LEHMAN, INC.**  
 CONSULTING ENGINEERS  
 POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
 (814) 695-7500 www.LEHMANENGINEERS.com

DATE	NO.	REVISION
08.29.23	1	CITY ENGINEER LT. 08.22.23

OUTDOOR SOLAR PANEL SHOWROOM  
 GROUNDHOG SOLAR, LLC.  
 CITY OF ALTOONA  
 BLAIR COUNTY, PENNSYLVANIA

DETAILS

SHEET  
 8 OF 14

PROJECT NO. 7214 DATE: 07.26.23



**LIST OF PUBLIC UTILITIES**

IN ACCORDANCE WITH ACT 172, A LISTING OF UTILITIES IS PROVIDED. THE DEPICTED LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE FOLLOWING UTILITIES ARE PRESENT IN THE VICINITY OF THE PROJECT AREA.

**STORM SEWER:**  
CITY OF ALTOONA  
ATTN: KEVIN BECHTEL  
1301 12TH STREET, SUITE 300  
ALTOONA, PA 16601  
(814) 949-2446

**TELEPHONE:**  
VERIZON  
ATTN: RICHARD LAMPENFELD  
1119 16TH STREET, FLOOR 3  
ALTOONA, PA 16601  
(814) 231-6507

**SEWAGE:**  
ALTOONA WATER AUTHORITY  
WASTE WATER DIVISION  
ATTN: PRESTON WILSON  
900 CHESTNUT AVENUE  
ALTOONA, PA 16601  
(814) 949-2214

**ELECTRIC:**  
FIRST ENERGY CORP.  
ATTN: TIM FRYE  
405 WEST PLANK ROAD  
ALTOONA, PA 16602  
(814) 949-4652

**WATER:**  
ALTOONA WATER AUTHORITY  
WATER DIVISION  
ATTN: TIM MANELY  
832 20TH STREET  
ALTOONA, PA 16601  
(814) 949-2214

**CABLE:**  
BREEZELINE  
ATTN: JEFF DODSON  
2200 BEALE AVENUE  
ALTOONA, PA 16601  
(814) 949-6314

**NATURAL GAS:**  
THE PEOPLES NATURAL GAS CO.  
ATTN: MARY LOU  
100 EAST BELLWOOD AVENUE  
ALTOONA, PA 16601  
(814) 505-5582

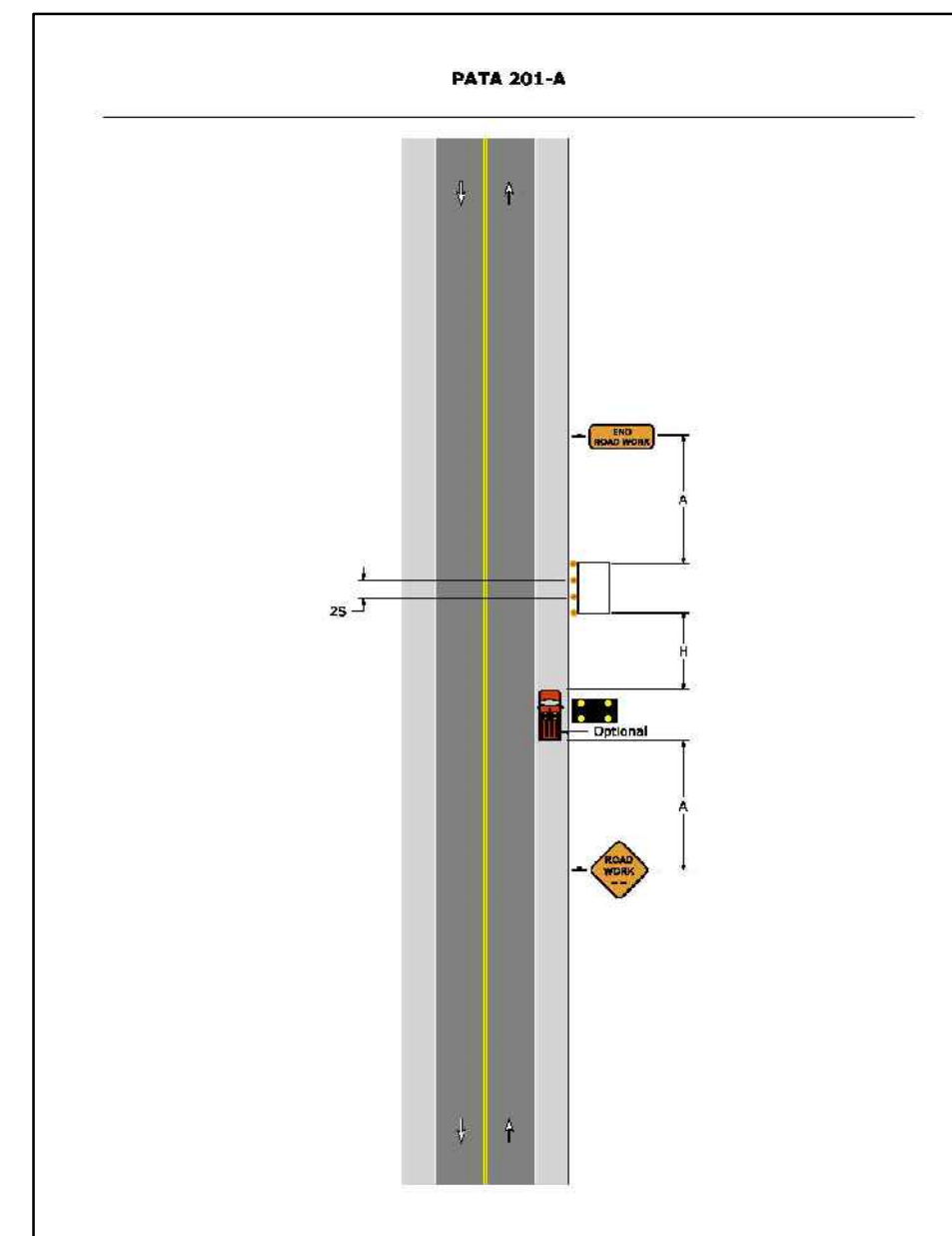
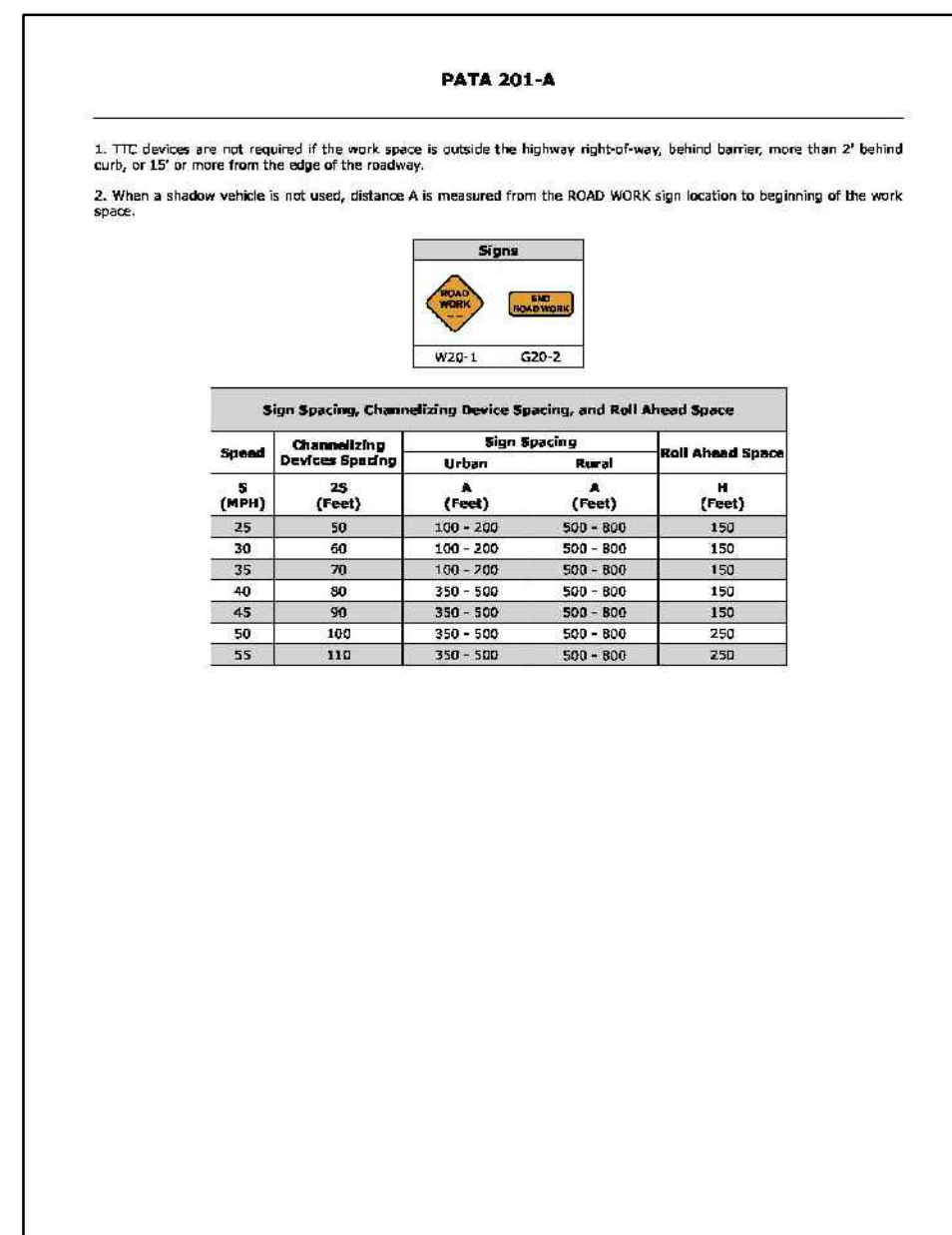
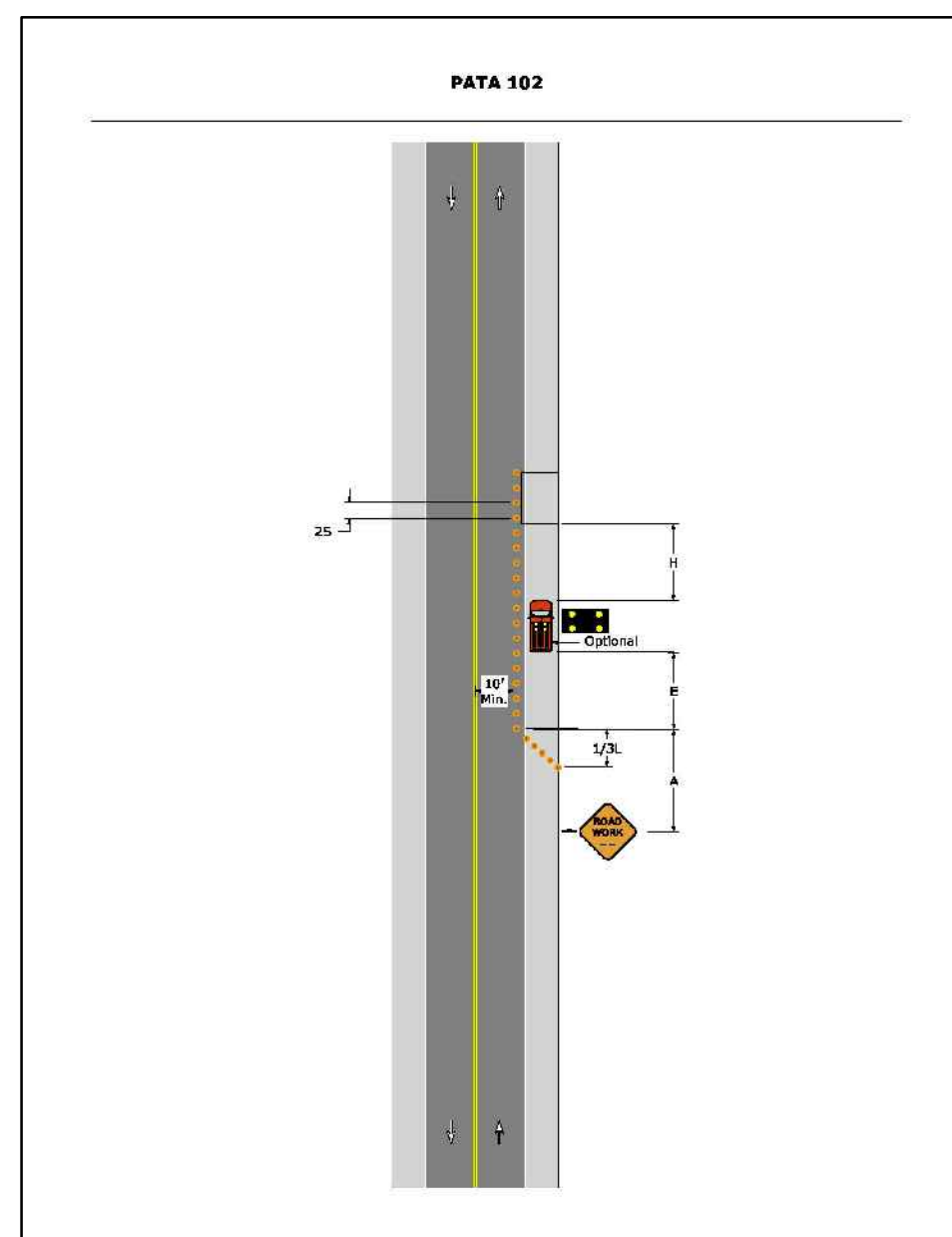
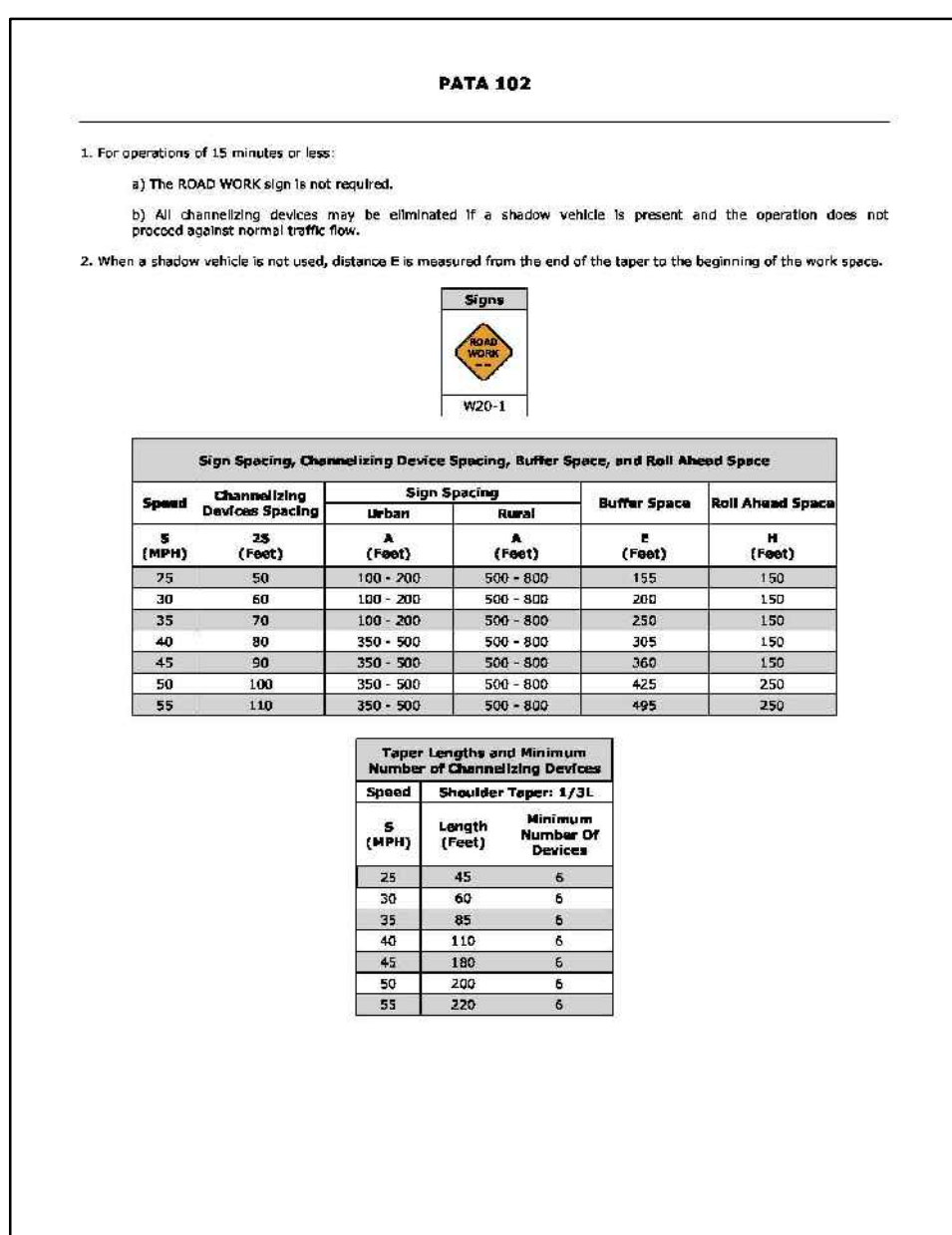
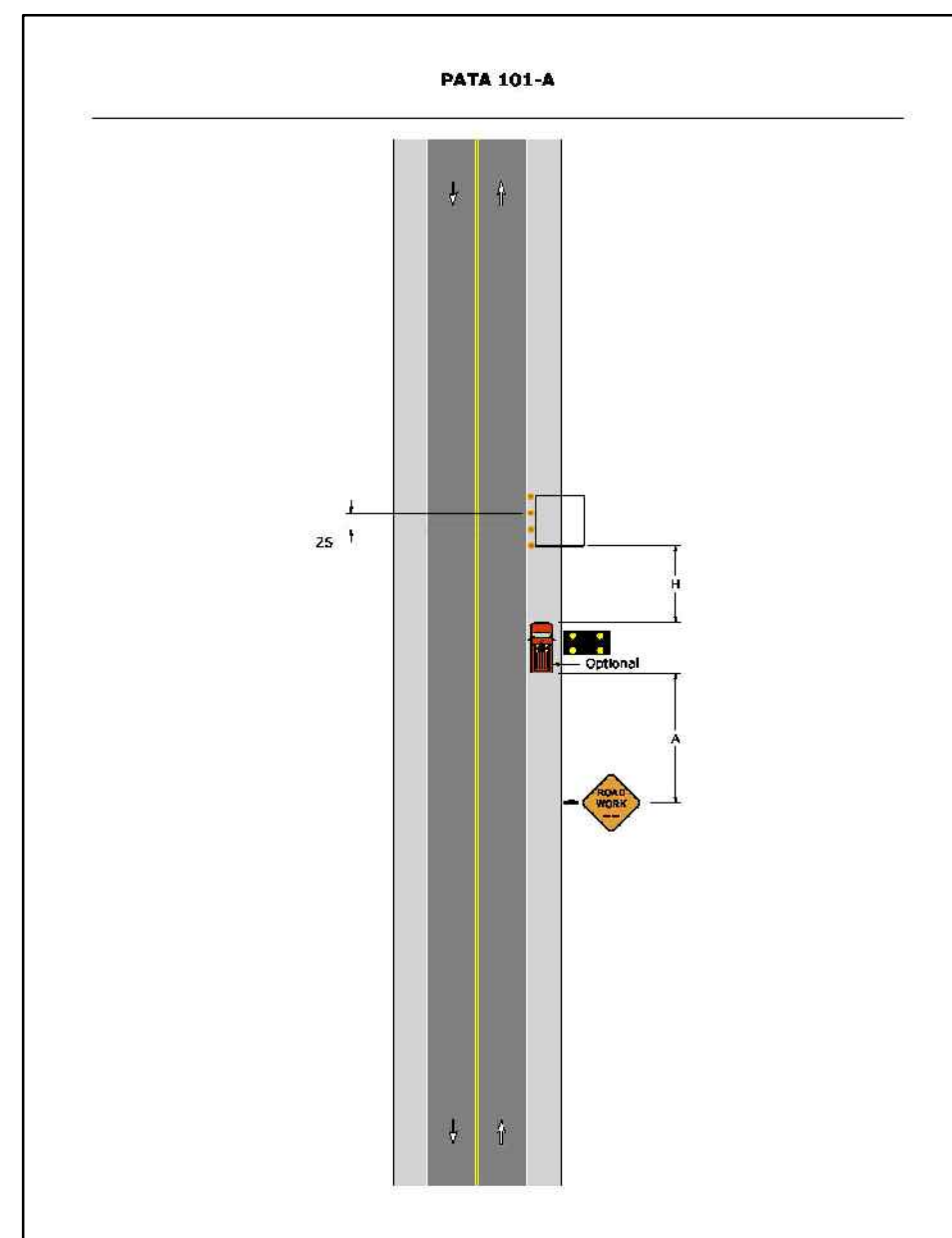
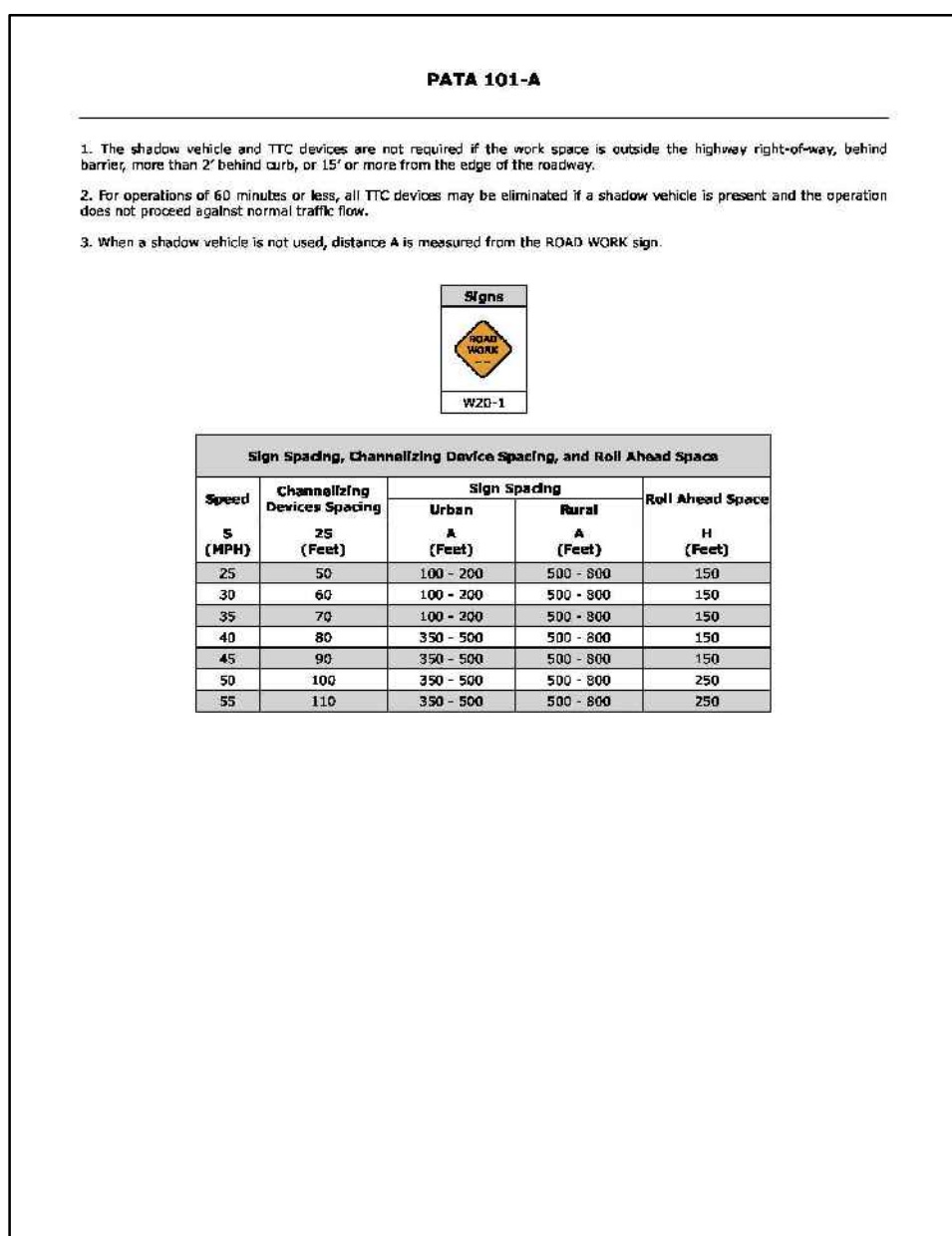
PENNSYLVANIA ONE-CALL SYSTEM, INC.  
PHONE NO. 1-800-242-1776  
DESIGN SERIAL NO. 20231382311

**TRAFFIC CONTROL NOTE(S)**

- THIS WORK CONSISTS OF THE MAINTENANCE OF TRAFFIC AND THE PROTECTION OF THE TRAVELING PUBLIC APPROACHING AND DEPARTING THE CONSTRUCTION AREA AND WITHIN THE LIMITS OF CONSTRUCTION.
- FURNISH, ERECT, PLACE AND MAINTAIN TRAFFIC CONTROL SIGNS AND DEVICES AND MAINTAIN TRAFFIC DURING THE HOURS OF CONSTRUCTION AND AT ALL OTHER TIMES CONSISTENT WITH THE METHODS ON THESE DRAWINGS AND THE FOLLOWING (CURRENT EDITIONS):  
PADOT PUBLICATION 35  
PADOT PUBLICATION 46  
PADOT PUBLICATION 72M  
PADOT PUBLICATION 111  
PADOT PUBLICATION 212  
PADOT PUBLICATION 213  
PADOT PUBLICATION 236  
PADOT PUBLICATION 408  
MUTCD, CURRENT EDITION
- REMOVE THESE DEVICES IMMEDIATELY UPON COMPLETION OF THE WORK. PENNDOT WILL REMOVE ANY TRAFFIC CONTROL DEVICES ERECTED BY DEPARTMENT FORCES.
- PERMITTEE MUST ARRANGE FOR INSPECTION OF ALL TRAFFIC CONTROL DEVICES PRIOR TO START OF WORK.
- COVER OR REMOVE ALL CONFLICTING SIGNS AND ERADICATE ALL CONFLICTING PAVEMENT MARKINGS.
- MOUNT ALL LONG-TERM ADVANCE WARNING SIGNS ON TYPE III BARRICADES UNLESS OTHERWISE NOTED OR INSTRUCTED BY DISTRICT OFFICE.
- ALL SIGNS AND DEVICES TO BE MAINTAINED IN NEW OR LIKE NEW CONDITION.
- DRIVEWAYS WILL BE KEPT ACCESSIBLE AT ALL TIMES. LOCATE ALL SIGNS SO THAT SIGHT DISTANCES WILL NOT BE OBSTRUCTED AT DRIVEWAYS AND LOCAL ROADS.
- ALL CHANNELIZING DEVICES, BARRICADES AND SIGNS SHALL HAVE TYPE III OR BETTER PRISMATIC RETROREFLECTIVE SHEETING, SHEETING SHALL BE APPROVED AND LISTED IN PENNDOT PUBLICATION 35(BULLETIN 15).
- NO TRAFFIC RESTRICTIONS OR LANE CLOSURES ARE PERMITTED BETWEEN 6:00 AM AND 9:00 AM AND BETWEEN 3:00 PM AND 6:00 PM MONDAY THROUGH FRIDAY OR ON LEGAL HOLIDAYS AND WEEKENDS ASSOCIATED WITH LEGAL HOLIDAYS. ALL RESTRICTIONS AND CLOSURES ARE TO BE REMOVED BY NOON ON THE DAY PRIOR TO THE LEGAL HOLIDAY.
- PERMITTEE SHALL NOTIFY LOCAL EMERGENCY AUTHORITIES (E.G., POLICE, FIRE, MEDICAL), AFFECTED BUSINESSES, SCHOOL DISTRICT(S), THE GENERAL PUBLIC, THE DISTRICT PERMIT MANAGER AND THE DISTRICT AREAS COORDINATOR AT LEAST FOURTEEN DAYS PRIOR TO ANY SIGNIFICANT TRAFFIC IMPACTS (E.G., LATERAL WIDTH RESTRICTIONS LESS THAN 16' FEET, DETOURS).
- MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE PATA DRAWING(S) IN THE CURRENT PENNDOT PUBLICATION 213, "TEMPORARY TRAFFIC CONTROL GUIDELINES".
- DROPOFFS CREATED BY CONSTRUCTION OPERATIONS SHALL BE TREATED CONSISTENT WITH PUBLICATION 408, SECTION 901.3(j).
- REMOVE ALL SHORT-TERM WORK ZONE TRAFFIC CONTROL SIGNING UPON COMPLETION OF THAT DAY'S WORK PERIOD.
- RESTRICTING TRAFFIC FLOW WITHIN THE WORK AREA SHALL BE MINIMIZED TO PREVENT TRAFFIC CONGESTION AND UNSAFE TRAFFIC CONDITIONS.
- NOTIFY THE LOCAL MUNICIPALITY WHERE SIGNALIZED INTERSECTIONS FALL WITHIN THE WORK ZONE. DO NOT FLAG A SIGNALIZED INTERSECTION WITHOUT THE MUNICIPALITY PLACING THE SIGNAL ON FLASH.
- THE CONTRACTOR SHALL COMPLY WITH ACT 229 OF DECEMBER 2002 DURING CONSTRUCTION ACTIVITIES WITHIN PENNDOT'S RIGHT-OF-WAY.
- WORK WITHIN THE STATE RIGHT-OF-WAY WILL NOT BE PERMITTED DURING ALL STATE AND NATIONAL HOLIDAYS OR SPECIAL EVENTS. CONTRACTORS ARE REQUIRED TO BE OFF THE ROADWAY BY NOON ON THE BUSINESS DAY PRIOR TO THE HOLIDAY/SPECIAL EVENT. EQUIPMENT AND/OR MATERIALS ARE NOT PERMITTED WITHIN THE DEPARTMENT RIGHT OF WAY OR THE CLEAR ZONE DURING THIS TIME. WORK MAY RESUME AFTER THE HOLIDAY/SPECIAL EVENT (NORMAL WORKING HOURS) UNLESS DIRECTED DIFFERENTLY BY A DEPARTMENT REPRESENTATIVE. CONTRACTOR MUST PROVIDE SCHEDULE TO THE COUNTY INSPECTOR IN CHARGE FOR ANY WORK DONE BETWEEN THANKSGIVING AND NEW YEAR'S DAY FOR APPROVAL.
- PERMITTEE OR PERMITTEES REPRESENTATIVE MUST NOTIFY THE TRAFFIC MANAGEMENT CENTER (TMC) AT 814-693-5915 FOR ANY CONSTRUCTION ROADWORK OR MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) WHICH CREATES: A LANE CLOSURE, LANE RESTRICTION, SHOULDER CLOSURE, TRAFFIC DISRUPTION, RAMP CLOSURE, OR RAMP RESTRICTION. NOTIFICATION REQUIREMENTS BY THE PERMITEE/PERMITTEES REPRESENTATIVE TO THE TMC MUST OCCUR AT THE FOLLOWING INTERVALS: TWO DAYS IN ADVANCE, FIFTEEN MINUTES IN ADVANCE, AND WITHIN 15 MINUTES OF COMPLETION. PERMITTEES OR PERMITTEES REPRESENTATIVE WILL BE REQUIRED TO PROVIDE THE HIGHWAY OCCUPANCY PERMIT (HOP) NUMBER TO THE TMC OPERATOR.

**HIGHWAY OCCUPANCY PERMIT NOTE(S)**

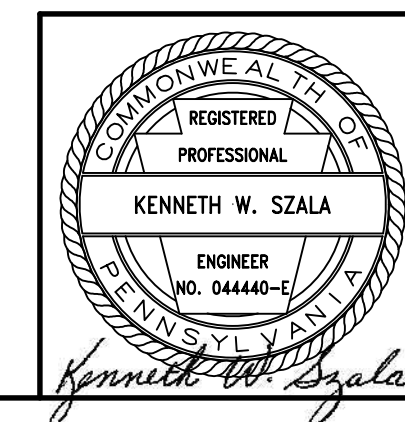
- EXISTING ROADWAY SURFACE MATERIALS ON SR 4013 ARE AS FOLLOWS:  
PAVEMENT:  
SEGMENT 0040, OFFSET 0124-1890  
2011 1.5" SPAV, HMA WRG, 64-22, 9.5MM, H 22' WIDE  
2011 2.5" SPAV, HMA BDR, 64-22, 19MM (22' WIDE)  
2011 6" SPAV, HMA BASE, 64-22, 22MM (22' WIDE)  
2011 8" 2A SUBBASE (22' WIDE)  
2011 GEOTEXTILE (22' WIDE)
- THE EXISTING SPEED LIMIT ON S.R. 4013 IS 35 M.P.H.
- ALL WORK IN PA STATE HIGHWAY RIGHT-OF-WAY IS TO BE PERFORMED CONSISTENT WITH THE FOLLOWING:  
A. PADOT PUBLICATION NO. 408, SPECIFICATIONS.  
B. PADOT PUBLICATION NO. 13M, DESIGN MANUAL PART 2 - HIGHWAY DESIGN.  
C. PADOT PUBLICATION NO. 35, APPROVED CONSTRUCTION MATERIALS (BULLETIN 15).  
D. PADOT PUBLICATION NO. 34, APPROVED AGGREGATE PRODUCERS (BULLETIN 14).  
E. PADOT PUBLICATION NO. 41, PRODUCERS OF BITUMINOUS MATERIALS (BULLETIN 41).  
F. PADOT PUBLICATION NO. 42, PRODUCERS OF READY MIX CONCRETE (BULLETIN 42).  
G. PADOT PUBLICATION NO. 46, TRAFFIC ENGINEERING MANUAL.  
H. PADOT PUBLICATION NO. 72M, STANDARDS FOR ROADWAY CONSTRUCTION.  
I. PADOT PUBLICATION NO. 111, PAVEMENT MARKINGS AND SIGNING STANDARDS.  
J. PADOT PUBLICATION NO. 212, OFFICIAL TRAFFIC CONTROL DEVICES.  
K. PADOT PUBLICATION NO. 213, TEMPORARY TRAFFIC CONTROL GUIDELINES.
- ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS, THAT ARE OUTSIDE OF PADOT LEGAL RIGHT-OF-WAY, SHALL BE CONSTRUCTED TO COMPLY WITH THE REQUIREMENTS OF THE U.S. ACCESS BOARD, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) OF THE ACCESSIBILITY GUIDELINES OF BUILDINGS AND FACILITIES (ADAAG), PENNDOT DESIGN MANUAL PART 2, CHAPTER 6, AND PADOT STANDARDS FOR ROADWAY CONSTRUCTION (PUBLICATION 72M, RC-67M) PROVIDE GUIDANCE ON ADA ACCESSIBLE DESIGN FOR PEDESTRIAN FACILITIES AND CAN BE UTILIZED FOR REFERENCE.
- HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 315484
- SR 4013 IS A VARYING WIDTH RIGHT-OF-WAY AS SHOWN ON DRAWINGS AUTHORIZING ACQUISITION OF RIGHT OF WAY FOR SR 4013 SECTION 03S R/W DATED JUNE 18, 2010.
- PERMITEE IS RESPONSIBLE FOR MAINTENANCE OF ALL AUTHORIZED STRUCTURES, FACILITIES AND DRAINAGE.
- PERMITEE IS RESPONSIBLE FOR MAINTENANCE OF ALL AUTHORIZED SIGNS AND PAVEMENT MARKINGS.
- CONTACT PENNSYLVANIA ONE-CALL (1-800-242-1776) THREE WORKING DAYS BEFORE EXCAVATION OR DEMOLITION WORK.
- THIS PERMIT MAY BE RESTRICTED ON WORKING HOURS AND TIMES FOR HOLIDAYS, WEEKENDS, AND SPECIAL OR UNFORESEEN EVENTS AND WILL REQUIRE APPROVAL FROM THE COUNTY OFFICE PRIOR TO WORKING DURING THESE PERIODS.
- THE PROPOSED PAVEMENT SECTION MUST BE AS INDICATED ON THE PLAN, OR MATCH THE EXISTING AS FOUND IN THE FIELD, WHICHEVER IS GREATER.
- ALL EXISTING PAVEMENT MARKINGS WHICH ARE NO LONGER APPROPRIATE SHALL BE ERADICATED BY THE PERMITEE. THE PERMITEE SHALL PLACE ALL REQUIRED NEW PAVEMENT MARKINGS.
- MATCH EXISTING PAVEMENT MARKINGS AT THE LIMITS OF WORK.
- MATERIAL CERTIFICATION MUST BE PROVIDED, BY AN APPROVED MANUFACTURER LISTED IN THE DEPARTMENT'S PUBLICATION 35 (BULLETIN 15), FOR ALL MATERIALS AND STRUCTURES WITHIN PADOT RIGHT-OF-WAY.
- ALL SLOPE MEASUREMENTS WILL BE INSPECTED/VERIFIED WITH A 2-FOOT SMART LEVEL.



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GROUNDHOG SOLAR, LLC.  
CITY OF ALTOONA  
BLAIR COUNTY, PENNSYLVANIA

DETAILS

SHEET  
9 OF 14



**GENERAL NOTES – SECTION A GENERAL ITEMS**

- A-1. NOT USED.
- A-2. DISTANCES SHOWN IN THIS PUBLICATION ARE MINIMUM STANDARDS AND MAY BE INCREASED SLIGHTLY TO FIT FIELD CONDITIONS. DO NOT INCREASE DISTANCES LABELED AS A MAXIMUM DISTANCE. CHANNELIZING DEVICE SPACING INTERVALS SHOULD BE MAINTAINED AS SHOWN ON PATA DRAWINGS AND SPACING CHARTS.
- A-3. IT IS ESSENTIAL TO SATISFY THE NEEDS AND CONTROL OF ALL HIGHWAY USERS (INCLUDING MOTORISTS, BICYCLISTS, PEDESTRIANS, AND PERSONS WITH DISABILITIES) IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990) TRAVELING THROUGH THE WORK ZONE. THIS ALSO APPLIES TO THE MANAGEMENT OF TRAFFIC INCIDENTS.
- A-4. WHEN EXISTING PEDESTRIAN FACILITIES ARE DISRUPTED, CLOSED, OR RELOCATED, THE TEMPORARY FACILITIES SHALL BE DETECTABLE AND INCLUDE ACCESSIBILITY FEATURES CONSISTENT WITH THOSE PRESENT IN THE EXISTING FACILITY. SIDEWALK WIDTHS MUST BE 60" MINIMUM; HOWEVER THE WIDTH MAY BE REDUCED TO 48" IF 60"x60" PASSING AREAS ARE PROVIDED EVERY 200'. THE ACCESSIBLE PATH MUST BE 48" MINIMUM. BOTH PERMANENT AND TEMPORARY PEDESTRIAN FACILITIES MUST PROVIDE ACCESS TO PERSONS WITH DISABILITIES.
- A-5. DO NOT PERFORM WORK OVER LANES OPEN TO LIVE TRAFFIC UNLESS EXPRESSLY AUTHORIZED BY THE DISTRICT TRAFFIC ENGINEER. WORK TAKING PLACE ON MAINTENANCE PLATFORMS, CATWALKS, OPEN BOOM TRUCKS, ETC., REQUIRES CLOSURE OF THE LANE OR LANES IMMEDIATELY BELOW. THIS RESTRICTION DOES NOT APPLY TO WORK WITHIN AN ENCLOSED ENVIRONMENT SUCH AS INSIDE A WALK-IN PERMANENT DYNAMIC MESSAGE SIGN.
- A-6. ALL DETOURS INVOLVING STATE-DESIGNATED HIGHWAYS SHALL HAVE THE PRIOR APPROVAL OF PENNDOT. ALL DETOURS INVOLVING LOCAL HIGHWAYS SHALL HAVE THE PRIOR APPROVAL OF THE APPROPRIATE LOCAL AUTHORITIES.
- A-7. TEMPORARY PAVEMENT MARKINGS ARE NOT REQUIRED FOR SHORT-TERM AND MOBILE OPERATIONS. WHEN TEMPORARY PAVEMENT MARKINGS ARE PLACED, ALL EXISTING PAVEMENT MARKINGS AND RAISED PAVEMENT MARKER LENSES THAT CONFLICT WITH THE TEMPORARY TRAFFIC PATTERN SHALL BE REMOVED. TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED WHEN THE PERMANENT MARKINGS ARE REINSTALLED.
- A-8. ALL WORKERS ENGAGED IN OR ENTERING INTO ANY FIELD OPERATION INVOLVING MAINTENANCE, CONSTRUCTION, DESIGN, SURVEYING, INSPECTION, TRAFFIC STUDIES, ETC. AND/OR ARE EXPOSED TO MOVING VEHICLES AND EQUIPMENT ARE REQUIRED TO WEAR HARD HATS MEETING ANSI TYPE II REQUIREMENTS AND HIGH-VISIBILITY VESTS, T-SHIRTS OR SWEATSHIRTS WHICH MEET THE ANSI CLASS 2 OR 3 SAFETY GARMENT REQUIREMENTS. A RAINCOAT OR JACKET WHICH MEETS ANSI CLASS 2 OR 3 SAFETY GARMENT REQUIREMENTS MAY BE WORN DURING INCLEMENT WEATHER. FURTHERMORE:
  - ALL VISITORS AND OTHERS PRESENT ON A WORK SITE IN AN OFFICIAL CAPACITY MUST COMPLY WITH THE REQUIREMENTS DETAILED ABOVE.
  - PENNDOT EMPLOYEES SHALL REFER TO PUBLICATION 445, SAFETY POLICY MANUAL, AND ANY APPLICABLE PENNDOT MEMORANDA REGARDING PERSONAL PROTECTIVE EQUIPMENT (PPE) AND WORK ATTIRE.
  - EMERGENCY AND INCIDENT RESPONDERS AND LAW ENFORCEMENT PERSONNEL WITHIN THE TEMPORARY TRAFFIC CONTROL (TTC) ZONE SHOULD WEAR HIGH-VISIBILITY PUBLIC SAFETY VESTS THAT MEET THE PERFORMANCE REQUIREMENTS OF THE ANSI/ISEA 207-2011 (SEE MUTCD, SECTION 1A.11), OR EQUIVALENT REVISIONS.
- A-9. AUTHORIZED VEHICLES AS DEFINED IN TITLE 75, SECTION 102 (PENNSYLVANIA CONSOLIDATED STATUTES), ARE APPROVED TO BE EQUIPPED WITH FLASHING OR REVOLVING YELLOW WARNING LIGHTS. AUTHORIZED VEHICLES INCLUDE SHADOW VEHICLES, WORK VEHICLES, PRIVATE ESCORT VEHICLES, ETC. LIGHTS MUST BE ACTIVATED WHEN THE VEHICLE IS USED IN CONJUNCTION WITH AN ACTIVE OPERATION. WHITE FLASHING OR REVOLVING LIGHTS ARE ONLY AUTHORIZED TO BE MOUNTED ON EMERGENCY VEHICLES AS PER THE PENNSYLVANIA CODE, CHAPTER 173. EMERGENCY VEHICLES ARE THOSE OPERATED BY STATE AND LOCAL POLICE, FIRE DEPARTMENTS, ETC.
- A-10. PARKING MAY BE PROHIBITED ALONG CONVENTIONAL HIGHWAYS IN CONJUNCTION WITH ROAD WORK. COORDINATE WITH LOCAL AUTHORITIES TO REQUEST TEMPORARY PARKING PROHIBITION SIGNING AND ENFORCEMENT. PARKING IS PROHIBITED BY STATUTE ON ALL LIMITED ACCESS HIGHWAYS INCLUDING ENTRANCE AND EXIT RAMPS.
- A-11. FOR ALL CONSTRUCTION PROJECTS INVOLVING ROAD WORK, A TEMPORARY TRAFFIC CONTROL (TTC) PLAN MUST BE INCLUDED OR PATA DRAWINGS MUST BE REFERENCED TO ADDRESS TEMPORARY TRAFFIC CONTROL. EXISTING TRAFFIC SIGNALS WITHIN THE WORK ZONE AND ALONG DETOUR ROUTES, IF ANY, MAY REQUIRE TUNING AND/OR PHASING MODIFICATIONS TO ACCOMMODATE TEMPORARY TRAFFIC PATTERNS. THE PRIMARY CONTRACTOR IS RESPONSIBLE TO SUBMIT A LETTER TO THE DISTRICT TRAFFIC ENGINEER TO EITHER CONFIRM THAT EXISTING TRAFFIC SIGNAL TIMING IS ADEQUATE TO CONTROL TEMPORARY TRAFFIC PATTERNS WITHOUT A SIGNIFICANT DECREASE IN THE LEVEL OF SERVICE, OR THAT TRAFFIC SIGNAL TIMINGS WILL REQUIRE MODIFICATION TO MAINTAIN ACCEPTABLE LEVELS OF SERVICE. THIS LETTER SHALL BE RECEIVED PRIOR TO PLACING LANE RESTRICTIONS. A COPY OF THE CAPACITY ANALYSIS REPORT MAY BE REQUESTED BY THE DISTRICT TRAFFIC ENGINEER. THE CONTRACTOR IS REQUIRED TO ABIDE BY THE TEMPORARY SIGNAL PERMIT PROCESS PRIOR TO BEGINNING WORK IF SIGNAL MODIFICATIONS ARE RECOMMENDED BY THE DISTRICT TRAFFIC UNIT. REFER TO PUBLICATION 46, CHAPTER 12, AND PUBLICATION 149, CHAPTER 14.
- A-12. MOBILE OPERATIONS (PATA 300 AND 600 SERIES) THAT OCCUPY A TRAVEL LANE SHALL PROCEED IN THE DIRECTION OF NORMAL TRAFFIC FLOW. MOBILE OPERATIONS TAKING PLACE OFF OF THE ROADWAY SHALL PROCEED IN THE SAME DIRECTION AS THE NEAREST LANE OF TRAFFIC FLOW.

**GENERAL NOTES – SECTION B FLAGGERS AND FLAGGING OPERATIONS**

- B-1. ALL FLAGGERS AT A MINIMUM SHALL HAVE TRAINING AS PER THE MOST CURRENT VERSION OF PUBLICATION 408, SECTION 901.3(Y), FLAGGER TRAINING. BECAUSE FLAGGERS ARE RESPONSIBLE FOR PUBLIC SAFETY AND MAKE THE GREATEST CONTACT WITH THE PUBLIC, IT IS ESSENTIAL TO PRACTICE SAFE TRAFFIC CONTROL AND PUBLIC CONTACT TECHNIQUES. FLAGGERS MUST DEMONSTRATE THE FOLLOWING ABILITIES:
  - RECEIVE AND COMMUNICATE SPECIFIC INSTRUCTIONS CLEARLY, FIRMLY, AND COURTEOUSLY.
  - MOVE AND MANUEVER QUICKLY IN ORDER TO AVOID DANGER FROM ERRANT VEHICLES. THIS MEANS A FLAGGER SHALL NOT BE IN A SITTING POSITION AND NO VEHICLES SHALL BE PARKED NEAR THE FLAGGING STATION.
  - CONTROL SIGNALING DEVICES (SUCH AS STOP/SLOW PADDLES AND FLAGS) IN ORDER TO PROVIDE CLEAR AND POSITIVE GUIDANCE TO DRIVERS APPROACHING A TEMPORARY TRAFFIC CONTROL ZONE.
  - MAINTAIN SITUATIONAL AWARENESS, PROTECT THE WORK CREW, AND PROVIDE GUIDANCE AND DIRECTION TO THE TRAVELING PUBLIC.
- B-2. FLAGGERS MUST BE CLEARLY VISIBLE TO TRAFFIC FOR A MINIMUM DISTANCE OF E. THIS DISTANCE IS BASED UPON THE SPEED LIMIT AND IS FOUND ON THE APPLICABLE PATA NOTES PAGE.
- B-3. FLAGGERS MUST BE AWARE OF THE PUBLIC IMAGE THEY PROJECT AT ALL TIMES. BEHAVIOR THAT COULD BE CONSTRUED AS UNPROFESSIONAL, SUCH AS UTILIZING CELL PHONES FOR PERSONAL CONVERSATIONS, TEXTING, ETC., IS PROHIBITED WHILE PERFORMING FLAGGING DUTIES. FLAGGERS ACTIVELY PERFORMING TRAFFIC CONTROL DUTIES SHALL NOT PARTICIPATE IN WORK NOT DIRECTLY RELATED TO TRAFFIC CONTROL.
- B-4. ADDITIONAL FLAGGERS SHALL BE UTILIZED TO MAINTAIN CONTROL OF TRAFFIC AT ALL SIDE ROADS, DRIVEWAYS, ETC. THAT INTERSECT THE WORK ZONE BETWEEN THE FLAGGER LOCATIONS. IF NECESSARY, PROVIDE ADDITIONAL FLAGGERS TO PROPERLY CONTROL ALL MOVEMENTS WITHIN AN INTERSECTION.
- B-5. WHEN MULTIPLE FLAGGERS ARE USED, THEY SHALL BE IN COMMUNICATION WITH EACH OTHER AT ALL TIMES.
- B-6. EXCEPT IN EMERGENCY SITUATIONS, EACH FLAGGER STATION SHALL BE ILLUMINATED AT NIGHT WITH A PORTABLE OVERHEAD LIGHTING SOURCE THAT PROVIDES AN AVERAGE LUMINANCE OF 5 FOOT CANDLES COVERING AN AREA OF 2,500 SQUARE FEET (APPROXIMATELY 50'X50' OR 28' RADIUS). THIS MAY BE ACHIEVED WITH LIGHTS OF 30,000 TO 40,000 LUMENS. THE LIGHTING SOURCE SHALL HAVE A MINIMUM COLOR TEMPERATURE OF 3,000 DEGREES AND A MAXIMUM OF 4,000 DEGREES. POSITION THE LIGHT SO FLAGGERS CAN BE SEEN AND NOT CAUSE EXCESSIVE GLARE TO MOTORISTS.
- B-7. WHEN A HIGHWAY-RAIL GRADE CROSSING EXISTS WITHIN THE WORK ZONE, OR IT IS ANTICIPATED THAT QUEUES RESULTING FROM THE LANE CLOSURE MIGHT EXTEND THROUGH A HIGHWAY-RAIL GRADE CROSSING, PROVISIONS SHALL BE MADE TO ELIMINATE CONFLICTS, WHICH MAY REQUIRE PLACING A FLAGGER AT THE CROSSING. COORDINATION WITH THE RAILROAD IS REQUIRED.
- B-8. IT IS RECOMMENDED THAT FLAGGERS STOP TRAFFIC FOR AS LITTLE TIME AS POSSIBLE.
- B-9. THE STOP/SLOW PADDLE IS THE PRIMARY TRAFFIC CONTROL DEVICE USED BY FLAGGERS. THE STOP/SLOW PADDLE:
  - SHALL BE HELD UNDER CONTROL OF THE FLAGGER AT ALL TIMES. DO NOT SUPPORT THE PADDLE BY INSERTING THE SHAFT INTO A CHANNELIZING DEVICE, CART, OR OTHER DEVICE WHICH IS NOT LISTED IN PUBLICATION 35 BULLETIN 15 AS AN APPROVED PADDLE SUPPORT DEVICE.
  - SHALL DISPLAY AN 18" MINIMUM STOP SIGN ON ONE FACE AND A DIAMOND SHAPED SLOW SIGN ON THE OPPOSITE FACE, BOTH OF WHICH SHALL BE RETROREFLECTIVE.
  - SHALL BE ATTACHED TO A SHAFT THAT HAS A MINIMUM LENGTH OF 72".
- B-10. A RED FLAG SHALL BE USED AT INTERSECTIONS WHERE A SINGLE FLAGGER CONTROLS TRAFFIC APPROACHING FROM MORE THAN ONE DIRECTION. A RED FLAG MAY ALSO BE USED IN EMERGENCY SITUATIONS WHEN A STOP/SLOW PADDLE IS NOT AVAILABLE. IT IS UNACCEPTABLE TO CONTROL TRAFFIC WITH AN ORANGE FLAG THAT IS NORMALLY USED TO SUPPLEMENT WARNING SIGNS. RED FLAGS:
  - SHALL BE SOLID RED IN COLOR WITH NO STRIPES OR PATTERNS.
  - SHALL HAVE A MINIMUM SIZE OF 24" SQUARE.
  - SHALL BE SECURELY FASTENED TO A STAFF THAT HAS A LENGTH OF APPROXIMATELY 36".
  - SHALL BE WEIGHTED ON THE FREE EDGE SO THE FLAG WILL HANG VERTICALLY, EVEN IN HIGH WINDS.
  - SHALL BE RETROREFLECTIVE WHEN USED DURING NIGHTTIME OPERATIONS.
  - SHALL NOT BE WAVED AS A NOTICE FOR DRIVERS TO PROCEED.

**GENERAL NOTES – SECTION B FLAGGERS AND FLAGGING OPERATIONS (CONT'D)**

B-11. FLAGGERS MAY BE REQUIRED TO CONTROL TRAFFIC AT SIGNALIZED INTERSECTIONS WHEN EXISTING SIGNAL TIMING; PHASING IS NOT ADEQUATE TO CONTROL TRAFFIC IN WORK ZONES. TRAFFIC SIGNALS ARE OWNED, OPERATED, AND MAINTAINED BY THE LOCAL MUNICIPALITY IN WHICH THEY ARE LOCATED AND ARE PROGRAMMED TO OPERATE AUTOMATICALLY IN ACCORDANCE WITH TRAFFIC SIGNAL PERMITS ISSUED BY THE DEPARTMENT. DO NOT CONTROL TRAFFIC AT A SIGNALIZED INTERSECTION WITH A RED FLAG WHILE THE SIGNAL IS FUNCTIONING IN STANDARD GREEN-YELLOW-RED OPERATION. MUNICIPAL OFFICIALS AND/OR THE LOCAL POLICE DEPARTMENT SHALL BE CONTACTED TO PLACE THE SIGNAL IN FLASH MODE OR MANUAL CONTROL MODE. REQUESTS SHALL BE MADE IN ADVANCE AS COORDINATION OF RESOURCES MAY BE NECESSARY. LOCAL OFFICIALS MAY OPT TO HAVE POLICE MANUALLY CONTROL THE SIGNAL OR REQUIRE EFFORTS FROM THE MUNICIPAL SIGNAL CONTRACTOR. DO NOT OPEN A TRAFFIC SIGNAL CONTROL CABINET DOOR PRIOR TO RECEIVING APPROVAL FROM LOCAL AUTHORITIES. FLAGGING OPERATIONS MAY BEGIN WHEN THE SIGNAL IS PLACED IN FLASH MODE. IN LOCATIONS WHERE MULTIPLE SIGNALIZED INTERSECTIONS ARE LOCATED CLOSE TOGETHER, IT MAY BE NECESSARY TO PLACE MULTIPLE TRAFFIC SIGNALS IN FLASH MODE TO CONTROL TRAFFIC FLOW THROUGH THE WORK ZONE. USE ADDITIONAL FLAGGERS AS NECESSARY TO CONTROL TRAFFIC THROUGH EACH INTERSECTION. RETURN TRAFFIC SIGNAL OPERATION TO AUTOMATIC CONTROL IN ACCORDANCE WITH THE SIGNAL PERMIT IMMEDIATELY UPON CONCLUSION OF WORK.

**GENERAL NOTES – SECTION C TRAFFIC CONTROL DEVICES – CHANNELIZING DEVICES**

- C-1. CONES SHALL ONLY BE USED DURING SHORT-TERM OPERATIONS. ALL CHANNELIZING DEVICES SHALL BE RETROREFLECTIVE WHEN USED DURING NIGHTTIME OPERATIONS.
- C-2. DIRECTION INDICATOR BARRICADES MAY BE USED FOR ALL TAPERS APPROACHING A WORK ZONE. UTILIZATION IS RECOMMENDED ON TAPERS APPROACHING WORK ZONES ON FREEWAYS AND EXPRESSWAYS.
- C-3. CHANNELIZING DEVICES MAY BE SUBSTITUTED FOR TEMPORARY LONGITUDINAL EDGE LINE PAVEMENT MARKINGS SHOWN ON ANY PATA 200 OR 500 SERIES DRAWING. IF CHANNELIZING DEVICES ARE USED IN PLACE OF LONGITUDINAL EDGE LINES, THEY SHALL BE SPACED AT A DISTANCE (IN FEET) EQUAL TO THE REGULATORY SPEED LIMIT; FOR EXAMPLE A 45 MPH SPEED LIMIT REQUIRES 45' SPACING. CHANNELIZING DEVICES CANNOT BE SUBSTITUTED FOR TAPER EDGE LINE PAVEMENT MARKINGS.
- C-4. CHANNELIZING DEVICES PLACED ALONG A CONVENTIONAL HIGHWAY CENTERLINE SHOULD BE PLACED ON THE SAME SIDE OF THE DOUBLE YELLOW LINE AS THE WORK SPACE, THEREBY REDUCING THE IMPACT TO MOTORISTS TRAVELING ON THE OPPOSITE SIDE OF THE ROADWAY. WHEN THE TYPE OF WORK REQUIRES DEVICES TO BE PLACED ON OR ALONG THE OPPOSITE SIDE OF A CENTERLINE OR LANE LINE, ENSURE THAT MINIMUM LANE WIDTH OF 10' IS PROVIDED.
- C-5. TAPERS WITHIN A LANE SHALL UTILIZE A MINIMUM OF 6 CHANNELIZING DEVICES, HOWEVER, MORE MAY BE REQUIRED BASED UPON THE REGULATORY SPEED LIMIT AND LANE WIDTH. SHOULDER TAPERS CONSISTING OF 6 CHANNELIZING DEVICES ARE REQUIRED WHEN CLOSING PAVED SHOULDERS THAT HAVE A WIDTH OF 8' OR MORE. SHOULDER TAPERS ARE OPTIONAL WHEN CLOSING UNPAVED SHOULDERS OR THOSE LESS THAN 8' IN WIDTH.
- C-6. BARRICADES AND VERTICAL PANELS WITH STRIPES SHALL HAVE ALTERNATING ORANGE AND WHITE RETROREFLECTIVE STRIPES SLOPING DOWNWARD AT AN ANGLE OF 45 DEGREES IN THE DIRECTION VEHICULAR TRAFFIC IS TO PASS.
- C-7. CHANNELIZING DEVICES USED TO FORM A TAPER OR LONGITUDINAL LINE MUST BE ALL OF A SINGLE TYPE AND IDENTICAL IN SIZE AND APPEARANCE. FOR EXAMPLE, CONES, DRUMS, BARRICADES, AND VERTICAL PANELS MAY NOT BE INTERMIXED WITHIN THE SAME TAPER OR LONGITUDINAL LINE, HOWEVER, THE TYPE OF DEVICE USED IN A TAPER MAY DIFFER FROM THE TYPE OF DEVICE USED IN A LONGITUDINAL LINE.
- C-8. TRAILER MOUNTED EQUIPMENT SUCH AS SPEED DISPLAY TRAILERS, PORTABLE CHANGEABLE MESSAGE SIGNS, ETC. LOCATED ON THE SHOULDER OR WITHIN THE CLEAR ZONE MUST BE DELINEATED WITH CHANNELIZING DEVICES. DRUMS ARE THE MOST PREFERRED CHANNELIZER FOR DELINEATION BECAUSE THEY ARE HIGHLY VISIBLE, HAVE GOOD TARGET VALUE, GIVE THE APPEARANCE OF BEING FORMIDABLE OBSTACLES AND, THEREFORE, COMMAND THE RESPECT OF ROAD USERS. ALSO, DRUMS ARE GENERALLY USED IN SITUATIONS WHERE THEY WILL REMAIN IN PLACE FOR A PROLONGED PERIOD OF TIME. IF THE TRAILER IS LOCATED BEHIND BARRIER THEN DELINEATION IS NOT REQUIRED. REFER TO PATA 009 FOR FURTHER GUIDANCE.

**GENERAL NOTES – SECTION D TRAFFIC CONTROL DEVICES – SIGNS AND WARNING LIGHTS**

- D-1. WARNING SIGNS FOR TEMPORARY TRAFFIC CONTROL SHALL HAVE ORANGE BACKGROUND AND BLACK BORDER/LEGEND. WARNING SIGNS FOR INCIDENT MANAGEMENT AREAS SHALL HAVE PINK BACKGROUND WITH BLACK BORDER/LEGEND. ORANGE WARNING SIGNS MAY BE USED IN INCIDENT MANAGEMENT AREAS IF PINK SIGNS ARE NOT AVAILABLE.
- D-2. SIGN SHEETING SHALL BE OF AN APPROVED TYPE AND LISTED IN PUBLICATION 35 (BULLETIN 15). SIGNS MANUFACTURED WITH A MESH OR TRANSPARENT QUALITY ARE PROHIBITED. REFER TO THE 2011 TRAFFIC SIGN RETROREFLECTIVE SHEETING IDENTIFICATION GUIDE IN APPENDIX B OF THIS PUBLICATION OR PUBLICATION 46, EXHIBITS 2-3 AND 2-4. FOR RETRO-REFLECTIVE MATERIAL AND LEVEL INFORMATION. SIGNS BEARING TYPE VII THROUGH XI RETRO-REFLECTIVE MATERIAL ARE CONSIDERED EQUIVALENT AND INTERCHANGEABLE.
- D-3. WHEN TRAFFIC CONTROL SIGNS ARE PLACED IN A TEMPORARY TRAFFIC CONTROL AREA, ALL PERMANENT SIGNS THAT PROVIDE A CONFLICTING MESSAGE SHALL BE COVERED OR REMOVED. SEE PUBLICATION 408, SECTION 901.3(A), FOR DETAILS ON COVERING SIGNS.
- D-4. WHEN A FLAGGER AHEAD (W20-7) SIGN IS DISPLAYED, A FLAGGER MUST BE PRESENT. COVER OR REMOVE THIS SIGN IMMEDIATELY UPON CONCLUSION OF FLAGGING DUTIES.
- D-5. WHEN WORK IS SUSPENDED, REMOVE ALL TEMPORARY TRAFFIC CONTROL DEVICES FROM THE ROADWAY AND COVER WARNING SIGNS OR TURN SIGNS FROM THE VIEW OF TRAFFIC WHILE REMAINING IN THE UPRIGHT POSITION.
- D-6. DO NOT MOUNT TEMPORARY TRAFFIC CONTROL WARNING SIGNS ONTO EXISTING SIGN INSTALLATIONS UNLESS THE PERMANENT SIGN HAS BEEN REMOVED FROM THE POST. WITH THE EXCEPTION OF SUPPLEMENTAL ADVISORY SPEED OR DISTANCE PLAQUES, DO NOT MOUNT MULTIPLE WARNING SIGNS ON THE SAME POST. THIS COULD RESULT IN MOUNTING HEIGHTS BELOW THE MINIMUM STANDARD. DRIVERS NEED ADEQUATE TIME TO READ, COMPREHEND, AND REACT TO EACH SIGN AND POSTING MULTIPLE SIGNS ON THE SAME POST MAY PROVIDE TOO MUCH INFORMATION FOR SOME DRIVERS TO PROCESS SAFELY. TEMPORARY TRAFFIC CONTROL DEVICES SHALL NOT BE ATTACHED TO UTILITY POLES OR OTHER STRUCTURES UNLESS THE OWNER GRANTS WRITTEN PERMISSION AND THE SIGNS CAN BE PROPERLY POSITIONED TO CONVEY THEIR MESSAGE EFFECTIVELY.
- D-7. SIGN SIZES AND SIZE REQUIREMENTS BASED UPON TYPE OF HIGHWAY CAN BE FOUND IN APPENDIX A. REFER TO PUBLICATION 236 HANDBOOK OF APPROVED SIGNS FOR ADDITIONAL AND MOST CURRENT INFORMATION.
- D-8. DO NOT PLACE SIGN SUPPORTS ON SIDEWALKS, BICYCLE FACILITIES, OR AREAS DESIGNATED FOR PEDESTRIAN OR BICYCLE TRAFFIC UNLESS THERE ARE NO SUITABLE ALTERNATIVE LOCATIONS. AN EXCEPTION IS MADE FOR SIGNS RELATED TO SIDEWALK AND/OR BICYCLE FACILITY CLOSURES WHICH ARE DIRECTED TOWARDS PEDESTRIANS AND BICYCLISTS. IF SIGN SUPPORTS ARE PLACED ON SIDEWALKS, AN ACCESSIBLE PATH OF 48" MINIMUM WIDTH SHALL BE PROVIDED. THIS ACCESSIBLE PATH MUST REMAIN FREE FROM SIGNS, SIGN SUPPORTS, HORIZONTAL PANELS, TYPE III BARRICADE RAILS, MATERIAL STORAGE, ETC. REFER TO PATA 010 FOR FURTHER GUIDANCE.
- D-9. INSTALL ADDITIONAL SIGNING IN ADVANCE OF THE ROAD WORK (W20-1) SIGN WHERE TRAFFIC APPROACHING THE WORK ZONE IS QUEUED BEYOND ALL ADVANCE WARNING SIGNS. ADDITIONAL SIGNS MAY INCLUDE THE BE PREPARED TO STOP (W3-4) SIGN, LANE CLOSED (W20-5 SERIES) SIGNS, PORTABLE CHANGEABLE MESSAGE SIGNS (PCMS), OR OTHER STANDARD SIGNS AS APPROPRIATE.
- D-10. AS A GENERAL RULE, SIGNS SHALL BE LOCATED ON THE RIGHT-HAND SIDE OF THE ROADWAY. ON DIVIDED HIGHWAYS AND ONE-WAY HIGHWAYS WHERE IT IS PHYSICALLY POSSIBLE, SIGNS SHOULD ALSO BE PLACED ON THE LEFT-HAND SIDE OF THE ROADWAY.
- D-11. ATTACH RED TYPE B FLASHING LIGHTS TO ALL STOP SIGNS WHICH ARE INSTALLED ON A TEMPORARY BASIS; ATTACH YELLOW TYPE B FLASHING LIGHTS TO ALL TEMPORARY YIELD SIGNS.

**GENERAL NOTES – SECTION D TRAFFIC CONTROL DEVICES – SIGNS AND WARNING LIGHTS (CONT'D)**

- D-12. STANDARD ORANGE FLAGS OR YELLOW FLASHING WARNING LIGHTS MAY BE USED IN CONJUNCTION WITH WARNING SIGNS. PRACTICE CONSISTENCY IN APPLICATION OF SUPPLEMENTAL FLAGS AND/OR LIGHTS. A SINGLE LIGHT OR UP TO THREE FLAGS MAY BE ATTACHED TO A TEMPORARY WARNING SIGN. EACH WARNING SIGN INSTALLATION IN A WORK ZONE SHALL HAVE THE SAME NUMBER OF FLAGS OR LIGHTS. DO NOT BLOCK THE SIGN FACE WITH FLAGS OR LIGHTS. WHITE FLASHING LIGHTS ARE RESERVED FOR USAGE WITH THE ACTIVE WORK ZONE WHEN FLASHING (W21-19) SIGN OF ACT 229 AND IN CONJUNCTION WITH STOP/ SLOW PADDLES. REFER TO PUBLICATION 46, CHAPTER 6.10, AND THE MUTCD, SECTION 6F.83, FOR GUIDANCE ON FLASHING LIGHTS.
- D-13. SIGNS SPECIFIC TO AN OPERATION (SUCH AS MOWING OR UTILITY WORK) MAY BE USED AS AN ALTERNATIVE TO THE ROAD WORK AHEAD (W20-1) OR ROAD WORK NEXT XX MILES (G20-1) SIGNS WHERE APPROPRIATE. FURTHERMORE THE ROAD WORK NEXT XX MILES (G20-1) SIGN MAY BE USED IN LIEU OF THE ROAD WORK AHEAD (W20-1) SIGN ON ANY CONSTRUCTION OR MAINTENANCE JOB TWO MILES OR MORE IN LENGTH, WHERE TRAFFIC IS MAINTAINED THROUGH THE JOB.
- D-14. DO NOT UTILIZE PORTABLE SIGN SUPPORTS ON LONG TERM OPERATIONS WHERE THE SIGN WILL BE DISPLAYED FOR MORE THAN 3 CONSECUTIVE DAYS.
- D-15. WHEN DISTANCES ARE POSTED ON TEMPORARY TRAFFIC CONTROL SIGNS WITH A 'MILES' UNIT OF MEASURE, DISPLAY THE DISTANCE IN TERMS OF WHOLE MILES OR FRACTIONS WITH DENOMINATORS OF 2, 4, AND 8 (FOR EXAMPLE, 1/2 MILE, 1/4 MILE, 3/8 MILE, ETC.) THE USE OF DECIMALS FOR THIS PURPOSE IS PROHIBITED.
- D-16. STATIONARY WARNING SIGNS MAY BE OMITTED FOR MOBILE OPERATIONS IF WARNING SIGNS ARE MOUNTED ON WORK VEHICLES, SHADOW VEHICLES, OR TRAILERS THAT MOVE ALONG WITH THE OPERATION.

**GENERAL NOTES – SECTION E TRAFFIC CONTROL DEVICES – PORTABLE CHANGEABLE MESSAGE SIGNS**

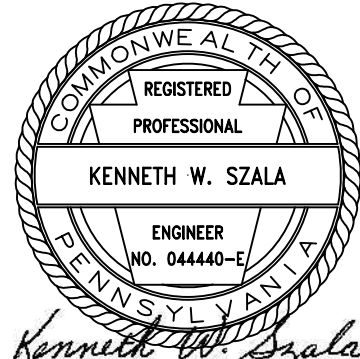

- E-1. PCMS MESSAGE TEXT INCLUDED WITH APPROVED TRAFFIC CONTROL PLANS SHALL BE DISPLAYED EXACTLY AS SHOWN. IF MESSAGES ARE NOT PROVIDED OR OTHER MESSAGES ARE DESIRED, USE THE CRITERIA ESTABLISHED IN THE MUTCD, SECTION 2L.05, TO CREATE THE DESIRED MESSAGE AND CONTACT THE DISTRICT TRAFFIC UNIT, DISTRICT TRAFFIC MANAGEMENT CENTER (DTMC) OR REGIONAL TRAFFIC MANAGEMENT CENTER (RTMC) TO REQUEST APPROVAL PRIOR TO POSTING. ONCE A MESSAGE HAS BEEN APPROVED, REQUESTERS MAY RETAIN IT AND MAINTAIN A LOG OF PREVIOUSLY APPROVED MESSAGES FOR FUTURE POSTINGS. THE LOG SHOULD CONTAIN THE MESSAGE TEXT, REQUESTED DATE, APPROVED DATE, AND NAME OF APPROVER. ALTERATION OF A PREVIOUSLY APPROVED MESSAGE IS CONSIDERED A NEW MESSAGE AND REQUIRES APPROVAL. THIS IS TO ENSURE CONSISTENCY WITH PCMS MESSAGE CONTENT, PHASE TIMING, AND APPEARANCE. PCMS BOARDS ARE AN IMPORTANT RESOURCE AND THEIR EFFECTIVENESS IS DEPENDENT UPON MANY FACTORS INCLUDING PROPER INSTALLATION, ACCURATE MESSAGE CONTENT, AND PANEL DISPLAYS. IMPROPER MESSAGES OR INCORRECT MESSAGE CONTENT WILL ERODE MOTORIST CONFIDENCE IN PCMS MESSAGES. REFER TO THE MUTCD, SECTIONS 2L AND 6F.60, FOR MORE INFORMATION ON PCMS MESSAGE STRUCTURE.
- E-2. PCMS DEPLOYED ALONG THE ROADWAY SHOULD BE PLACED BEHIND BARRIER, IF PRACTICAL. WHERE BARRIER IS NOT AVAILABLE, PCMS SHOULD BE PLACED OFF THE SHOULDER AND OUTSIDE THE CLEAR ZONE. IF THERE ARE NO OPTIONS OTHER THAN TO PLACE A PCMS ON THE SHOULDER THEN IT SHALL BE PLACED AS FAR AS PRACTICAL FROM THE EDGE LINE WITH THE TRAILER HITCH FACING AWAY FROM ONCOMING TRAFFIC. DELINEATION (DRUMS ARE PREFERRED) IS REQUIRED WHEN THE PCMS IS PLACED WITHIN THE CLEAR ZONE AND NOT BEHIND BARRIER. REFER TO PATA 009 FOR FURTHER GUIDANCE.
- E-3. PCMS MAY BE PLACED ON THE LEFT OR RIGHT SIDE OF THE ROADWAY. WHEN MULTIPLE PCMS ARE PLACED IN THE SAME DIRECTION OF TRAVEL, PLACE THEM ON THE SAME SIDE OF THE ROADWAY; SEPARATED FROM EACH OTHER BY A DISTANCE OF AT LEAST 1000' ON FREEWAYS AND EXPRESSWAYS AND AT LEAST 500' ON OTHER HIGHWAYS. PCMS SHOULD NOT BE LOCATED WITHIN AN INTERCHANGE EXCEPT FOR TOLL PLAZAS AND MANAGED LANES.

**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

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DATE: \_\_\_\_\_

		DATE	NO.	REVISION	OUTDOOR SOLAR PANEL SHOWROOM GROUNDHOG SOLAR, LLC. CITY OF ALTOONA BLAIR COUNTY, PENNSYLVANIA
		08.29.23	1	CITY ENGINEER LT 08.22.23	
PROJECT NO. 7214		DATE: 07.26.23			

GENERAL NOTES – SECTION F TRAFFIC CONTROL SETUP AND REMOVAL

F-1. TEMPORARY TRAFFIC CONTROL ZONES ARE TO BE SET UP BY UTILIZING THE FOLLOWING:

- PATA DRAWING WITHOUT MODIFICATIONS.
- MUTCD TYPICAL APPLICATION WITHOUT MODIFICATIONS.
- PATA DRAWING WITH APPROVED MODIFICATIONS.
- MUTCD TYPICAL APPLICATION WITH APPROVED MODIFICATIONS.
- CUSTOMIZED TEMPORARY TRAFFIC CONTROL PLANS CREATED SPECIFICALLY AND APPROVED FOR THE WORK AREA.

FURTHERMORE, THE PATA DRAWINGS SHALL BE UTILIZED IN LIEU OF A MUTCD TYPICAL APPLICATION WHEN ROADWAY CONDITIONS ARE SIMILAR (FOR EXAMPLE, PATA 306 AND PATA 603 WOULD HAVE PRECEDENCE OVER MUTCD TA-35 FOR A MOBILE OPERATION ON A MULTI-LANE HIGHWAY).

F-2. GUIDELINES FOR INSTALLATION AND REMOVAL OF TRAFFIC CONTROL SETUPS:

- UTILIZE PATA 007A WHEN SETTING UP AND REMOVING TEMPORARY TRAFFIC CONTROL SIGNS AND DEVICES ON A FREEWAY OR EXPRESSWAY WHEN THERE WILL BE NO ROADWAY ENCROACHMENT. UTILIZE PATA 007B WHEN SETTING UP AND REMOVING TEMPORARY TRAFFIC CONTROL SIGNS AND DEVICES ON A FREEWAY OR EXPRESSWAY WHEN A VEHICLE WILL OCCUPY A TRAVEL LANE.
- INSTALL SIGNS BEGINNING WITH THE FIRST SIGN MOTORISTS WILL PASS WHEN ENTERING THE ADVANCE WARNING AREA AND CONTINUE PLACING SIGNS DOWNSTREAM ON THE SAME SIDE OF THE ROADWAY UNTIL COMPLETE. COVER, REMOVE, OR MODIFY EXISTING SIGNS WITH CONFLICTING MESSAGES IN CONJUNCTION WITH TEMPORARY SIGN PLACEMENT. REFER TO PUBLICATION 408, SECTION 901.3(A), FOR DETAILS ON COVERING SIGNS.
- FLAGGERS MAY BEGIN CONTROLLING TRAFFIC AFTER PLACEMENT OF ALL ADVANCE WARNING SIGNS.
- CHANNELIZING DEVICES SHALL BE INSTALLED IN THE DIRECTION OF TRAVEL. A SHADOW VEHICLE MAY BE PLACED BETWEEN APPROACHING TRAFFIC AND THE WORKERS WHO ARE INSTALLING CHANNELIZING DEVICES. AFTER CHANNELIZING DEVICES ARE INSTALLED, THE VEHICLE MAY MOVED AND WORK MAY BEGIN.
- IMMEDIATELY UPON COMPLETION OF WORK, REMOVE TRAFFIC CONTROL DEVICES IN THE REVERSE IN WHICH THEY WERE INSTALLED. APPLICABLE TRAFFIC CONTROL ZONE COMPONENTS SHOULD BE ADDRESSED IN THE FOLLOWING ORDER: 1) TERMINATION AREA 2) ACTIVITY AREA 3) TRANSITION AREA 4) ANY FLAGGER STATIONS 5) ADVANCE WARNING AREA.

F-3. SHADOW VEHICLE AND IMPACT ATTENUATOR INFORMATION CAN BE FOUND IN PUBLICATION 46, SECTION 6.11. IN CONJUNCTION WITH ANY TEMPORARY TRAFFIC CONTROL ZONE, SHADOW VEHICLES:

- ARE MANDATORY WITH A TRUCK MOUNTED ATTENUATOR FOR WORK ON EXPRESSWAYS, FREEWAYS, AND RAMPS.
- ARE OPTIONAL FOR WORK ON ALL OTHER HIGHWAYS (UNLESS LABELED AS MANDATORY ON THE PATA).
- SHALL BE EQUIPPED WITH FLASHING, OSCILLATING, OR REVOLVING YELLOW LIGHTS. THESE ARE TO BE ACTIVE ON ALL SHADOW VEHICLES AND MUST BE VISIBLE FROM ANY DIRECTION (VISIBILITY). HAZARD WARNING LIGHTS AND TURN SIGNALS ARE NOT CONSIDERED FLASHING LIGHTS FOR THIS PURPOSE.
- SHALL NOT BE INVOLVED IN THE OPERATION AS A WORK VEHICLE.
- SHALL NOT BE LOCATED WITHIN THE BUFFER SPACE.

GENERAL NOTES – SECTION F TRAFFIC CONTROL SETUP AND REMOVAL (CONT'D)

- SHALL BE USED IN PAIRS (SEPARATED BY A MINIMUM DISTANCE OF A) FOR BRIDGE INSPECTION TEAMS WHILE WORKING ON FREEWAYS OR EXPRESSWAYS (UNLESS OTHERWISE APPROVED BY THE DISTRICT TRAFFIC ENGINEER).
- MAY BE MOBILE IF THEY ARE KEPT BETWEEN 125' AND 200' FROM WORKERS OR NEAREST WORK VEHICLE IN A CONTINUOUSLY MOVING OPERATION. THIS DISTANCE MAY BE INCREASED TO 1000' FOR PAVING OPERATIONS.
- MAY BE USED IN EMERGENCY SITUATIONS TO PROTECT CONCRETE BARRIER BLUNT ENDS. DISTRICT TRAFFIC ENGINEER APPROVAL IS REQUIRED IF SHADOW VEHICLE WILL BE IN PLACE LONGER THAN THREE DAYS.

F-4. AN OPTIONAL THREE CONE ADVANCE SETUP MAY BE USED TO ALERT ONCOMING TRAFFIC TO A FLAGGER LOCATION. IF USED, THE CONE LOCATED NEAREST TO THE FLAGGER SHOULD BE PLACED ON THE ROADWAY CENTERLINE DIRECTLY ACROSS FROM THE FLAGGER SYMBOL (W20-7) SIGN. PLACE TWO ADDITIONAL CONES UPSTREAM EQUALLY SPACED AT A DISTANCE OF 10' TO 50'. IF ADDITIONAL CONES ARE DESIRED, ONE MAY BE PLACED ON THE ROADWAY CENTERLINE DIRECTLY ACROSS FROM ADVANCE WARNING SIGNS. REFER TO PATA 002 FOR FURTHER GUIDANCE.

F-5. CONSIDER USING TEMPORARY LONGITUDINAL BARRIER TO PROTECT WORKERS IN ALL MULTI-LANE WORK ZONES IF THE SPEED LIMIT IS 45 MPH OR GREATER, WORKERS ARE PRESENT WITHIN ONE LANE WIDTH OF AN ACTIVE LANE, AND A LANE OR SHOULDER IS CLOSED CONTINUOUSLY FOR MORE THAN THREE DAYS. REFER TO PUBLICATION 72M, ROADWAY CONSTRUCTION STANDARDS, FOR BARRIER INSTALLATION DETAILS.

F-6. PAVED SHOULDERS MAY BE USED FOR TRAFFIC IF THEY ARE STRUCTURALLY SOUND, HAVE SUFFICIENT WIDTH AND DEPTH TO SAFELY SUPPORT TRAFFIC, AND ARE FREE OF DEBRIS. SHOULDERS THAT WILL BE USED FOR TRAFFIC IN CONJUNCTION WITH LONG-TERM OPERATIONS MAY REQUIRE EXTRA ATTENTION, SUCH AS:

- MILL AND FILL EXISTING EDGE LINE AND SHOULDER RUMBLE STRIPS.
- ERADICATE AND PAINT NEW WHITE EDGE LINES.
- REVIEW THE CONDITION AND ELEVATION OF INLET GRATES. TACK-WELD GRATE INLETS TO FRAMES.
- REFER TO PUBLICATION 13M, DESIGN MANUAL PART 2, FOR CROSS SLOPE INFORMATION.

GENERAL NOTES – SECTION G EQUIPMENT, VEHICLE, AND MATERIAL STORAGE

G-1. THE BUFFER SPACE SHALL BE KEPT FREE FROM WORK ACTIVITY AND STORAGE OF EQUIPMENT, VEHICLES, OR MATERIAL.

G-2. EQUIPMENT, VEHICLES, AND MATERIAL SHALL BE STORED A MINIMUM OF 30 FEET FROM THE EDGE OF THE NEAREST OPEN TRAVEL LANE, OR THEY SHALL BE ADEQUATELY STORED BEHIND A LONGITUDINAL BARRIER. IF THESE CRITERIA CANNOT BE MET, THEN STORE THESE ITEMS AS FAR AS PRACTICAL FROM THE NEAREST ROADWAY EDGE AND BEHIND BARRICADES, DRUMS, OR OTHER PROTECTIVE DEVICES. PUBLICATION 13M, DESIGN MANUAL 2, CHAPTER 12, TABLE 2.3, PRESENTS MINIMUM UNOBSTRUCTED DISTANCES THAT SHALL BE MAINTAINED BEHIND VARIOUS GUIDERAIL SYSTEMS.

G-3. IF SITE CONDITIONS PREVENT EQUIPMENT, VEHICLES, AND MATERIAL FROM BEING STORED AS INDICATED IN THE PREVIOUS NOTE OR IF THESE ITEMS ARE STAGED FOR USE IN AN OPERATION, THEN BARRICADES, DRUMS, OR OTHER PROTECTIVE DEVICES SHALL BE PLACED AROUND THESE ITEMS.

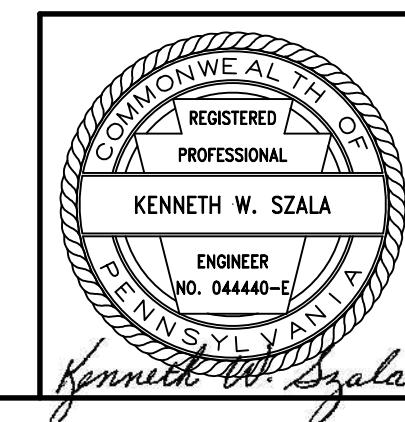
G-4. WORKER'S VEHICLES PARKED IN A WORK ZONE SHALL BE PLACED IN SUCH A MANNER THAT DOES NOT COMPROMISE THE SAFETY OF WORKERS, PEDESTRIANS, OR THE TRAVELING PUBLIC. PARKING BEHIND BARRIER IS MOST PREFERRED. IF BARRIER DOES NOT EXIST THEN POSITION VEHICLES OUTSIDE OF THE CLEAR ZONE, IF POSSIBLE.

ALTOONA CITY PLANNING COMMISSION

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: \_\_\_\_\_

FILE: G:\Projects\72xx\7214 Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Details.dwg  
 USER: EHeggi  
 DATE: 08/29/23 - 09:18 PM



**P. JOSEPH LEHMAN, INC.**  
 CONSULTING ENGINEERS  
 POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
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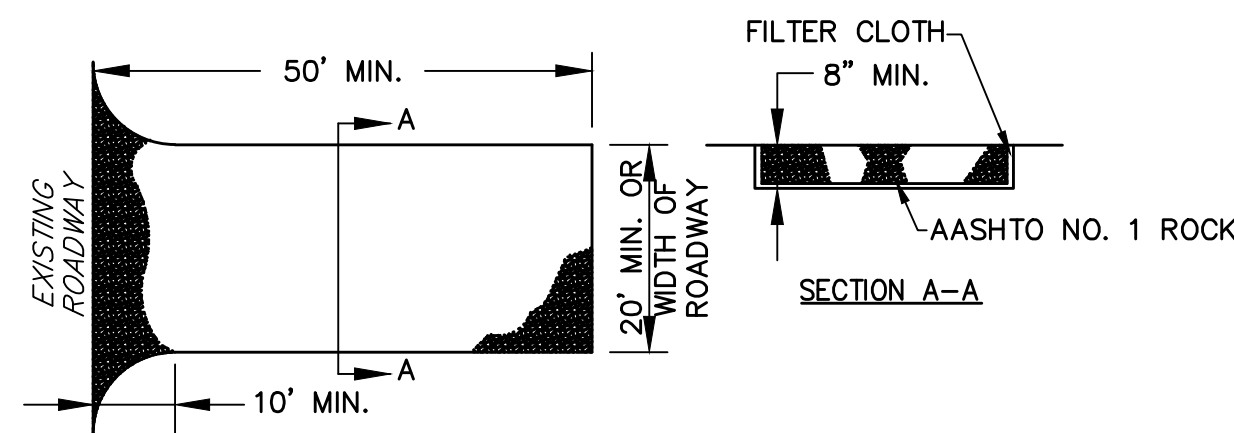
PROJECT NO. 7214 DATE: 07.26.23

DATE	NO.	REVISION
08.29.23	1	CITY ENGINEER LT 08.22.23

OUTDOOR SOLAR PANEL SHOWROOM  
 GROUNDHOG SOLAR, LLC.  
 CITY OF ALTOONA  
 BLAIR COUNTY, PENNSYLVANIA

DETAILS SHEET  
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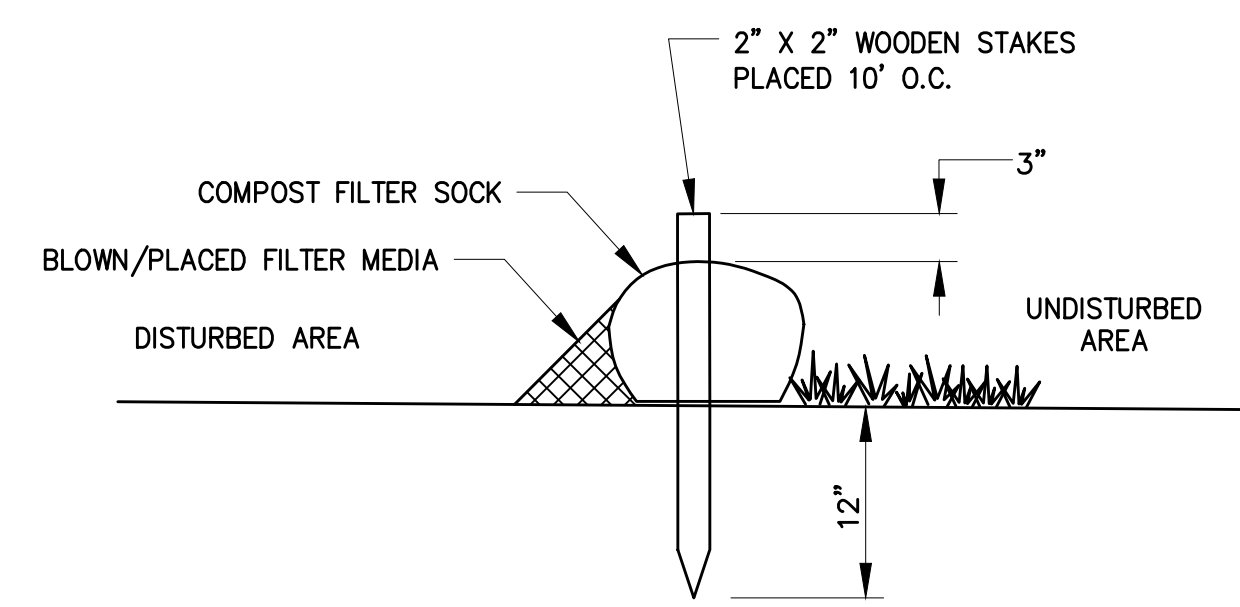


REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

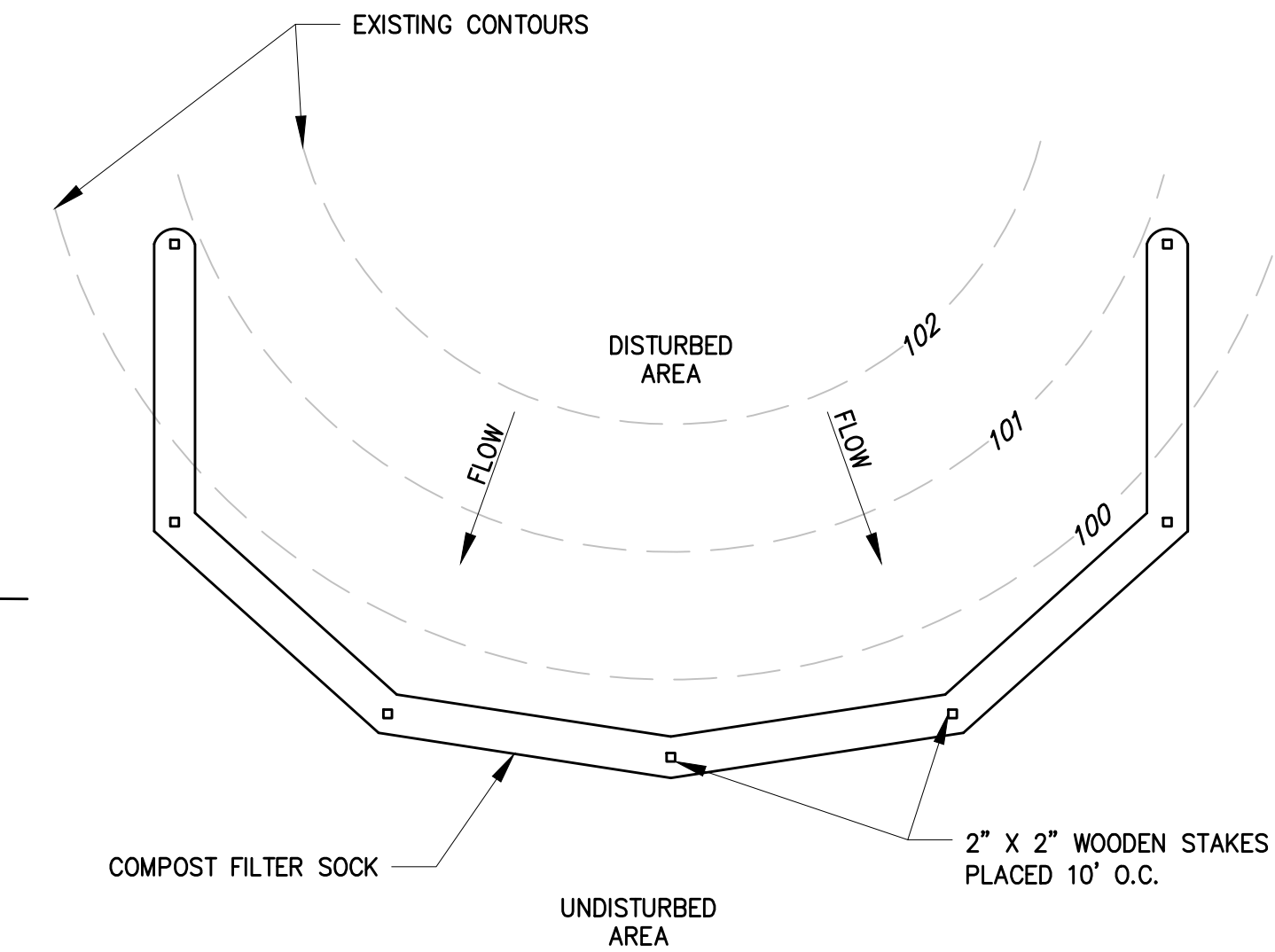
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

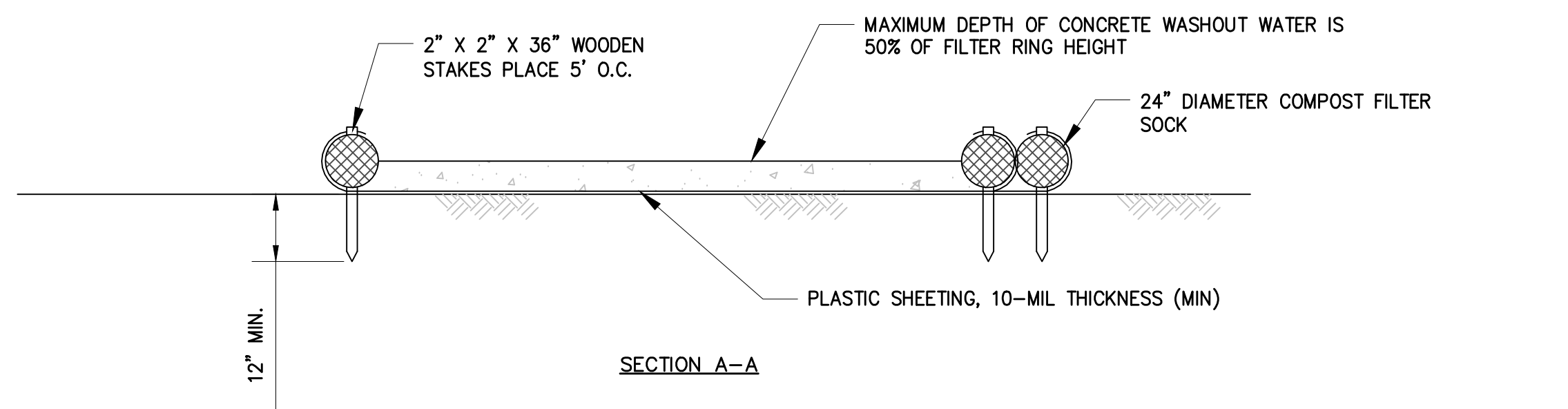
**ROCK CONSTRUCTION ENTRANCE DETAIL**  
NO SCALE



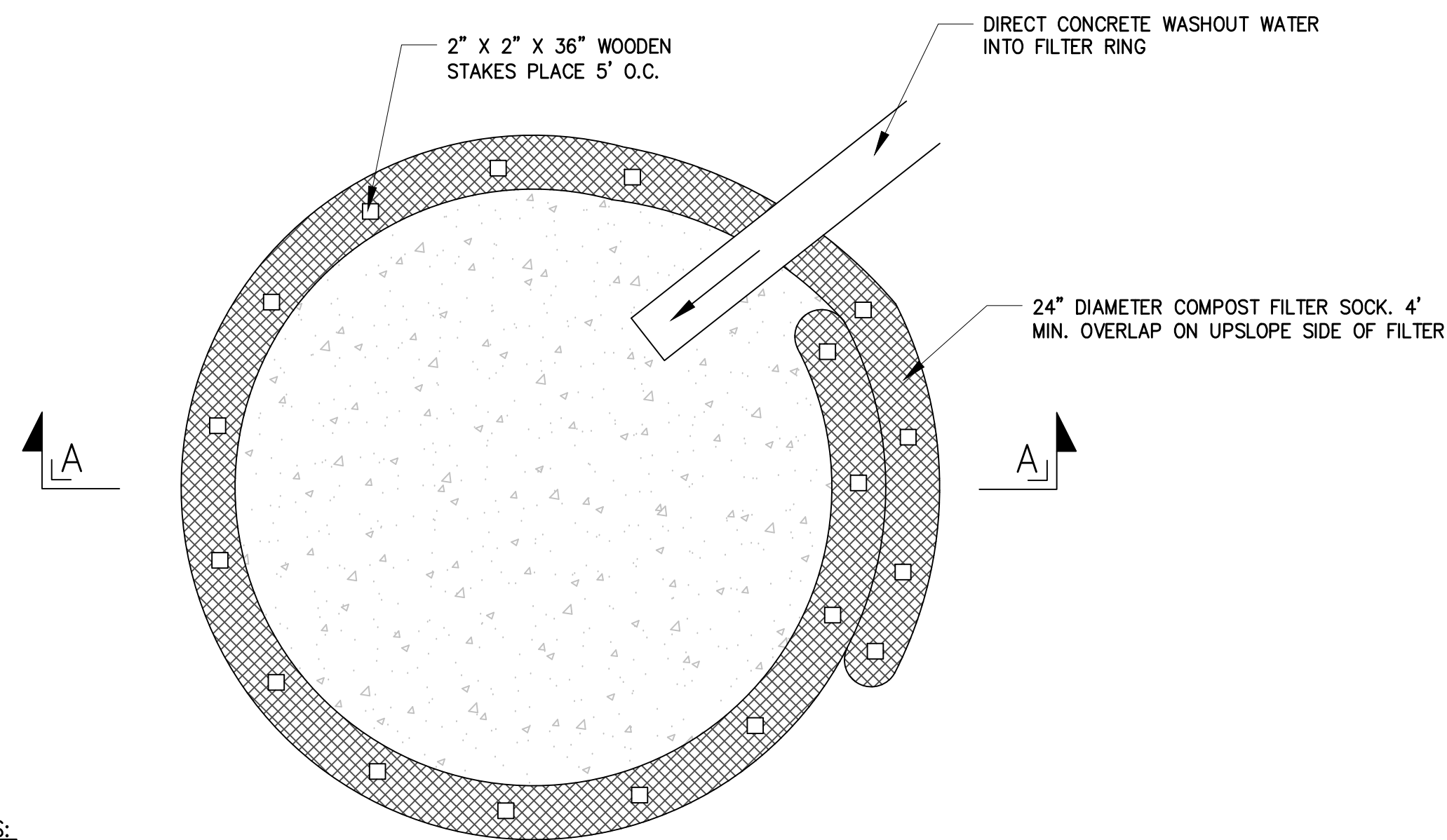
SECTION



PLAN VIEW



SECTION A-A



**CONCRETE WASHOUT AREA DETAIL**  
NO SCALE

**NOTES:**

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
- 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
- CONSTRUCT WASHOUT FACILITIES CONVENIENT TO THE CONCRETE POUR LOCATION, BUT A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS. DETERMINE A SUITABLE OFF-SITE LOCATION, FOR THE CONCRETE WASHOUT FACILITY, WHEN THE CONDITIONS REQUIRED FOR THE CONCRETE WASHOUT FACILITY CANNOT BE FULLY SATISFIED ON THE PROJECT SITE. OBTAIN SITE APPROVAL FROM THE PA DEP.

**TABLE 4.1**  
COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MPPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMPPP)
	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIQ-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12"	12"	12"	12"	12"
	18"	18"	18"	18"	18"
	24"	24"	24"	24"	24"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
TWO-PLY SYSTEMS					
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES 3/4" X 3/4" MAX. APERTURE SIZE				
	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH) 3/8" MAX. APERTURE SIZE				
	3/8" MAX. APERTURE SIZE				
SOCK FABRIC COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.					

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE FIRST CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**TABLE 4.2**  
COMPOST STANDARDS

COMPOST STANDARDS	
ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 DS/M (MMHOS/CM) MAXIMUM

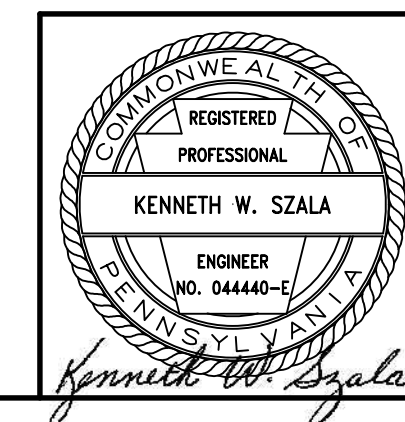
**COMPOST FILTER SOCK**  
NO SCALE

**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_

FILE: G:\Projects\72xx\7214 Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Final\10\_Details.dwg  
USER: EHeggi  
DATE: 08/29/23 - 09:18 PM



**P. JOSEPH LEHMAN, INC.**  
CONSULTING ENGINEERS  
POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
(814) 695-7500 www.LEHMANENGINEERS.com  
PROJECT NO. 7214 DATE: 07.26.23

DATE	NO.	REVISION
08.29.23	1	CITY ENGINEER LT 08.22.23

**OUTDOOR SOLAR PANEL SHOWROOM**  
**GROUNDHOG SOLAR, LLC.**  
CITY OF ALTOONA  
BLAIR COUNTY, PENNSYLVANIA

DETAILS

SHEET  
12 OF 14

**CONSTRUCTION SEQUENCE**

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, AND A REPRESENTATIVE FROM THE BLAIR COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.

UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE BLAIR COUNTY CONSERVATION DISTRICT.

AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE BLAIR COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.

1. PRIOR TO CONSTRUCTION, DELINEATE LIMITS OF DISTURBANCE IN FIELD WITH PAINT MARKINGS, FLAGGING, ETC.
2. ALL CONSTRUCTION EQUIPMENT SHALL ENTER/EXIT THE PROPERTY VIA THE EXISTING GRAVEL PAVEMENT AREA. (IF SEDIMENT BECOMES DEPOSITED ON THE ROADWAY, INSTALL A ROCK CONSTRUCTION ENTRANCE.)
3. PRIOR TO EARTHMOVING ACTIVITIES, INSTALL COMPOST FILTER SOCKS AND CONCRETE WASHOUT AS INDICATED ON THE PLAN.
4. COMPLETE CLEARING AND GRUBBING AS NECESSARY. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS INVOLVING ACTIVE EARTHWORK OPERATIONS.
5. PLACE COMPOST FILTER SOCK ON THE DOWNHILL SIDE OF THE TEMPORARY TOPSOIL STOCKPILE LOCATIONS. STRIP ANY TOPSOIL AND STOCKPILE. SEED AND MULCH AS PER THE TEMPORARY SEEDING AND SOIL SUPPLEMENTS SECTION.
6. CONSTRUCT SIDEWALK AND GRAVEL PARKING STALLS.
7. INSTALL SHED AND SOLAR PANELS.
8. INSTALL LANDSCAPING (TREES AND BENCH).
9. INSTALL TOPSOIL WITHIN THE GRASSED AREAS 4 INCHES DEEP OVER THE REMAINING DISTURBED AREAS AND TILL INTO SUBSOIL.
10. REMOVE EROSION CONTROL STRUCTURES (ROCK CONSTRUCTION ENTRANCE IF INSTALLED, CONCRETE WASHOUT, COMPOST FILTER SOCKS) ONLY AFTER THE ENTIRE SITE IS STABILIZED. AREAS WILL BE CONSIDERED STABILIZED WHEN PERENNIAL VEGETATIVE COVER HAS A UNIFORM DENSITY OR COVERAGE OF 70% OVER THE ENTIRE DISTURBED AREA AND PARKING AREAS HAVE GRAVEL IN PLACE.

**SOILS**

**WEB--WEIKERT CHANNERY SILT LOAM, 3% TO 8% SLOPES.**  
THIS SOIL IS GENTLY SLOPING, SHALLOW, AND WELL DRAINED. IT IS LOCATED ON NARROW SIDE SLOPES AND TOPS OF RIDGES. PERMEABILITY IS MODERATELY RAPID, AND THE AVAILABLE WATER CAPACITY IS VERY LOW. RUNOFF IS MEDIUM AND THE EROSION HAZARD IS SEVERE. THE ROOT ZONE IS RESTRICTED BY BEDROCK AT A DEPTH OF 12 TO 20 INCHES. IN UNLIMED AREAS, THE SOIL IS VERY STRONGLY ACID AND STRONGLY ACID THROUGHOUT.

**WEC--WEIKERT CHANNERY SILT LOAM, 8% TO 15% SLOPES.**  
THIS SOIL IS GENTLY SLOPING, SHALLOW, AND WELL DRAINED. IT IS LOCATED ON NARROW SIDE SLOPES AND TOPS OF RIDGES. PERMEABILITY IS MODERATELY RAPID, AND THE AVAILABLE WATER CAPACITY IS VERY LOW. RUNOFF IS RAPID AND THE EROSION HAZARD IS VERY SEVERE. THE ROOT ZONE IS RESTRICTED BY BEDROCK AT A DEPTH OF 12 TO 20 INCHES. IN UNLIMED AREAS, THE SOIL IS VERY STRONGLY ACID AND STRONGLY ACID THROUGHOUT.

WEIKERT SOILS ARE IDENTIFIED AS HAVING INCLUSIONS OF HYDRIC COMPONENTS (BRINKERTON). BASED ON THE NATIONAL WETLAND INVENTORY WEBSITE, NO WETLANDS ARE LOCATED WITHIN THE PROJECT AREA.

WEIKERT SOILS, 3% TO 8% SLOPES, IS IDENTIFIED AS BEING FARMLAND OF STATEWIDE IMPORTANCE, HOWEVER THE PROPERTY IS NOT CURRENTLY BEING USED AS FARMLAND.

ACID SOIL CONDITIONS WILL BE RESOLVED WITH AGRICULTURAL GRADE LIME APPLICATION.

ALL DISTURBED AREAS WILL BE MINIMIZED AND SEEDED IMMEDIATELY TO LIMIT EROSION POTENTIAL.

NONE OF THE OTHER LIMITATIONS WILL AFFECT THIS PROJECT.

**GEOLOGIC**

THE UNDERLYING GEOLOGIC FORMATION IN THE PROJECT AREA IS BRALLIER AND HARRELL FORMATIONS, UNDIVIDED. THE MAIN ROCK TYPES CONSIST OF SILTSTONE AND SHALE.

THERE ARE NO KNOWN OR VISIBLE GEOLOGIC FORMATIONS THAT WOULD HAVE POTENTIAL TO CAUSE POLLUTION. IT IS UNKNOWN IF SUBSURFACE GEOLOGIC FORMATIONS EXIST THAT WOULD HAVE POTENTIAL TO CAUSE POLLUTION. IF GRADING OR CONSTRUCTION ACTIVITIES OF ANY OF THE PROPOSED FACILITIES UNCOVER ANY GEOLOGIC FORMATION THAT COULD HAVE THE POTENTIAL TO CAUSE POLLUTION, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

**MAINTENANCE PROGRAM  
EROSION AND POLLUTION CONTROL MEASURES**

DURING CONSTRUCTION, THE FACILITIES FOR EROSION AND SEDIMENT POLLUTION CONTROL SHALL BE MAINTAINED BY THE CONTRACTOR FOR THEIR DESIGNED OPERATION TO INSURE ADEQUATE PERFORMANCE.

THE CONTRACTOR SHALL CHECK BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RAINFALL EVENT UNTIL STABILIZATION IS ACHIEVED.

THE ROCK CONSTRUCTION ENTRANCE'S THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAYS, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

COMPOST FILTER SOCKS SHALL BE CHECKED AT THE END OF EACH WORKDAY AND AFTER EACH RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF OF THE ABOVE GROUND HEIGHT OF THE SOCK. BIODEGRADABLE SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR AND POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

INSPECT CONCRETE WASHOUT DAILY AND PRIOR TO WASHING EQUIPMENT. REMOVE ANY ACCUMULATED MATERIALS WHEN THE WASHOUT FACILITY REACHES 75% CAPACITY. IMMEDIATELY REPAIR OR REPLACE FACILITY UPON DISCOVERING THAT THE FACILITY IS NOT FUNCTIONING PROPERLY.

ALL MATERIAL, CLEANED FROM EROSION CONTROL FACILITIES, WILL BE UTILIZED AS FILL MATERIAL ON SITE AND SEEDED IMMEDIATELY WITH TEMPORARY OR PERMANENT SEEDING.

DURING CONSTRUCTION, THE CONTRACTOR SHALL REMEDY ANY EROSION PROBLEMS THAT MAY BEGIN IN UNPROTECTED AREAS. ALL TEMPORARY EROSION CONTROL STRUCTURES SHALL BE REMOVED AFTER THE CONSTRUCTION AREAS HAVE BEEN STABILIZED (UNIFORM 70% VEGETATIVE COVER, STONE BASE, RIP RAP, OR PAVEMENT SURFACING). AREAS DISTURBED BY SUCH REMOVAL WILL BE STABILIZED IMMEDIATELY.

CONTRACTOR SHALL MAINTAIN WRITTEN DOCUMENTATION OF ALL INSPECTIONS AND REPAIRS/REPLACEMENTS TO ALL BMPs. ALL DOCUMENTATION MUST BE MAINTAINED ON SITE.

**SEEDING AND SOIL SUPPLEMENTS**

A. TEMPORARY SEEDING FORMULAS  
ROUGH GRADED AREAS AND TOPSOIL STOCKPILES THAT WILL NOT BE FINAL GRADED AND PERMANENTLY SEEDED WITHIN 4 DAYS FROM THE TIME OF EXPOSURE WILL BE TEMPORARILY SEEDED USING THE FOLLOWING SCHEDULE:

<b>PADOT FORMULA E:</b>	
ANNUAL RYEGRASS	49 LBS PER ACRE
	86% PURE LIVE SEED
FERTILIZER 10-10-10	500 LBS PER ACRE
AG. GRADE LIME	1 TON PER ACRE
HAY OR STRAW MULCH	3 TONS PER ACRE
SEEDING SEASON	MARCH 15 - OCTOBER 15
<b>PADOT FORMULA B:</b>	
PERENNIAL RYEGRASS MIXTURE	213 LBS PER ACRE
	20%
	88% PURE LIVE SEED
CREeping RED FESCUE	30%
	83% PURE LIVE SEED
KENTUCKY BLUEGRASS MIXTURE	45%
	78% PURE LIVE SEED
ANNUAL RYEGRASS	5%
	86% PURE LIVE SEED
<b>FERTILIZER 10-10-20</b>	
AG. GRADE LIME	1000 LBS PER ACRE
HAY OR STRAW MULCH	6 TONS PER ACRE
SEEDING SEASON	3 TONS PER ACRE (CRIMP OR TACKIFY)
	MARCH 15 - JUNE 1
	AUGUST 1 - OCTOBER 15
TOPSOIL PLACEMENT THICKNESS	4"

IT IS HIGHLY RECOMMENDED THAT SOIL TESTING BE CONDUCTED TO DETERMINE PROPER SOIL AMENDMENTS.

**THERMAL IMPACTS**

THERMAL IMPACTS HAVE BEEN MINIMIZED BY UTILIZING THE FOLLOWING BMP'S: RUNOFF WILL SHEET FLOW THROUGH GRASSED AREAS BEFORE LEAVING THE PROJECT SITE, WHICH PROVIDES AMPLE TIME FOR COOLING.

**ENVIRONMENTAL DUE DILIGENCE & CLEAN FILL**

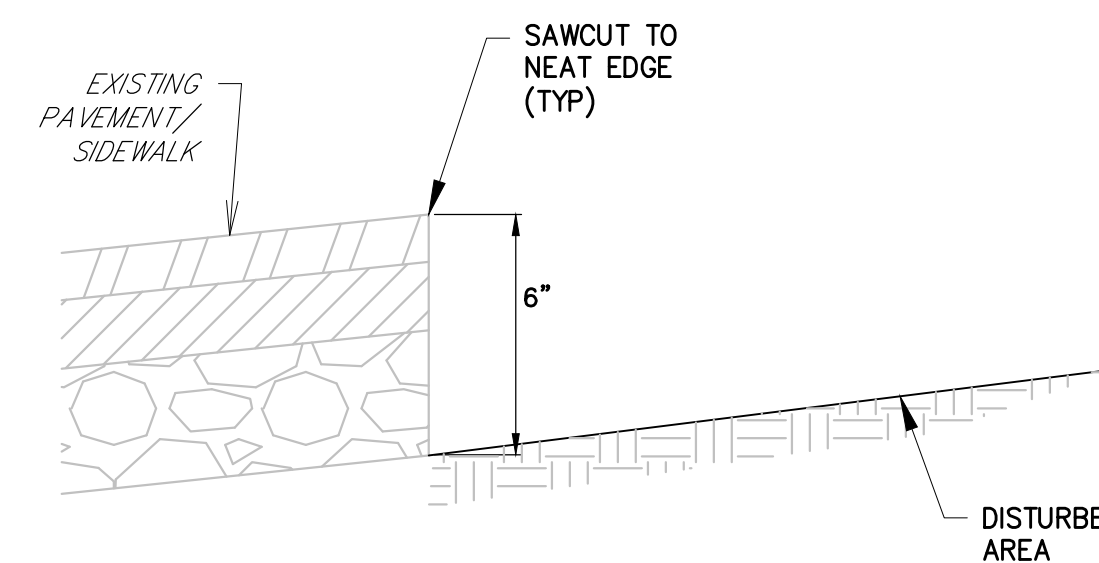
THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE TO ENSURE ALL FILL IMPORTED TO THE SITE QUALIFIES AS CLEAN FILL.

CLEAN FILL - INERT, SOIL MATERIAL (SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES) UNAFFECTED BY SPILL OR RELEASE, OR IF AFFECTED, LEVELS ARE BELOW RESIDENTIAL STATE HEALTH STANDARDS.

ENVIRONMENTAL DUE DILIGENCE - IF NO EVIDENCE OF RELEASE OR SPILL, MATERIAL MAY BE MANAGED AS CLEAN FILL. IF EVIDENCE OF RELEASE OR SPILL, ANALYTICAL TESTING MUST BE PERFORMED AND RESULTS SHALL BE PROVIDED SHOWING LEVELS ARE BELOW RESIDENTIAL STATE HEALTH STANDARDS.

**RECYCLING & DISPOSAL OF CONSTRUCTION MATERIALS**

PROPERTY OWNER/CONTRACTOR WILL ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. PCSM WASTES INCLUDE, BUT ARE NOT LIMITED TO, LAWN CLIPPINGS, LITTER, DEBRIS, SILT, MULCH, SEED, DEAD PLANTS, ETC. ALL RECYCLABLE MATERIALS SHALL BE SEPARATED AND TAKEN TO AN APPROPRIATE RECYCLING FACILITY. ALL OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE AT A LEGAL SANITARY LANDFILL. EXCESS SOIL WASTE SITES SHALL RECEIVE PRIOR CONSERVATION DISTRICT APPROVAL AND SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES.



**ELEVATION DIFFERENCE DETAIL**  
NO SCALE

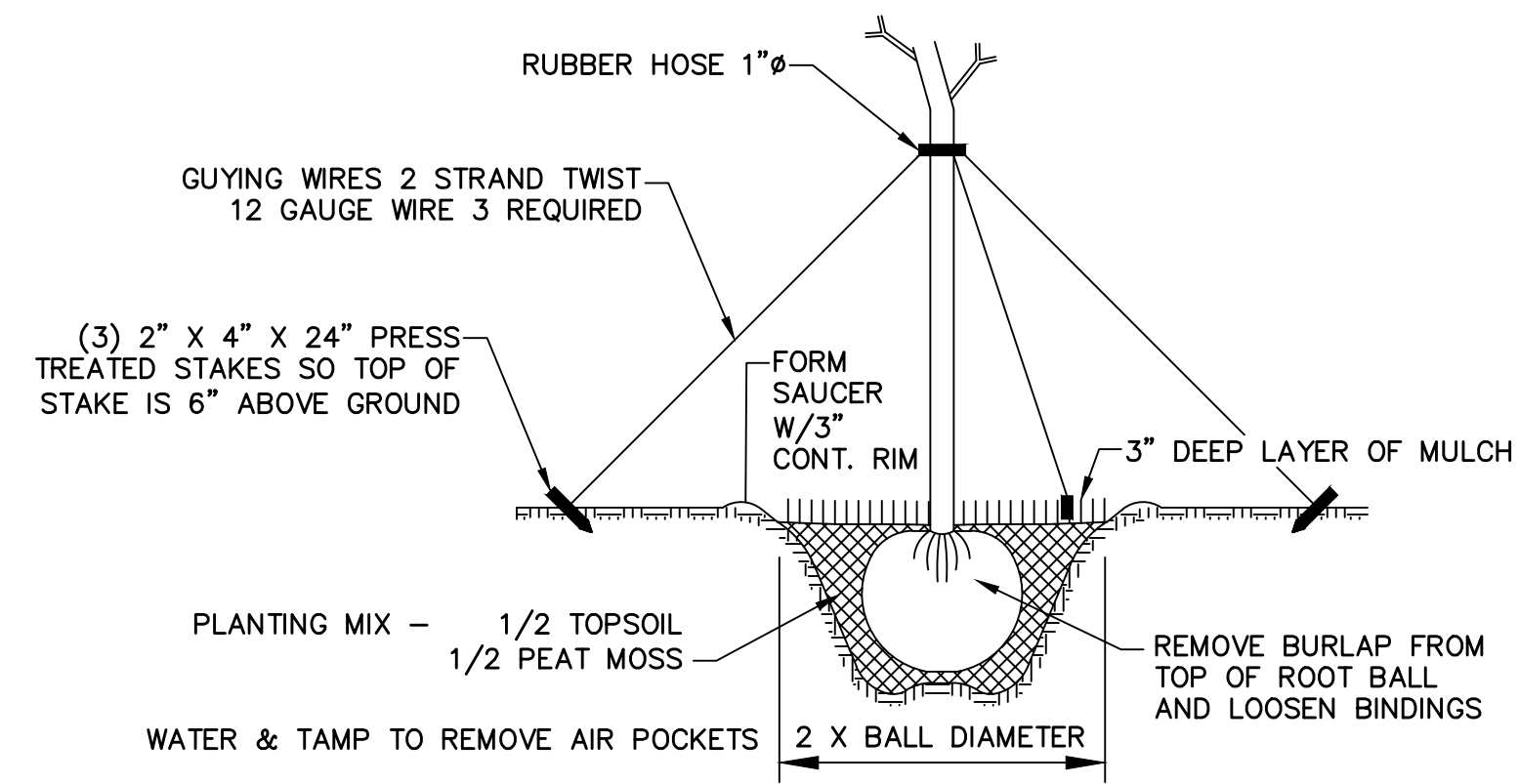
**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

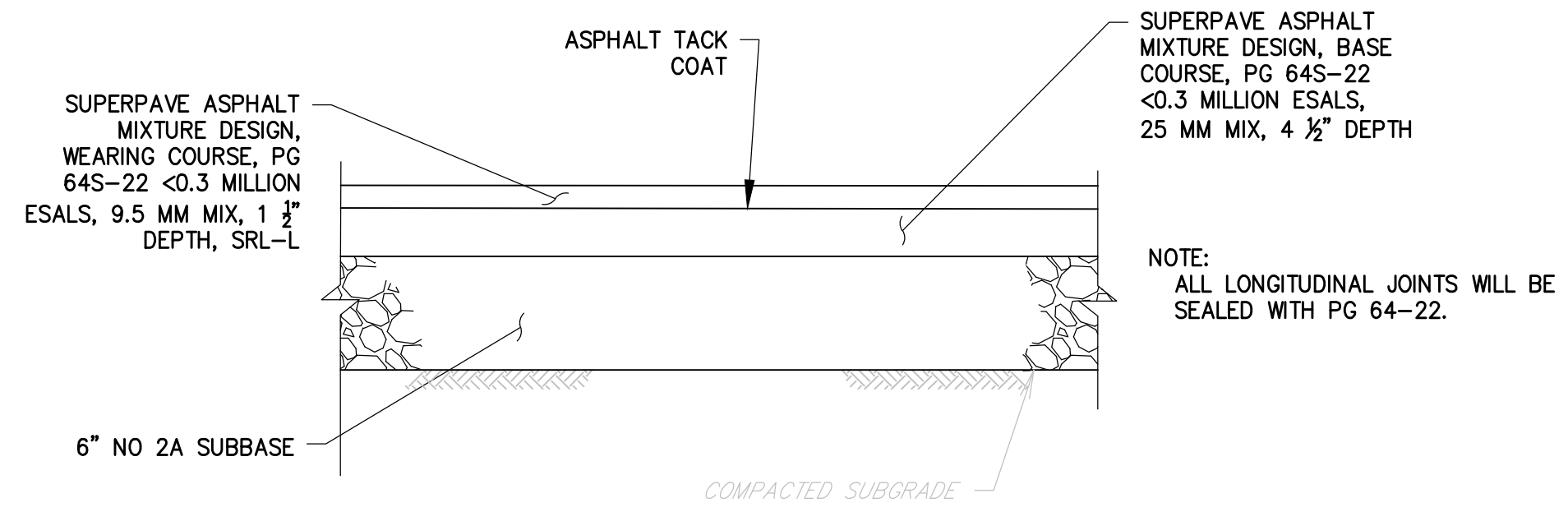
DATE: \_\_\_\_\_

		DATE	NO.	REVISION	OUTDOOR SOLAR PANEL SHOWROOM GROUNDHOG SOLAR, LLC. CITY OF ALTOONA BLAIR COUNTY, PENNSYLVANIA
		08.29.23	1	CITY ENGINEER LT 08.22.23	
PROJECT NO. 7214		DATE: 07.26.23		DETAILS	

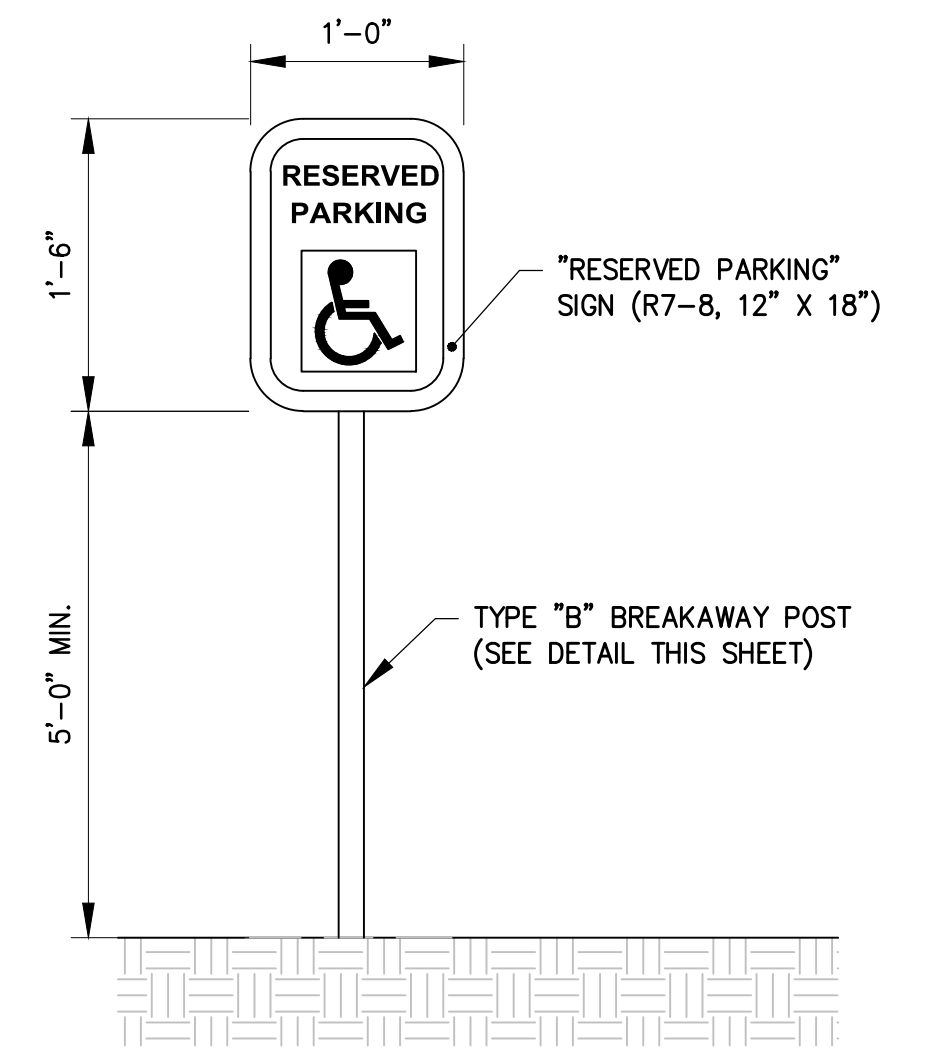
FILE: G:\Projects\72xx\7214 Groundhog Solar, Solar Panel Showroom - 1024 Chestnut Avenue, Altoona\03 Drawings\03 Final\10\_Details.dwg  
 USER: EHeggi  
 DATE: 08/29/23 - 09:18 PM



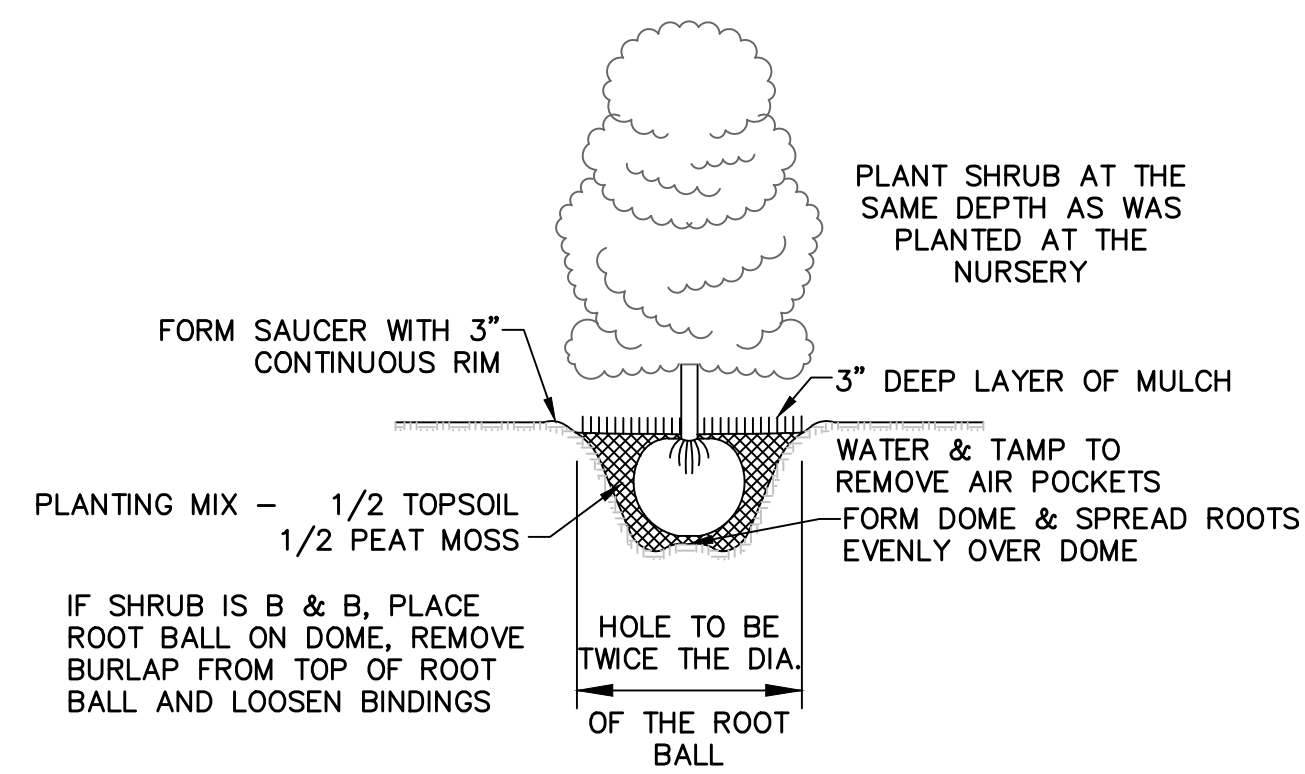
**TREE PLANTING DETAIL**  
NO SCALE



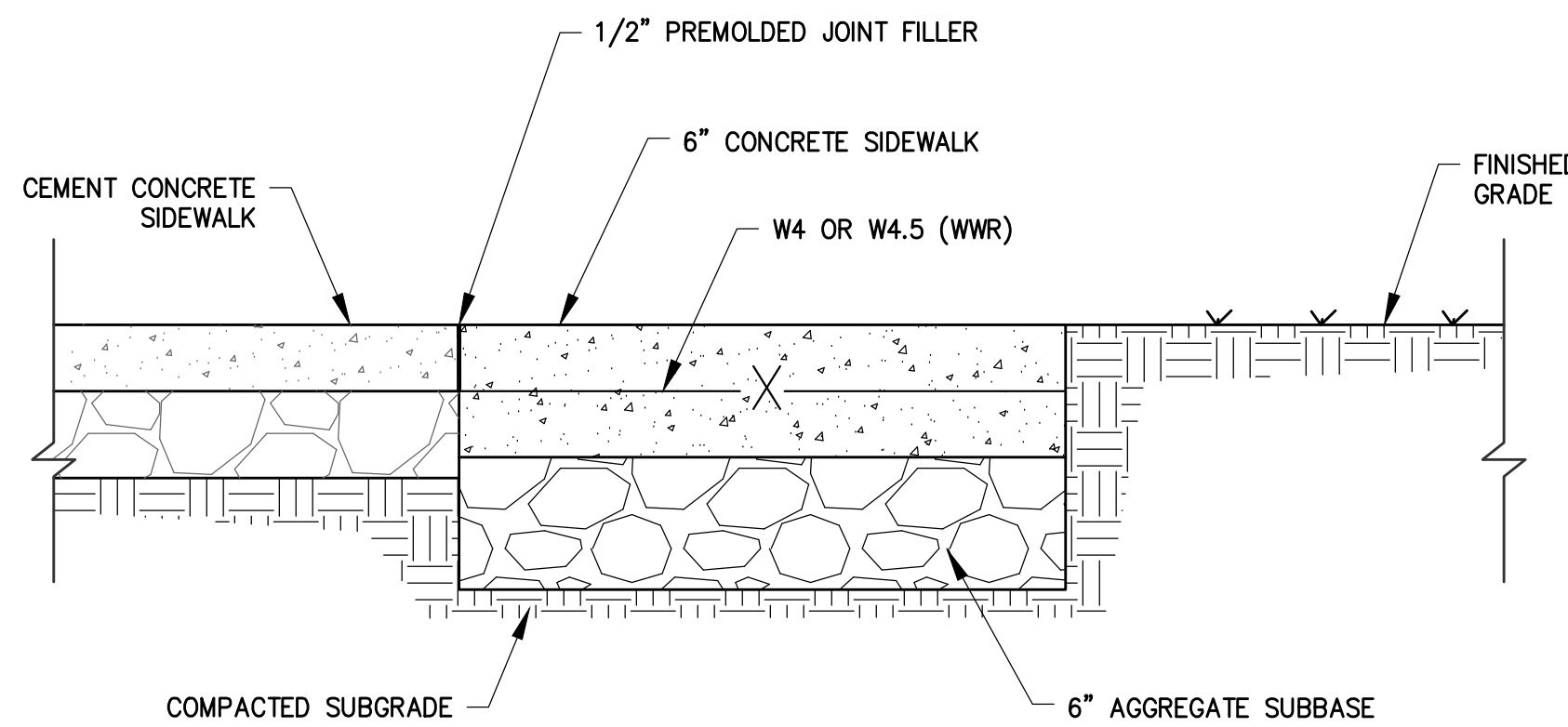
**PARKING LOT PAVEMENT DETAIL**  
NO SCALE



**RESERVED PARKING SIGN**  
NO SCALE



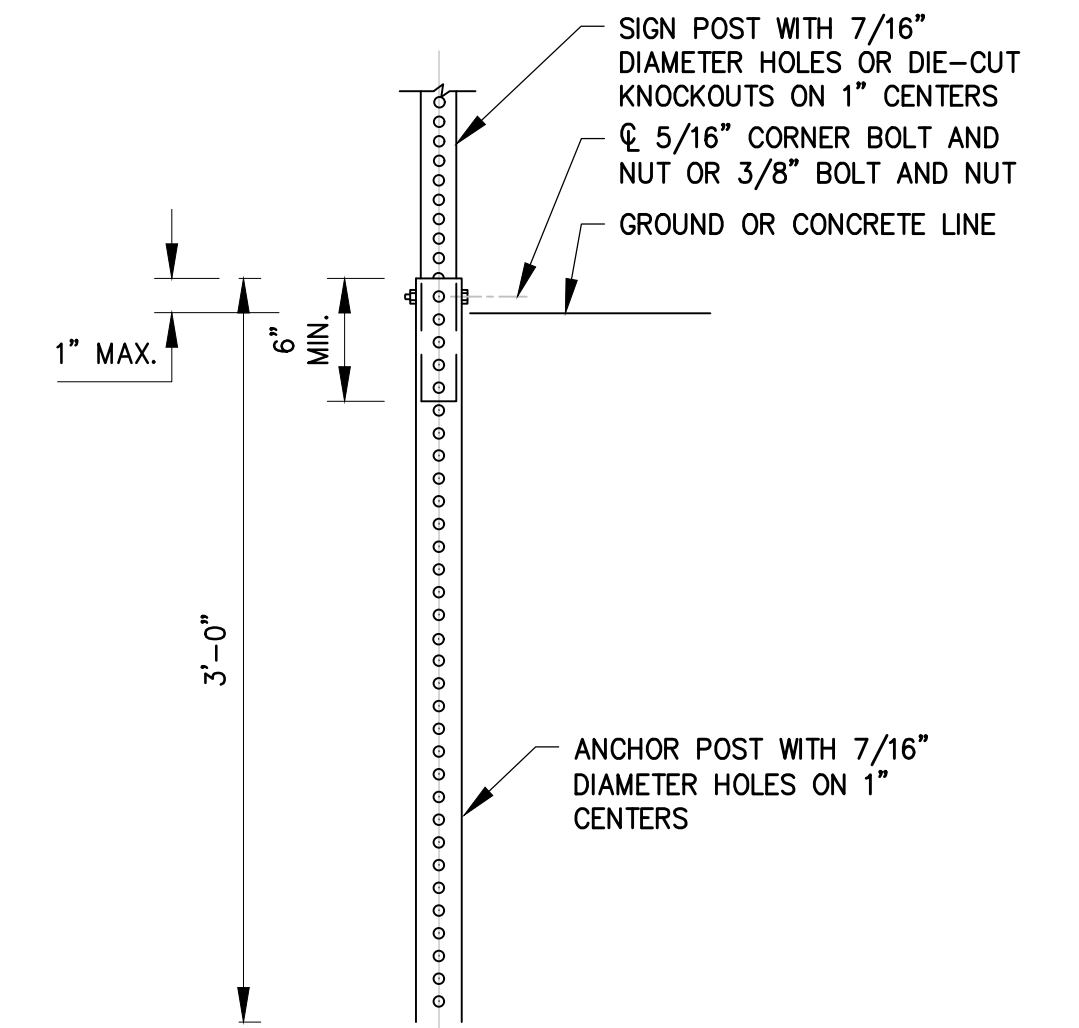
**SHRUB PLANTING DETAIL**  
NO SCALE



NOTE(S):

1. ANCHOR BENCH TO CONCRETE PAD AS PER MANUFACTURER'S RECOMMENDATIONS.
2. PROVIDE 3" COVER BETWEEN EDGE OF CONCRETE PAD AND ANCHOR BOLTS.
3. MATCH CROSS SLOPE OF SIDEWALK.

**CONCRETE PAD FOR BENCH DETAIL**  
NO SCALE

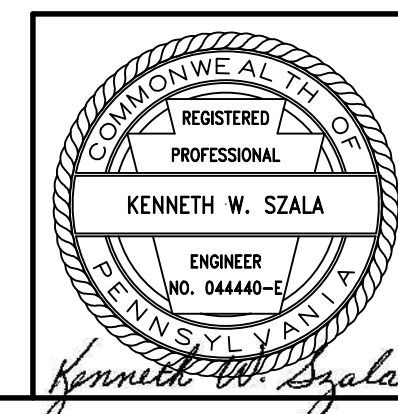


**TYPE "B" BREAKAWAY POST DETAIL**  
NO SCALE

**ALTOONA CITY PLANNING COMMISSION**

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: \_\_\_\_\_



**P. JOSEPH LEHMAN, INC.**  
 CONSULTING ENGINEERS  
 POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648  
 (814) 695-7500 www.LEHMANENGINEERS.com

DATE	NO.	REVISION
08.29.23	1	CITY ENGINEER LT 08.22.23

OUTDOOR SOLAR PANEL SHOWROOM  
 GROUNDHOG SOLAR, LLC.  
 CITY OF ALTOONA  
 BLAIR COUNTY, PENNSYLVANIA

DETAILS

SHEET  
14 OF 14

PROJECT NO. 7214 DATE: 07.26.23



**RESOLUTION 09-12-23-PAC23-09**  
**A RESOLUTION APPROVING THE GROUNDHOG SOLAR**  
**OUTDOOR SOLAR PANEL SHOWROOM**  
**LAND DEVELOPMENT PLAN**

WHEREAS an application for a land development project has been filed with the Altoona City Planning Commission (hereinafter "ACPC") by Groundhog Solar, LLC. (hereinafter referred to as the "DEVELOPER"); and

WHEREAS, the DEVELOPER desires to build an outdoor solar panel showroom for a solar panel installation business; and

WHEREAS, staff has reviewed the LAND DEVELOPMENT PLAN, incorporated herein by this reference and filed with the ACPC by the Developer, and has found it to be in compliance, as a FINAL LAND DEVELOPMENT with all applicable provisions of the City of Altoona's subdivision/land development and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has determined that this LAND DEVELOPMENT PLAN constitutes a FINAL LAND DEVELOPMENT PLAN in full compliance with the City of Altoona's subdivision/land development and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has the power to APPROVE modifications to the City of Altoona's subdivision and land development requirements, and the Developer has requested the following waivers that are hereby approved by the ACPC:

1. §640-63C(1): Facilities shall be designed so that each vehicle may enter and exit a parking space without maneuvering into public right-of-way.  
**The applicant is requesting a waiver to this section.**
2. §640-63C(7): Curbing shall be placed at the edges of all surfaced areas, including islands.  
**The applicant is requesting a waiver to this section.**
3. §640-63D(5): Concerning parking requirement, in the event a standard is not listed for a particular use, the Planning Commission shall establish a standard during the review and approval and take into consideration the commercial use of the property. **The developer has proposed two onsite spaces and is requesting this to be the standard.**
4. §640-63G(1): For every 10 spaces provided by the applicant for motor vehicles, one bicycle parking space shall be provided, with a minimum of two bicycle spaces for all proposals.  
**The applicant is requesting a waiver to this section.**
5. §640-65C(3),(4)&(6): Along the frontage and parking lot, the area shall be planted with shrubs and trees so as to provide a pleasant driving and walking atmosphere and to minimize the impact of the project on the street. Elsewhere the plantings shall be designed to screen and filter noise, light, and odor.  
**Trees are proposed at the two corners of the property, decorative grass along the inside of the fence and cultivated wildflowers bordering the solar panels. The International Fire Code standards for ground mounted solar panels has vegetation setback requirements which prevent additional trees and shrubs from being installed. The applicant is requesting a waiver to these sections.**

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Altoona, Blair County, Pennsylvania, that the application and plans, as filed by the DEVELOPER, are hereby approved subject to the following conditions:

1. The conditions of the plan must be accepted in writing by developer within 30 days.
2. The proposed use must obtain Zoning Hearing Board approval.
3. Financial security to cover the cost of all public improvements must be provided to the City.
4. A developer's agreement prepared by the ACPC must be executed by the Developer.
5. All required signatures must be obtained on the plan.
6. Any necessary permits from DEP and/or PennDOT must be provided.
7. A copy of the RECORDED plan must be provided to the ACPC as soon as it is recorded.
8. All conditions must be met, fees paid, and the plan signed and recorded within the plan approval deadline.

RESOLVED by the Altoona City Planning Commission on September 12, 2023:

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David B. Albright, Chairman

## **GROUNDHOG SOLAR, LLC OUTDOOR SOLAR PANEL SHOWROOM**

### **PROJECT NARRATIVE**

Groundhog Solar, LLC is proposing to construct an Outdoor Solar Panel Showroom on a 0.206 ac parcel of ground at the intersection of N 4<sup>th</sup> Ave and N 8<sup>th</sup> St in the City of Altoona, Blair County, Pennsylvania.

The existing property consists of a vacant gravel/grassed lot. A commercial site bounds the property to the north, N. 8<sup>th</sup> Street to the south, an alley to the east and N. 4<sup>th</sup> Ave to the west.

The proposed development will involve the installation of solar panels with landscaping, a sidewalk along N 8<sup>th</sup> St, a small maintenance shed and parking lot. Approximately 0.233 acres will be disturbed to construct the proposed improvements. The sales office for this business is located at a separate location. Potential customers will simply drive by the property or make an appointment with the seller to be shown the solar panels options and types of equipment on site.

Access to the property will be via the existing alley at the rear of the property.

No water or sewer service is proposed.

Since most of the existing compacted gravel areas will be removed and replaced with grass, stormwater rate and volume of runoff will be reduced as a result of this development. The stormwater management analysis was designed as per the City of Altoona Code of Ordinances. A rock construction entrance, compost filter sock and concrete wash out will prevent sediment from leaving the project site. Erosion control will be provided as per the Blair County Conservation District requirements.

Construction is anticipated to begin in the fall of 2023 and be completed several weeks thereafter.

The site is zoned C-CB, Central Business.



August 25, 2023

Ms. Rebecca Brown  
Director  
City of Altoona  
Department of Codes and Inspections  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601

RE: Weis Market #64 Gas-N-Go  
Land Development Review

Dear Ms. Brown:

At the request of the City of Altoona, we have completed our review of the land development plan for the above-referenced project. The following information was provided to our office on 08/15/2023 for review of a land development located at 601 Pleasant Valley Boulevard in the City of Altoona, Blair County:

- Final Land Development Plans for Weis Market #64 Gas-N-Go as prepared by Herbert, Rowland & Grubic, Inc, 12 sheets, project no. R001372.0559, dated 2023.07.29
- Stormwater Management Analysis letter dated August 11, 2023 as prepared by Herbert, Rowlad & Grubic, Inc.

The above information has been reviewed for conformance with Chapter 620 and Chapter 640 of the Code of Ordinances for the City of Altoona, Blair County, Pennsylvania. This review was completed for ordinance conformance only. We do not accept any liability for any potential design errors or oversights made by the design engineer. Members of the City of Altoona Planning Commission have the final decision regarding comments for the construction plans. The developer shall address the following comments and proceed with final plan preparation.

#### General

1. All signature blocks are to be executed.
2. No changes can be made to the approved plans during construction without the approval of the City. After construction is complete provide record or as-built drawings to the city of all approved changes made during construction.
3. The Altoona Water Authority shall approve all sanitary and water connections.

#### Chapter 620 Stormwater Management, Erosion and Sediment Control

4. 620-1.B. Prior to the commencement of any improvement which involves an earthmoving disturbance greater than 5,000 square feet, all erosion and sedimentation control plans must be submitted by the applicant to, and approved by, the Blair County Conservation District.
5. 620-15.A(1) Facilities, areas or structures used as stormwater management BMPs shall be enumerated as permanent real estate appurtenances and recorded as deed restrictions or conservation easements that run with the land. Any **existing or proposed** inlets, piping, ponds, raingardens, swales, etc. located within the site are considered stormwater facilities. These storm water facilities are private and maintenance of the storm water management facilities will be the responsibility of the owner.

- The engineer must provide the owner with a copy of the approved maintenance plan/agreement and explain its requirements. The Engineer must provide proof of such meeting or correspondence to the City.
  - A copy of the maintenance agreement signed by the owner should be included in the plans.
6. 620-15.B(1c) The owner shall keep on file with the City of Altoona the name, address and telephone number of the person or company responsible for operation and maintenance activities. In the event of a change, new information will be submitted by the owner to the City of Altoona within 10 working days of the change.
  7. 620-15.B(1d) The engineer must meet with and provide the developer or owner with a copy of the operation and maintenance plan. The engineer is required to explain all required maintenance to the developer or owner as well as all associated requirements of this chapter (i.e., recordkeeping, contact information, submittal of records, etc.) The owner of the storm water management facilities shall keep on site a copy of the post construction stormwater plan (PCSWP), the maintenance plan, and a record log of any maintenance activities.
  8. 620-15.C(2) Said records shall be kept on site, accessible and opened to the Stormwater Officer upon request so that he or she may verify that maintenance is proceeding as approved. A copy of the prior year's maintenance records will be submitted to the City of Altoona Public Works Department, no later than January 31 of each year. Send to the attention of: Stormwater Officer, City Hall, Suite 300, 1301 12th Street, Altoona, PA, 16601.
  9. 620-16.A. The city Department of Public Works (DPW) requires a review fee. This fee is \$275.00. The consultant review fee will be in addition to the in-house reviews.

#### Chapter 640 Subdivision of Land and Land Developments

10. 640-57.C. Provide list of waivers being requested by the applicant, along with an explanation as to why the applicant feels each waiver request is appropriate.
11. 640-57.H Provide proof of review and approval (for the Land Development Plan) from the County Planning Commission.
12. 640-57.L.Sewage facilities planning mailer / exemption or letter explaining why planning is not required should be provided.
13. 640-58.B(2) On page 5 the scale in the title block does not match the graphic scale. On page 6 there does not appear to be a graphic scale or north arrow.
14. 640-58.B(4) Indicate / identify all the abutting properties including those directly across any streets and diagonally across intersections.
15. 640-58.G. Please seal all sheets.
16. 640-58.I. On the plan cover sheet provide the Altoona City Planning Commission signature block listed in the ordinance. Also provide the notes listed below relating to performance covenant and other land development plans on file and a space for signature and date of the Blair County Planning Commission as shown in the Ordinance. You can remove the “City of Altoona Supervisors Certificate” and “Altoona Planning Administrator” block as they are not applicable.

**ALTOONA CITY PLANNING COMMISSION**

**Land Development Approved Under the Altoona Planning Code.**

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DATE: \_\_\_\_\_

REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

\_\_\_\_\_ Date: \_\_\_\_\_

"Subject to a Performance Covenant, dated (date), running with the land, to be duly recorded with this plan by or for the owner of record."

"Other plans applicable to this land development may be on file with the City of Altoona Code Enforcement Department, City of Altoona Public Works Department, and Community Development Department."

17. 640-58.Q. Location of all landscaping, including existing or proposed trees, shrubs, grass, mulched areas, etc. Size and type of plant materials shall be noted on the plan, and a planting detail showing how trees and shrubs are to be planted (size of hole, use of fill, stakes, wiring, etc.) shall be included. On Sheet 3, Landscaping Note 8 should be altered as per ordinance requirements. All islands require trees and shrubs and they are required to be maintained and replaced as necessary. A landscape plan should be included in the plan set. See additional comments below.
18. 640-63.C(3) Please dimension parking stalls and driveway aisles to show conformance with this section.
19. 640-63.D(2dd) Retail sales shall provide a minimum of 3 spaces per 1,000 SF of gross sales area, not to exceed a maximum of 1 space per 250 SF of gross floor area. Based on a 57,117 SF building this would mean a minimum of 171 spaces and a maximum of 228 spaces. The calculation on sheet 02 is off. It also appears that the actual spaces provided as shown on sheet 04 is different than stated and they number of spaces lost appears to be approximately 41. Please revise the parking calculations.
20. 640-63.G(1) For every 10 spaces provided by the applicant for motor vehicles, one bicycle parking space shall be provided, with a minimum of two bicycle spaces for all proposals.
21. 640-65A(5e) Trees shall have temporary labels attached so inspectors can determine compliance with the approved plan.
22. 640-65.C(4) Along the parking lot, trees and shrubs shall be planted so as to screen the parking facility from all surrounding streets and properties. The intent is to mitigate the impact of vehicle noise, lights, and fumes on adjacent land. Such vegetation shall be planted so as to provide a full screen within five years. The city requires bushes planted at 3' on center. It appears some of the trees and shrubs may need replaced in the long island along the parking area.
23. 640-65.E(3c) Within each island (in the parking lot), there shall be one tree for each 18 feet of length.
24. 640-65.E(3d) For each tree required in the island, six shrubs shall be required. Shrubs shall grow to a sufficient height and thickness to clearly define the presence of the island to passing motorists but shall not be so high so as to impede motorists' view of traffic within the parking lot. Shrubs growing between two and four feet are generally acceptable.
25. 640-65.E(6) Lighting shall conform with this section including height, cut-off fixture, etc. It appears some lights are being removed for the installation of the gas-n-go. If additional/replacement lighting is proposed, enough detail should be added to the plan set (that will be recorded) to show conformance with this section.



26. 640-65.H. All landscaping and improvements that are specifically required by this section shall be maintained and must be replaced if the required vegetation is damaged, diseased, cut, or dies. This is to be noted on the plan.

Should you have any questions please do not hesitate to contact The EADS Group at (814) 944-5035 or [sshoenfelt@eadsgroup.com](mailto:sshoenfelt@eadsgroup.com).

Sincerely,

**The EADS Group, Inc.** (Altoona)



By: Stephanie C. Shoenfelt, P.E.

cc: Project File

R:\0283 City of Altoona\19478 City of Altoona\Phase 62 - Task Order 68 - Plan Reviews 2023\Weis Market Gas n Go LD Review\230823 Review  
1 Weis GasNGo.docx





Herbert, Rowland & Grubic, Inc.  
369 East Park Drive  
Harrisburg, PA 17111  
717.564.1121  
www.hrg-inc.com

August 31, 2023

Ms. Rebecca Brown, Director  
City of Altoona  
Codes and Inspections Department  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, Pennsylvania 16601

Re: Weis Markets #64 – Proposed Gas-N-Go  
Revised Final Land Development Plan Submission  
Responses to Review Comments  
City of Altoona, Blair County, PA

Dear Ms. Brown:

We have reviewed the comment letter from The EADS Group dated August 25, 2023 for the subject project and offer the following responses in **bold type**.

## GENERAL

1. All signature blocks are to be executed.

**All signature blocks will be executed after plan approval, and prior to recording.**

2. No changes can be made to the approved plans during construction without the approval of the City. After construction is complete provide record or as-built drawings to the city of all approved changes made during construction.

**We have added a note to the plan to memorialize the requirement. See NT-2, Sheet 2, Land Development Note 27.**

3. The Altoona Water Authority shall approve all sanitary and water connections.

**We will coordinate with the Altoona Water Authority on the proposed service connections. Please understand that the proposed water and sanitary sewer connections to the proposed Gas-N-Go kiosk will be made to the existing store plumbing and not to existing Authority mains.**

## CHAPTER 620 STORMWATER MANAGEMENT, EROSION AND SEDIMENT CONTROL

4. 620-1.B. Prior to the commencement of any improvement which involves an earthmoving disturbance greater than 5,000 square feet, all erosion and sedimentation control plans must be submitted by the applicant to, and approved by, the Blair County Conservation District.

**Plans have been submitted to the Blair County Conservation District, and we are currently awaiting approval.**

5. 620-15.A(1) Facilities, areas or structures used as stormwater management BMPs shall be enumerated as permanent real estate appurtenances and recorded as deed restrictions or conservation easements that run with the land. Any existing or proposed inlets, piping, ponds, raingardens, swales, etc. located within the site are considered stormwater facilities. These storm water facilities are private and maintenance of the storm water management facilities will be the responsibility of the owner. The engineer must provide the owner with a copy of the approved maintenance plan/agreement and explain its requirements. The engineer must provide proof of such meeting or correspondence to the City.

A copy of the maintenance agreement signed by the owner should be included in the plans.

**The Operations and Maintenance (O&M) requirements for the proposed and any existing stormwater facilities, as noted above, are included on the Notes Sheet NT-2. See “City of Altoona Ownership and Maintenance of Stormwater Control Facilities” notes block. As the Land Development Plan is a recorded document, and signed by the Owner, there should be no need for a separate recorded Agreement.**

6. 620-15.B(1c) The owner shall keep on file with the City of Altoona the name, address and telephone number of the person or company responsible for operation and maintenance activities. In the event of a change, new information will be submitted by the owner to the City of Altoona within 10 working days of the change.

**The information is included in the “City of Altoona Ownership and Maintenance of Stormwater Control Facilities” notes block on Notes Sheet NT-2.**

7. 620-15.B(1d) The engineer must meet with and provide the developer or owner with a copy of the operation and maintenance plan. The engineer is required to explain all required maintenance to the developer or owner as well as all associated requirements of this chapter (i.e., recordkeeping, contact information, submittal of records, etc.) The owner of the storm water management facilities shall keep on site a copy of the post construction stormwater plan (PCSWP), the maintenance plan, and a record log of any maintenance activities.

**This comment has been memorialized by a note. See “City of Altoona Ownership and Maintenance of Stormwater Control Facilities” notes block on Notes Sheet NT-2.**

8. 620-15.C(2) Said records shall be kept on site, accessible and opened to the Stormwater Officer upon request so that he or she may verify that maintenance is proceeding as approved. A copy of the prior year's maintenance records will be submitted to the City of Altoona Public Works Department, no later than January 31 of each year. Send to the attention of: Stormwater Officer, City Hall, Suite 300, 1301 12th Street, Altoona, PA, 16601.

**This comment has been memorialized by a note. See “City of Altoona Ownership and Maintenance of Stormwater Control Facilities” notes block on Notes Sheet NT-2.**



9. 620-16.A. The city Department of Public Works (DPW) requires a review fee. This fee is \$275.00. The consultant review fee will be in addition to the in-house reviews.

**The requested fee check will be made payable to the Department of Public Works.**

## **CHAPTER 640 SUBDIVISION OF LAND AND LAND DEVELOPMENTS**

10. 640-57.C. Provide list of waivers being requested by the applicant, along with an explanation as to why the applicant feels each waiver request is appropriate.

**See attached Waiver Request Letter. A Requested Waivers note block has been added to the Notes Sheet NT-1 Sheet 2.**

11. 640-57.H Provide proof of review and approval (for the Land Development Plan) from the County Planning Commission.

**Plan has been submitted and we are awaiting approval.**

12. 640.57.L.Sewage facilities planning mailer / exemption or letter explaining why planning is not required should be provided.

**Sewage Facilities Planning should not be required as the proposed water usage and sanitary sewage flows are for a single employee-only restroom in the proposed Gas-N-Go kiosk. Furthermore, the proposed water and sanitary sewer connections to the proposed Gas-N-Go Kiosk will be made to the existing store and not to existing Authority mains. We will coordinate with the Altoona Water Authority on the proposed service connections.**

13. 640-58.B(2) On page 5 the scale in the title block does not match the graphic scale. On page 6 there does not appear to be a graphic scale or north arrow.

**The scale has been corrected on Sheet 5, and a north arrow and scale has been added to Sheet 6 of the plans.**

14. 640-58.B(4) Indicate / identify all the abutting properties including those directly across any streets and diagonally across intersections.

**Parcel boundaries, names and parcel owners of abutting properties have been added to the EC-OA Plan Sheet 4.**

15. 640-58.G. Please seal all sheets.

**All sheets will be sealed prior to recording, and after approval.**

16. 640-58.I. On the plan cover sheet provide the Altoona City Planning Commission signature block listed in the ordinance. Also provide the notes listed below relating to performance covenant and other land development plans on file and a space for signature and date of the Blair County Planning Commission as shown in the Ordinance. You can remove the "City of Altoona Supervisors Certificate" and "Altoona Planning Administrator" block as they are not applicable

**ALTOONA CITY PLANNING COMMISSION**

**Land Development Approved Under the Altoona Planning Code.**

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DATE: \_\_\_\_\_

REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

\_\_\_\_\_ Date: \_\_\_\_\_

"Subject to a Performance Covenant, dated (date), running with the land, to be duly recorded with this plan by or for the owner of record."

"Other plans applicable to this land development may be on file with the City of Altoona Code Enforcement Department, City of Altoona Public Works Department, and Community Development Department."

**The signature block and notes have been added to the cover sheet.**

17. 640-58.Q. Location of all landscaping, including existing or proposed trees, shrubs, grass, mulched areas, etc. Size and type of plant materials shall be noted on the plan, and a planting detail showing how trees and shrubs are to be planted (size of hole, use of fill, stakes, wiring, etc.) shall be included. On Sheet 3, Landscaping Note 8 should be altered as per ordinance requirements. All islands require trees and shrubs and they are required to be maintained and replaced as necessary. A landscape plan should be included in the plan set. See additional comments below.

**A Landscaping Plan has been added to the set to show the location of all proposed landscaping. See LL-1, Sheet 10. The requested detail has been added to DT-1, Sheet 12 under "Tree Planting Detail". Note 8 on Sheet 3 has been modified to provide for the requirements above.**

18. 640-63.C(3) Please dimension parking stalls and driveway aisles to show conformance with this section.

**Dimensions for proposed parking stalls and drive aisles have been added to SI-1, Sheet 6.**

19. 640-63.D(2dd) Retail sales shall provide a minimum of 3 spaces per 1,000 SF of gross sales area, not to exceed a maximum of 1 space per 250 SF of gross floor area. Based on a 57,117 SF building this would mean a minimum of 171 spaces and a maximum of 228 spaces. The calculation on sheet 02 is off. It also appears that the actual spaces provided as shown on sheet 04 is different than stated and they number of spaces lost appears to be approximately 41. Please revise the parking calculations.

**The existing number of spaces prior to the construction of the Gas-n-Go is 252. This is consistent with the spaces shown on EC-OA, Sheet 4. Once the GNG is constructed, 41 spaces will be eliminated, leaving 211 parking spaces total. The parking calculations have been revised, and can be found on NT-1, Sheet 2 under "Parking Tabulations".**

20. 640-63.G(1) For every 10 spaces provided by the applicant for motor vehicles, one bicycle parking space shall be provided, with a minimum of two bicycle spaces for all proposals.

**See attached Waiver Request letter. A bike rack with a minimum of four (4) positions will be provided near the store frontage. See SI-1 Sheet 6.**

21. 640-65A(5e) Trees shall have temporary labels attached so inspectors can determine compliance with the approved plan.

**This comment has been added to the plan set as a note on LL-1, Sheet 10, Note 3.**

22. 640-65.C(4) Along the parking lot, trees and shrubs shall be planted so as to screen the parking facility from all surrounding streets and properties. The intent is to mitigate the impact of vehicle noise, lights, and fumes on adjacent land. Such vegetation shall be planted so as to provide a full screen within five years. The city requires bushes planted at 3' on center. It appears some of the trees and shrubs may need replaced in the long island along the parking area.

**See attached waiver Request Letter.**

23. 640-65.E(3c) Within each island (in the parking lot), there shall be one tree for each 18 feet of length.

**All existing islands in the parking lot are established with the required landscaping. The two (2) proposed islands that are being relocated will have new landscaping installed as required. See LL-1, Sheet 10.**

24. 640-65.E(3d) For each tree required in the island, six shrubs shall be required. Shrubs shall grow to a sufficient height and thickness to clearly define the presence of the island to passing motorists but shall not be so high so as to impede motorists' view of traffic within the parking lot. Shrubs growing between two and four feet are generally acceptable.

**All existing islands in the parking lot are established with the required landscaping. The two (2) proposed islands that are being relocated will have new landscaping installed as required. See LL-1, Sheet 10.**

25. 640-65.E(6) Lighting shall conform with this section including height, cut-off fixture, etc. It appears some lights are being removed for the installation of the gas-n-go. If additional/replacement lighting is proposed, enough detail should be added to the plan set (that will be recorded) to show conformance with this section.

**Lighting Notes to confirm compliance have been added to the Landscape and Lighting Plan LL-1 Sheet 10.**

26. 640-65.H All landscaping and improvements that are specifically required by this section shall be maintained and must be replaced if the required vegetation is damaged, diseased, cut or dies. This is to be noted on the plan.

**This comment has been added to the plan set as a note on LL-1, Sheet 10, Note 4.**



City of Altoona  
August 31, 2023  
Page 6

I trust that all review comments have been addressed satisfactorily. Feel free to contact me if you have any other questions or comments.

Sincerely,

Herbert, Rowland & Grubic, Inc.



William R. Swanick, P.E.  
Senior Project Manager

WRS/pk

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Enclosures

c: Alex Ororbia, Weis Markets, Inc.  
Sabrina Appel-McMillen, City of Altoona Land Use Coordinator



Herbert, Rowland & Grubic, Inc.  
369 East Park Drive  
Harrisburg, PA 17111  
717.564.1121  
www.hrg-inc.com

August 31, 2023

Ms. Rebecca Brown, Director  
City of Altoona  
Codes and Inspections Department  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, Pennsylvania 16601

**Re: Weis Markets #64 – Proposed Gas-N-Go  
Revised Final Land Development Plan Submission  
Waiver Request Letter  
City of Altoona, Blair County, PA**

Dear Planning Commission Members:

On behalf of the Owner and Developer, I respectfully submit the following requests for modifications to certain sections of the City of Altoona Subdivision and Land Development Ordinance as they relate to the Final Land development Plan for the Weis Markets Gas-N-Go. The Waivers are requested due to the location and relative simplicity of the proposed project. Waivers to the following requirement are requested:

1. 640-63.G(1) For every 10 spaces provided by the applicant for motor vehicles, one bicycle parking space shall be provided, with a minimum of two bicycle spaces for all proposals.

**The Ordinance would require a total of 22 bicycle “parking spaces”. As this would be an overly excessive amount, a bike rack with a minimum of four (4) positions will be provided near the store frontage. See SI-1 Sheet 6.**

2. 640-65.C(4) Along the parking lot, trees and shrubs shall be planted so as to screen the parking facility from all surrounding streets and properties. The intent is to mitigate the impact of vehicle noise, lights, and fumes on adjacent land. Such vegetation shall be planted so as to provide a full screen within five years. The city requires bushes planted at 3’ on center. It appears some of the trees and shrubs may need replaced in the long island along the parking area.

**The existing site includes substantial interior landscaping within the parking lot as well as along the perimeter of the lot adjacent to Pleasant Valley Road. There should be no need for additional screening or buffer plantings. Any dead or dying existing trees or shrubs will be replaced as noted.**

City of Altoona  
August 31, 2023  
Page 2

I trust that the above requested Waivers can be approved by the Planning Commission. Feel free to contact me if you have any other questions or comments.

Sincerely,

Herbert, Rowland & Grubic, Inc.



William R. Swanick, P.E.  
Senior Project Manager

WRS/pk

R001372.0559

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c: Alex Ororbia, Weis Markets, Inc.  
Sabrina Appel-McMillen, City of Altoona Land Use Coordinator





September 6, 2023

Ms. Sabrina Appel-McMillen, GIS & Land Use Coordinator  
Altoona City Hall  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601

Dear Ms. Appel-McMillen:

The Blair County Planning Commission is in receipt of the Weis Markets Store #64 Gas-N-Go, located along Pleasant Valley Boulevard, for review under the provisions of the Pennsylvania Municipalities Planning Code and other relevant statutes. Our review has revealed the following.

- This proposal is for the construction of a Gas-N-Go 3-pump fueling station with a kiosk and canopy in the existing parking lot of Weis Market store #64.
- No additional parking is proposed at the site; however, there will be a total of six fueling positions across the three proposed gas pumps. The proposed gas station would eliminate 37 parking spaces from the northwest portion of the Weis parking lot; however, the minimum number of required spaces for this plaza is 57, and there will still be 75 vehicle parking spaces available after removing 37 of them to make room for the proposed fuel station.
- Access to the proposed fueling station appears to be through the existing 24-foot-wide bidirectional access drives from one of the parking lot's three existing entry points. It appears that new parking lot striping is included with this plan, which should help delineate the change in traffic flow.
- The construction of a Gas-N-Go fueling station has the potential to generate additional peak hour vehicle trips at the site; however, we do not anticipate that any increase would be significant enough to warrant a Transportation Impact Study. We recommend, if the developer has not already done so, to consult with the City in order to assess any unforeseen negative impacts on the local transportation system as a result of this proposal.
- No landscaping plans were provided with this proposal; however, the site plans show a relocation of the landscaped islands that were removed in favor of the proposed fueling station. The developer should ensure that any proposed landscaping meets the design standards of the *Code of the City of Altoona*.
- No lighting plan or photometrics were included with this plan; however, the developer should ensure that the fueling stations are sufficiently illuminated to provide for user safety during low-light times of the day.

-continued-

Page 2  
Ms. Appel-McMillen  
September 6, 2023

- Environmentally, our review of natural features at this location did not reveal any immediate environmental concerns; the site is not located within the 100-year floodplain, nor does it contain any wetlands, steep slopes, prime agricultural soils or Blair County Natural Heritage Inventory areas.
- This site is located within the Beaverdam Branch of the Juniata River Watershed. The developer states that no changes to the site's impervious surface coverage are expected with this proposal, therefore, no additional runoff should be generated as a result; however, the developer should ensure that the site's existing stormwater management controls are designed to handle any expected runoff from this development.

In summary, we find this proposal to be consistent with countywide planning efforts as presented in the *Alleghenies Ahead* Regional Comprehensive Plan, adopted July 31, 2018, which includes comprehensive planning for Blair County. Thank you for the opportunity to review and comment on this proposal. If you should have any questions, please feel free to contact me.

Sincerely,



MacKenzie L. Caron  
Community Planner

cc: William R. Swanick, PE – Herbert, Rowland & Grubic, Inc.







**LEGEND**

- Monument
- Iron Pipe
- Iron Pin
- Benchmark
- Property Line
- Legal Right-of-Way Line
- Setback Line
- Existing Contour Major
- Existing Contour Minor
- Existing Ditch Or Swale
- Existing Shrub
- Existing Coniferous Tree
- Existing Deciduous Tree
- Tree/Brush Line
- Shrub Row
- Existing Curb
- Existing Edge of Road
- Existing Edge of Gravel
- Existing Fence
- Existing Sign
- Existing Sign And Posts
- Existing Ballard
- Existing Mailbox
- Existing Underground Cable TV Line
- Existing Above Ground Telephone and Cable TV Line
- Existing Telephone Pole
- Existing Above Ground Electric Line
- Existing Underground Electric Line
- Existing Electric Pole
- Existing Light Standard
- Existing Guy Wire
- Existing Traffic Signal Pole
- Existing Gas Line
- Existing Gas Meter
- Existing Sanitary Sewer Line
- Existing Sanitary Sewer Manhole
- Existing Cleanout
- Existing Storm Sewer Inlet
- Existing Storm Sewer Manhole
- Existing Water Line
- Existing Water Valve
- Existing Fire Hydrant
- Existing Water Meter
- Existing Water Spigot
- PROPOSED EASEMENT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED BOTTOM OF CURB SPOT ELEVATION
- PROPOSED TOP OF CURB SPOT ELEVATION
- PROPOSED HIGH POINT SPOT ELEVATION
- PROPOSED LOW POINT SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED PARKING SPACE QUANTITY TAG
- PROPOSED SIGN
- PROPOSED BOLLARD
- LIMIT OF DISTURBANCE
- ROCK CONSTRUCTION ENTRANCE
- SILT SOXX - 8"
- INLET PROTECTION
- SOIL BOUNDARIES
- PROPOSED TELEPHONE LINE
- PROPOSED ELECTRIC LINE
- PROPOSED FIBER OPTIC LINE
- PROPOSED ELECTRICAL BOX
- PROPOSED LIGHT STANDARD
- PROPOSED GAS LINE
- PROPOSED GAS VALVE
- PROPOSED GAS METER
- PROPOSED SANITARY LINE
- PROPOSED SANITARY/STORM MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED BORE / INFILTRATION TEST
- PROPOSED PAVEMENT SAWCUT

**SITE DATA**

PROPERTY ADDRESS: 601 PLEASANT VALLEY BLVD  
 TAX MAP I.D.: 01.08.11..-008.00-000  
 WATER SERVICE: PUBLIC  
 SANITARY SEWER SERVICE: PUBLIC  
 PROPOSED LIMIT OF DISTURBANCE: 28,684 SF (.66 ACRES)  
 PROPERTY DATA  
 TOTAL PROPERTY AREA: ± 305,463 SF (7 AC)

**ZONING DATA**

ZONING REQUIREMENTS  
 ZONING: HIGHWAY BUSINESS (C-HB)  
 EXISTING USE: GROCERY STORE  
 PROPOSED USE: AUTOMATIC SALES AND SERVICES  
 MINIMUM SETBACKS:  
 FRONT: 15'  
 SIDE: 10'  
 REAR: 10'

**LOT COVERAGE**

TOTAL LOT AREA: 305,463 SF (7 ACRES)  
 EXISTING BUILDING COVERAGE: 57,117 SF (1.3 ACRES)  
 EXISTING IMPERVIOUS: ± 241,241 SF (5.34 ACRES)  
 PROPOSED IMPERVIOUS: 0 SF

**PARKING DATA**

REQUIRED PARKING:  
 MINIMUM: 3 SPACES PER 1,000 S.F. OF RETAIL AREA  
 MAXIMUM: 1 SPACE PER 250 S.F. OF RETAIL AREA  
 MINIMUM TOTAL REQUIRED PARKING: 171 SPACES  
 MAXIMUM TOTAL REQUIRED PARKING: 228 SPACES  
 EXISTING PARKING: 273 SPACES  
 PROPOSED PARKING: 232 SPACES  
 \* REDUCING PARKING BY 41 SPACES, BUT STILL MEETING MINIMUM TOTAL REQUIRED PARKING.  
 \* EXISTING NON-COMFORMITY RELATED TO MAXIMUM PARKING

**SURVEY NOTES**

- TOPOGRAPHIC EXISTING CONDITIONS AND CONTOURS SHOWN ARE DERIVED FROM A FIELD RUN TOPOGRAPHIC SURVEY ON JUNE 7, 2023.
- THIS SURVEY HORIZONTALLY REFERENCES NORTH AMERICAN DATUM OF 1983 (NAD83 - 2011) PENNSYLVANIA STATE PLANE, SOUTH ZONE DERIVED THROUGH THE KEYNETOPS GNSS VRS NETWORK.
- THE VERTICAL DATUM IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DERIVED THROUGH THE KEYNETOPS GNSS VRS NETWORK.
- WETLANDS MAY EXIST ON THE SURVEYED PROPERTY AS OBSERVED BY THIS SURVEYOR, BUT NOT DELINEATED BY A QUALIFIED SPECIALIST.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS, EITHER RECORDED OR UNRECORDED. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE OTHER THAN WHAT IS SHOWN ON THIS PLAN.
- THE LOCATIONS OF UTILITIES SHOWN HEREON ARE BASED ON ABOVEGROUND FEATURES, FIELD OBSERVATIONS/SURVEY, RECORD DRAWINGS RECEIVED FROM UTILITY COMPANIES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO START OF ANY CONSTRUCTION ACTIVITIES.
- THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND FEATURES, FIELD OBSERVATIONS/SURVEY, AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES IN COMPLIANCE WITH ACT 187 TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES. A PA ONE CALL WAS PERFORMED PRIOR TO FIELD SURVEYING. SERIAL NO. 20231590261

**SOIL LIMITATIONS AND RESOLUTIONS**

- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.

**LAND DEVELOPMENT NOTES**

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED CONSTRUCTION OF A GAS-N-GO IN THE EXISTING PARKING LOT OF WEIS MARKETS STORE #64.
- NO SITE IMPROVEMENTS ARE BEING OFFERED FOR DEDICATION TO THE CITY.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS, CODES AND OSHA STANDARDS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCES.
- ALL NON-IMPERVIOUS AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED UNLESS OTHERWISE NOTED.
- ALL ISLANDS WITH CURB SHALL BE LANDSCAPED WITH GRASS OR AN APPROPRIATE GROUND COVER. ALL REMAINING ISLANDS SHALL BE STRIPED AS SHOWN ON THE PLAN.
- ALL CURBED RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, EDGE OF PAVING OR EDGE OF BUILDING UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS NECESSARY FOR THIS PROJECT, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. ALL WORK SHALL BE IN ACCORDANCE WITH COVERING AUTHORITIES REQUIREMENTS AND SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN THE BASE BID.
- NO WETLANDS ARE KNOWN TO EXIST WITHIN THE PROJECT BOUNDARIES.
- ALL FULL DEPTH PAVING SHALL BE HEAVY DUTY.
- ACCORDING TO FEMA FLOOD PANEL NUMBER 42013C0144D THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A 100-YEAR FLOOD BOUNDARY OR WITHIN A 500-YEAR FLOOD BOUNDARY.
- ERADICATE CONFLICTING AND/OR ABANDONED PAVEMENT MARKINGS USING A GRINDING METHOD.
- THE PROPOSED USE SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE PENNDOT, SHA (STATE HIGHWAY ADMINISTRATION), AND LOCAL SPECIFICATIONS AND STANDARDS.
- THE OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS.
- LOT OWNER IS REQUIRED TO MAINTAIN LOT GRADING AND SURFACE DRAINAGE PATTERNS AND CHARACTERISTICS IN ACCORDANCE WITH THE APPROVED PLAN.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE CITY AND CITY ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
- SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH DEP REQUIREMENTS AND WITH THE APPROVED PLAN.
- ALL TRAFFIC MARKINGS AND SIGNAGE SHALL BE MAINTAINED IN ACCORDANCE WITH THE PLACEMENT AND DETAILS AS INDICATED ON THE PLAN.
- ALL PROPOSED HANDICAP ENTRANCES, PARKING, RAMPS AND ETC. SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT REGULATIONS ACCORDING TO ADA STANDARDS AT THE TIME OF CONSTRUCTION.
- NO ADDITIONAL TRASH/WASTE DISPOSAL FACILITIES ARE BEING PROPOSED.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS OF THE PERMITS ISSUED BY THE GOVERNING REGULATORY AGENCY.
- THE SITE IS NOT UNDERLAIN WITH CARBONATE GEOLOGY.
- THERE ARE NO EXISTING OR PROPOSED DEED RESTRICTIONS OR PROTECTIVE COVENANTS ASSOCIATED WITH THE SUBJECT PROPERTY OR PROJECT.
- ALL PROPOSED HANDICAP ENTRANCES, PARKING, RAMPS AND ETC. SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT REGULATIONS ACCORDING TO ADA STANDARDS AT THE TIME OF CONSTRUCTION.

**REQUESTED WAIVERS**

REQUESTED WAIVERS:  
 THE FOLLOWING WAIVERS TO THE CITY OF ALTOONA SUBDIVISION AND LAND DEVELOPMENT ORDINANCE HAVE BEEN REQUESTED.

- SLDO SECTION 640-63.G(1) BIKE PARKING SPACE REQUIREMENT
- SLDO SECTION 640-65.C(4) LANDSCAPE BUFFER

**STAGING OF MAJOR CONSTRUCTION ACTIVITIES**

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE YORK COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.

- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE YORK COUNTY CONSERVATION DISTRICT, TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMP'S AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE YORK COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAS BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THE E&S PLAN.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING A POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND NOTIFY THE YORK COUNTY CONSERVATION DISTRICT.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.

**CONSTRUCTION SEQUENCE**

- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNERS, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES, AND A REPRESENTATIVE OF THE BLAIR COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- FIELD MARK THE LIMITS OF DISTURBANCE.
- INSTALL THE ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN. CONSTRUCTION TRAFFIC CAN ONLY ENTER AND EXIT THROUGH THE APPROVED ROCK CONSTRUCTION ENTRANCE. ANY ADDITIONAL ACCESSES OR ROCK CONSTRUCTION ENTRANCES WOULD HAVE TO BE APPROVED BY THE CONSERVATION DISTRICT PRIOR TO USAGE.
- CLEAR AND GRUB ALL AREAS NEEDED BEFORE CUTTING ALONG THE SAW CUT LINE.
- BEGIN TO RELOCATE THE EXISTING UTILITIES TO THEIR PROPOSED LOCATIONS, AND START TO EXCAVATE THE GAS TANK STORAGE.
- BEGIN ROUGH GRADE OF THE PARKING LOT AND THE GAS-N-GO PAD.
- CONSTRUCT THE GAS-N-GO.
- AFTER FINAL GRADING, RE-STRIPPE THE LOT WITHIN THE LIMIT OF DISTURBANCE AND STABILIZE ALL AREAS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE BLAIR COUNTY CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO THE REMOVAL OF THE E&S BMP'S.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMP'S, INSTALLATION OF ALL PERMANENT PCSM BMP'S, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE BLAIR COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION.

**HANDLING OF MATERIALS WITH POTENTIAL TO CAUSE POLLUTION**

- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED AND DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTE OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL OR MANMADE SOILS DETERMINED TO BE UNSUITABLE FOR USE ON THE SITE AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
- IMMEDIATELY UPON DISCOVERING ANY UNFORESEEN CIRCUMSTANCES INCREASING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND CONTACT THE LACKAWANNA COUNTY CONSERVATION DISTRICT TO ENSURE THAT THE BMP'S INSTALLED IS SUFFICIENT FOR THE SITUATION.
- THE WASTES GENERATED THROUGH CONSTRUCTION INCLUDE BUILDING MATERIALS, CONCRETE, ASPHALT, AND UNSUITABLE SOILS.

**STABILIZATION SPECIFICATIONS**

- UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING OR OTHER MOVEMENTS.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN DRAWINGS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDED PREPARATION, COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHENEVER POSSIBLE PRIOR TO SEEDING.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- AN EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL DISTURBED SLOPES STEEPER THAN 3:1. ALL AREAS OF CONCENTRATED FLOWS, DISTURBED AREAS WITHIN 50' OF A SURFACE WATER AND ALL OTHER DISTURBED AREAS AS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 8" LAYERED LIFTS AT 95% DENSITY.
- STRAW MULCH SHALL BE APPLIED IN LONG STANDS, NOT CHOPPED OR FINELY BROKEN.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHOULD BE SHOWN ON THE PLAN MAPS AND SHOULD BE SUBJECT TO THE PROVISIONS OF THESE STANDARDS AS WELL AS THOSE OF THE APPROVED E&S PLAN. ALL APPROPRIATE PERMITS/AUTHORIZATION SHOULD BE OBTAINED PRIOR TO EARTH DISTURBANCE ACTIVITIES WITHIN THESE AREAS.
- WHEREVER POSSIBLE, FILLS SHOULD NOT BE CONSTRUCTED FROM OR BUILT UPON SOILS KNOWN TO HAVE LOW SHEAR STRENGTH OR THAT HAVE BEEN IDENTIFIED AS "LANDSLIDE PRONE" UNLESS IT CAN BE SHOWN THAT IT CAN BE DONE WITH AN ACCEPTABLE SAFETY FACTOR.
- WHEREVER FILLS ARE TO BE CONSTRUCTED OUT OF OR ONTO SOILS IDENTIFIED AS HAVING LOW SHEAR STRENGTH OR ARE "LANDSLIDE PRONE," A REPORT SHOULD BE PREPARED BY A PROFESSIONAL GEOTECHNICAL ENGINEER OR PROFESSIONAL GEOLOGIST WHICH ADDRESSES THE FOLLOWING:
  - THE CHARACTER OF THE BEDROCK AND ANY ADVERSE GEOLOGIC CONDITION IN THE AREA OF THE FILLS INCLUDING PREVIOUS SLOPE FAILURES.
  - A SURVEY OF ALL SPRINGS, SEEPS, AND GROUNDWATER FLOW OBSERVED OR ANTICIPATED DURING WET PERIODS IN THE AREAS OF THE FILLS.
  - THE MAXIMUM STEEPNESS OF SLOPE AND HEIGHT OF FILL TO BE CONSTRUCTED ON THE SITE.
  - A STABILITY ANALYSIS INCLUDING, BUT NOT LIMITED TO, STRENGTH PARAMETERS, PORE PRESSURES, AND LONG-TERM SEEPAGE CONDITIONS. THESE DATA SHOULD BE ACCOMPANIED BY A DESCRIPTION OF ALL ENGINEERING DESIGN ASSUMPTIONS AND CALCULATIONS AS WELL AS THE ALTERNATIVES CONSIDERED IN SELECTING THE DESIGN SPECIFICATIONS AND TESTING METHODS.
  - THE ESTIMATED FACTOR OF SAFETY USED TO DESIGN THE SLOPES. AT A MINIMUM, THE LONG-TERM SAFETY FACTOR SHOULD BE 1.5 FOR CUTS OR FILLS WITHIN 50 FEET OF PUBLIC HIGHWAYS, RAILROADS, SURFACE WATERS, OR WHERE FAILURE COULD ENDANGER PUBLIC SAFETY. THE SAFETY FACTOR SHOULD BE A MINIMUM OF 1.25 FOR ALL OTHER FILLS.
- TO AVOID ENDANGERING REGULATED WATERS OR PUBLIC TRANSPORTATION FACILITIES, A MINIMUM SETBACK SHOULD BE MAINTAINED ACCORDING TO TABLE 16.1 IN THE E&S MANUAL.



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FINAL LAND DEVELOPMENT PLAN FOR WEIS MARKETS #64 - GAS-N-GO  
 WEIS MARKETS, INC.  
 1000 SOUTH SECOND STREET  
 SUNBURY, PA 17801  
 CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

PROFESSIONAL SEAL:

HRG PROJECT NUMBER: R001372.0559  
 PLAN DATE: 2023.07.28  
 DRAWING SCALE: NOT TO SCALE  
 PROJ. MANAGER: WRS

NO.	DATE	DESCRIPTION	REV. AS PER CITY OF ALTOONA COMMENTS											
			1	2	3	4	5	6	7	8	9			
1	2023.08.31													
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SHEET TITLE:  
**NOTES SHEET**



## GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL DRAWINGS (STAMPED, SIGNED AND DATED BY THE YORK COUNTY CONSERVATION DISTRICT) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE YORK COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE DISTRICT MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION
2. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
3. VEHICLES AND EQUIPMENT MAY ONLY ENTER AND EXIT THE CONSTRUCTION SITE VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE.
4. EROSION AND SEDIMENT BMP'S MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S. E&S BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
5. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND NOTIFY THE YORK COUNTY CONSERVATION DISTRICT AND/OR REGIONAL OFFICE OF THE DEPARTMENT.
6. ALL PUMPING OF SEDIMENT LADEN WATER FOR ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREA. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
7. FAILURE TO CORRECTLY INSTALL E&S BMP'S, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE EARTH DISTURBANCE ACTIVITY, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMP'S MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED AND FULLY IMPLEMENTED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
9. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
10. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
11. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL".
12. UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
13. IN THE EVENT OF SINKHOLE DISCOVERY A PROFESSIONAL GEOLOGIST OR ENGINEER WILL BE REQUIRED TO INVESTIGATE THE SINKHOLE. THE YORK COUNTY CONSERVATION DISTRICT WILL BE MADE AWARE OF THE SINKHOLE DISCOVERY IMMEDIATELY.
14. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
15. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
16. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.

## E&S PLANNING AND DESIGN

THIS PLAN WAS DESIGNED TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION, MINIMIZE SOIL COMPACTION, LIMIT THE EXTENT AND DURATION OF EARTH DISTURBANCE AND MINIMIZE THE INCREASED STORMWATER RUNOFF DURING CONSTRUCTION.

THE SEQUENCE OF CONSTRUCTION LIMITS THE EXTENT AND DURATION OF GRADING DURING EACH STAGE. THE E&S PLAN PROPOSES THREE PHASES OF GRADING WHICH FURTHER LIMIT THE EXTENT AND DURATION OF GRADING. GRADING IS LIMITED TO ONLY THOSE AREAS NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE REMAINDER OF THE AREA WITHIN THE NPDES BOUNDARY AND OUTSIDE OF THE LIMIT OF DISTURBANCE WILL REMAIN UNDISTURBED WITH EXISTING VEGETATION.

THE DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEEDING AND MULCHING. THE SEEDING CONSTRUCTION WAS DEVELOPED TO LIMIT THE DURATION OF EARTH DISTURBANCE ACTIVITIES.

STORMWATER RUNOFF DURING CONSTRUCTION WILL BE MANAGED THROUGH SEDIMENT BASINS WHICH WILL BE CONVERTED TO PERMANENT STORMWATER MANAGEMENT FACILITIES. THESE FACILITIES WERE DESIGNED IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL TO MINIMIZE THE INCREASE IN STORMWATER RUNOFF DURING CONSTRUCTION BY SLOWLY RELEASING THE WATER THROUGH SKIMMERS.

## GENERAL CONSTRUCTION NOTES

1. HERBERT, ROWLAND AND GRUBIC MAKES NO GUARANTEE AS TO THE PRECISE LOCATIONS OR DEPTHS OF ANY UNDERGROUND UTILITIES. IN ADDITION THERE MAY BE OTHER ACTIVE OR ABANDONED UNDERGROUND UTILITY LINES AND STRUCTURES OF WHICH THE DESIGNER AND SURVEYOR HAVE NOT BEEN ADVISED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DISTURBING ALL EXISTING UTILITY LINES WHETHER MAPPED, MARKED OR ENCOUNTERED DURING CONSTRUCTION. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, IT IS IMPERATIVE THAT SUCH UTILITY LOCATIONS, DEPTHS, SIZES AND MATERIAL TYPES BE VERIFIED THROUGH THE PA ONE CALL SYSTEM 1 (800) 242-1776 OR THROUGH THE INDIVIDUAL UTILITY INSTALLER OR PROVIDER. IF THERE ARE ANY CONFLICTS DUE TO EXISTING OR AS-BUILT SITE CONDITIONS; THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR FIELD ADJUSTMENT APPROVAL.
2. THE CONTRACTOR IS NOT ENTITLED FOR ANY ADDITIONAL COMPENSATION FROM THE OWNER FOR DAMAGE TO EXISTING UTILITIES, STRUCTURES OR APPURTENANCES DURING THE CONSTRUCTION PERIOD OF THE PROJECT.
3. NOTHING SHALL BE PLACED, PLANTED AND SET WITHIN THE AREA OF ANY EXISTING OR PROPOSED EASEMENTS THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENTS OR CONFLICT WITH ANY EXISTING OR PROPOSED EASEMENT AGREEMENTS.
4. A THOROUGH SITE RECONNAISSANCE WITHIN THE LIMIT OF DISTURBANCE FOR THE PROJECT IS MANDATORY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS WHICH MAY NOT BE SHOWN WITHIN THE CONSTRUCTION PLAN SET.
5. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS, CODES AND OSHA STANDARDS.
6. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCES.
7. THE CONTRACTOR IS ENCOURAGED TO OBTAIN COPIES AND BECOME FAMILIAR WITH THE CITY'S ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND STANDARD CONSTRUCTION AND MATERIALS SPECIFICATIONS AS WELL AS PENNDOT PUBLICATION 408 AND PENNDOT RC STANDARDS. THE CONTRACTOR IS RESPONSIBLE TO MEET THE REQUIREMENTS OF THESE ORDINANCES, SPECIFICATIONS AND STANDARDS FOR VARIOUS PUBLIC IMPROVEMENTS.
8. THE PROPOSED USE SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE.

## CONSTRUCTION REQUIREMENTS

1. CONSTRUCTION OF ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND WORK RELATED TO STORM DRAINAGE FACILITIES REQUIRES INSPECTION BY THE MUNICIPALITY. PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE MUNICIPALITY BEFORE STARTING WORK.
  2. CONTRACTOR SHALL VIDEOTAPE PROJECT AREA AND ALL ACCESS POINTS TO THOROUGHLY DOCUMENT EXISTING CONDITIONS INCLUDING LANDSCAPING, CURBS, PAVEMENT AND SIGNAGE PRIOR TO MOBILIZATION ON SITE. DATED DIGITAL FILE SHALL BE FORWARDED TO THE DEVELOPER AND ENGINEER OF RECORD.
  3. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE CITY, WEIS MARKETS, COUNTY CONSERVATION DISTRICT, HERBERT, ROWLAND AND GRUBIC (ENGINEER OF RECORD) AND CITY ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
- ### SITE INSPECTION REQUIREMENTS
1. A LOG SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
  2. THE CONTRACTOR MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE STORMWATER EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMP'S ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE: A SUMMARY OF THE SITE CONDITIONS, E&S BMP'S, AND COMPLIANCE; AND THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION.
  3. IF BMP'S ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD AND PROJECT ADMINISTRATOR. DOCUMENTATION SHOULD INCLUDE WHAT STEPS ARE BEING TAKEN TO REDUCE, ELIMINATE AND PREVENT RECURRENCE OF THE PROBLEM.
  4. THE CONTRACTOR SHALL NOTIFY WEIS MARKETS AT THE FOLLOWING CRITICAL STAGES OF PAVEMENT CONSTRUCTION:
    - a. AFTER SUBBASE PLACEMENT AND PRIOR TO BITUMINOUS BASE COURSE PLACEMENT.
    - b. AFTER BITUMINOUS BASE COURSE PLACEMENT AND PRIOR TO WEARING COURSE PLACEMENT.
    - c. CONTRACTOR SHALL PERFORM WATER FLOOD TEST OF ALL PAVED AREAS PRIOR TO WEARING COURSE PLACEMENT.

## PAVING NOTES

1. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS GRADE TO TIE-IN TO EXISTING GRADE.
2. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, EDGE OF PAVING OR EDGE OF BUILDING UNLESS OTHERWISE NOTED.
3. ERADICATE CONFLICTING AND/OR ABANDONED PAVEMENT MARKINGS USING A GRINDING METHOD.
4. ALL TRAFFIC MARKINGS AND SIGNAGE SHALL BE MAINTAINED IN ACCORDANCE WITH THE PLACEMENT AND DETAILS AS INDICATED ON THE PLAN.
5. ALL CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
  - a. ALL FULL DEPTH PAVING SHALL BE HEAVY DUTY.

## GENERAL TRAFFIC CONTROL NOTES

1. WORK ZONE TRAFFIC SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
2. ALL TRAFFIC MARKINGS AND SIGNAGE SHALL BE MAINTAINED IN ACCORDANCE WITH THE PLACEMENT AND DETAILS AS INDICATED ON THE PLAN.

## GRADING NOTES

1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY PROVIDERS IN COMPLIANCE WITH THE PA ONE CALL SYSTEM TO VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL".
3. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
4. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL UP TO ANALYTICAL TESTING.
6. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
7. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
8. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
9. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, LARGE STONES OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
10. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
11. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
13. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROL MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED.
14. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
15. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
16. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. ALL AREAS OF THE SITE MUST BE GRADED TO MAINTAIN POSITIVE DRAINAGE TO A DRAINAGE FACILITY.
17. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS GRADE TO TIE-IN TO EXISTING GRADE.
18. CONTRACTOR IS REQUIRED TO MAINTAIN LOT GRADING AND SURFACE DRAINAGE PATTERNS AND CHARACTERISTICS IN ACCORDANCE WITH THE APPROVED PLAN.

## STORMWATER NOTES

1. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
2. THE CONTRACTOR MAY SUBMIT FOR APPROVAL SUBSTITUTIONS FOR ITEMS OR MATERIALS SHOWN ON THE PLAN. NO SUBSTITUTIONS MAY BE MADE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION RESOLUTION OF ALL UTILITY CONFLICTS SHOWN (OR NOT SHOWN) ON PLANS.
4. ALL STORM PIPING SHALL BE SMOOTH INTERIOR UNLESS OTHERWISE NOTED.
5. MANHOLE COVERS FOR STORM MANHOLES SHALL BE CAST WITH THE WORD "STORM" FOR IDENTIFICATION PURPOSES.
6. ALL PROPOSED STORMWATER PIPES AND CONNECTIONS SHALL BE CONSTRUCTED TO HAVE WATER TIGHT JOINTS AND CONNECTIONS.

## OWNERSHIP AND MAINTENANCE OF STORMWATER AND E&S CONTROL FACILITIES

THE OWNER, WEIS MARKETS, INC. WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PERMANENT STORMWATER AND EROSION AND SEDIMENTATION CONTROL FACILITIES WHICH WILL BE CONSTRUCTED AS PART OF THIS PROJECT EXCEPT FOR THOSE WITHIN THE PUBLIC RIGHT-OF-WAY. DURING CONSTRUCTION, HOWEVER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM SITE MAINTENANCE IN ORDER TO ASSURE PROPER CONTROL AND OPERATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL/STORMWATER DRAINAGE FACILITIES. THE FOLLOWING GENERAL DUTIES SHALL BE PERFORMED BY THE CONTRACTOR:

1. ANY DEBRIS ACCUMULATED AT SILT BARRIERS SHALL BE REMOVED AND PROPERLY DISPOSED. BARRIERS SHALL BE CHECKED AND REALIGNED OR RESET AS REQUIRED.
2. VEGETATIVE STABILIZATION SHALL BE PERIODICALLY INSPECTED FOR PROPER GROWTH. AREAS NOT RESPONDING SHALL BE CLEANED AND RESEDED. AREAS WHICH SHOW SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE GRADED, RESEDED, AND RE-MULCHED AS SOON AS POSSIBLE.
3. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE CLEANED AND REDRESSED WHEN VOIDS BECOME CHOKED WITH MUD AND SEDIMENT.
4. MISCELLANEOUS ADDITIONS, ADJUSTMENTS OR CORRECTIONS SHALL BE MADE TO ANY EROSION AND SEDIMENTATION CONTROL FACILITIES BY THE ENGINEER, COUNTY, OR TOWNSHIP REPRESENTATIVE IN ORDER TO CORRECT UNFORESEEN PROBLEMS OR PROBLEMS CAUSED BY STORMS PRIOR TO STABILIZATION.
5. ALL TEMPORARY MEASURES SHALL BE REMOVED FROM THE SITE AND THE AREA SHALL BE PERMANENTLY STABILIZED.
6. SOIL EROSION AND SEDIMENTATION CONTROL PLANS FOR OFFSITE DISPOSAL AND BORROW AREAS MUST BE MAINTAINED AND MADE AVAILABLE TO THE BLAIR COUNTY CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
7. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO THE BLAIR COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
8. ANY SEDIMENT REMOVED FROM BMP'S DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND INCORPORATED INTO THE SITE GRADING.
9. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
10. ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN DESIGNATED AREAS PRIOR TO DEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
11. A LOG SHOWING THE DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE LACKAWANNA COUNTY CONSERVATION DISTRICT OR OTHER REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
12. CONTRACTOR TO REPAIR OR REPLACE ALL FAILING BMP'S AS NECESSARY PER THE DETAILS AND SPECIFICATIONS LISTED ON THESE PLANS. CONTACT BLAIR COUNTY CONSERVATION DISTRICT IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL TO CAUSE ACCELERATED EROSION OR SEDIMENT POLLUTION.
13. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE SURFACE WATERS.

## LANDSCAPING NOTES

1. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE DRAWING. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
2. UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE REPAIRS OF AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION OCCURS, IT SHALL BE REACTIVATED WITHIN 1 YEAR. AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
3. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM UNIFORM PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION OR AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
4. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES AND 6 TO 12 INCHES ON COMPACTED SOILS PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 6 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
6. ALL PROPOSED ELEVATIONS INDICATE THE FINISHED GRADES UNLESS OTHERWISE SPECIFICALLY NOTED.
7. ALL NON-IMPERVIOUS AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED UNLESS OTHERWISE NOTED.
8. ALL ISLANDS REQUIRE TREES AND SHRUBS AND ARE REQUIRED TO BE MAINTAINED AND REPLACED AS NECESSARY.

## UTILITY NOTES

1. THE CONTRACTOR MAY SUBMIT FOR APPROVAL SUBSTITUTIONS FOR ITEMS OR MATERIALS SHOWN ON THE PLAN. NO SUBSTITUTIONS MAY BE MADE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION RESOLUTION OF ALL UTILITY CONFLICTS SHOWN (OR NOT SHOWN) ON PLANS.
3. IN ADDITION, THERE MAY BE OTHER ACTIVE OR ABANDONED UNDERGROUND UTILITY LINES APPURTENANCES AND STRUCTURES OF WHICH THE DESIGNER AND SURVEYOR HAVE NOT BEEN ADVISED. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY IT IS IMPERATIVE THAT SUCH UTILITY LOCATIONS, DEPTHS, SIZES AND MATERIAL TYPES BE VERIFIED THROUGH THE PA ONE CALL SYSTEM AND A THOROUGH SITE RECONNAISSANCE WITHIN THE LIMIT OF DISTURBANCE FOR THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS WHICH MAY NOT BE SHOWN WITHIN THE CONSTRUCTION PLAN SET.

## OWNERSHIP AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES

1. FACILITIES, AREAS OR STRUCTURES USED AS STORMWATER MANAGEMENT BMP'S ARE HEREBY ENUMERATED AS PERMANENT REAL ESTATE APPURTENANCES AND RECORDED AS DEED RESTRICTIONS OR CONSERVATION EASEMENTS THAT RUN WITH THE LAND. ANY EXISTING OR PROPOSED INLETS, PIPING, PONDS, RAIN GARDENS, SWALES, ETC. LOCATED WITHIN THE SITE ARE CONSIDERED STORMWATER FACILITIES. THESE STORMWATER FACILITIES ARE PRIVATE AND MAINTENANCE OF THEM WILL BE THE RESPONSIBILITY OF THE OWNER.

2. THE OWNER SHALL KEEP ON FILE WITH THE CITY OF ALTOONA THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PERSON OR COMPANY RESPONSIBLE FOR OPERATION AND MAINTENANCE ACTIVITIES. IN THE EVENT OF A CHANGE, NEW INFORMATION MUST BE SUBMITTED BY THE OWNER TO THE CITY OF ALTOONA WITHIN 10 WORKING DAYS OF THE CHANGE.

CURRENT RESPONSIBLE PARTY:  
WEIS MARKETS INC.  
1000 SOUTH SECOND STREET  
SUNBURY, PA 17801  
(570) 286-3618

3. THE OWNER OF THE STORMWATER MANAGEMENT FACILITIES SHALL KEEP ON SITE A COPY OF THE POST CONSTRUCTION STORMWATER PLAN (PCSWP), THE MAINTENANCE PLAN, AND A RECORD LOG OF ANY MAINTENANCE ACTIVITIES.

4. RECORDS SHALL BE KEPT ON SITE, ACCESSIBLE AND OPENED TO THE STORMWATER OFFICER UPON REQUEST SO THAT HE OR SHE MAY VERIFY THAT MAINTENANCE IS BEING PERFORMED AS APPROVED. A COPY OF THE PRIOR YEAR'S MAINTENANCE RECORDS WILL BE SUBMITTED TO THE CITY OF ALTOONA PUBLIC WORKS DEPARTMENT, NO LATER THAN JANUARY 31 OF EACH YEAR.

- 1.0 GENERAL MAINTENANCE
  - A. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS, AND SPECIFICATIONS IDENTIFIED ON THE PLANS. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CURRENT OWNER, THEIR SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED HEREIN. THE BRETHERN HOME COMMUNITY SHALL REPORT THE FINDINGS FROM ALL INSPECTIONS OF THE STORMWATER MANAGEMENT FACILITIES TO TOWNSHIP IN A TIMELY MANNER.
  - B. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO THE TOWNSHIP. ACCESS SHALL BE MADE TO THE ABOVE GROUND STORMWATER MANAGEMENT FACILITIES WITH EQUIPMENT CAPABLE OF TRAVERSING 4:1 SLOPES. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN. THE TOWNSHIP AND COUNTY CONSERVATION DISTRICT MUST BE NOTIFIED PRIOR TO PERFORMING REPAIRS. THE OWNER SHALL CONTACT THE DESIGN ENGINEER IF, AFTER ROUTINE MAINTENANCE, THE INFILTRATION FACILITIES DO NOT DEWATER WITHIN 72 HOURS. ALL DETRITUS IS TO BE REMOVED FROM THE STORMWATER MANAGEMENT FACILITIES, PARTICULARLY AFTER MOWING.
  - C. INSPECT STORMWATER CONVEYANCE FACILITIES (INLETS, STORM SEWERS, SWALES ETC.) BI-ANNUALLY OR AFTER EACH SIGNIFICANT RAINFALL PRODUCING EVENT. CLEAR DEBRIS FROM INLETS TO ALLOW UN-IMPEDDED FLOW, FLUSH STORM SEWERS IF THEY BECOME PLUGGED AND CLEAN/CLEAR OUTLET STRUCTURES IF IT BECOMES CLOGGED OR BLOCKED.

- 2.0 STORMWATER MAINTENANCE PROCEDURES
- INLET SUMPS
  - INSPECT INLET SUMPS AFTER EVERY MAJOR STORM EVENT (>1 INCH RAINFALL DEPTH)
  - INLET SUMPS SHALL BE CLEANED TWICE A YEAR AND SHOULD BE EMPTIED WHEN OVER HALF FULL OF SEDIMENT AND DEBRIS.
  - MATERIAL REMOVED FROM THE INLET SUMPS SHALL BE HANDLED ACCORDING TO DEP REGULATIONS FOR THAT TYPE OF SOLID WASTE, SUCH AS A LANDFILL THAT IS APPROVED BY DEP TO ACCEPT SOLID WASTE.

### SNOUT OIL AND DEBRIS SEPARATOR

- MONTHLY MONITORING SHOULD TAKE PLACE FOR THE FIRST YEAR OF A NEW INSTALLATION AFTER THE SITE HAS BEEN STABILIZED.
- CHECKING SEDIMENT DEPTH AND NOTING THE SURFACE POLLUTANTS IN THE STRUCTURE WILL BE HELPFUL IN PLANNING MAINTENANCE.
- THE POLLUTANTS COLLECTED IN THE SNOUT-EQUIPPED STRUCTURES WILL CONSIST OF FLOATABLE DEBRIS AND OILS ON THE SURFACE OF THE CAPTURED WATER, AND GRIIT AND SEDIMENT ON THE BOTTOM OF THE STRUCTURE.
- THE STRUCTURE SHOULD BE CLEANED WHEN THE SUMP IS HALF FULL.
- STRUCTURES SHOULD BE CLEANED IF A SPILL OR OTHER INCIDENT CAUSES A LARGER THAN NORMAL ACCUMULATION OF POLLUTANTS IN A STRUCTURE. IN THE CASE OF AN OIL SPILL, THE STRUCTURE SHOULD BE SERVICED AND BIO-SKIRTS REPLACED (IF ANY) IMMEDIATELY.
- MAINTENANCE IS BEST DONE WITH A VACUUM TRUCK. ALL COLLECTED WASTE MUST BE HANDLED AND DISPOSED OF ACCORDING TO LOCAL ENVIRONMENTAL REQUIREMENTS.
- TO MAINTAIN THE SNOUT HOODS THEMSELVES, AN ANNUAL INSPECTION OF HOODS AND PLACED IN WEIS MARKETS STORE DESIGNATED DUMPSTER. NO NEW TRASH FACILITIES ARE PROPOSED.

### PERMANENT INLET FILTER

- INSPECT FLOARG BI-ANNUALLY OR AFTER EACH SIGNIFICANT RAINFALL PRODUCING EVENT. CLEAN ANNUALLY WITH VACUUM TRUCK TO REMOVE ACCUMULATED SEDIMENT, DEBRIS, AND OIL FROM LINER. REPLACE FOSSIL ROCK ABSORBENT POUCH YEARLY OR IF MAJOR SPILL EVENT OCCURS. INSPECT STRUCTURE AND RINSE WITH PRESSURE WASHER OR HOSE.

## DEMOLITION AND WASTE REMOVAL

1. THE CONTRACTOR SHALL DISPOSE OF WASTE MATERIALS OBTAINED FROM THE DEMOLITION ACTIVITIES IN A LEGAL MANNER. ALL MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH DEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 280.1 ET SEQ. 271.1 AND 287.1 ET. SEQ. UNDER NO CIRCUMSTANCES SHALL ANY WASTES, WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.
2. CONTRACTOR TO ENSURE THAT THE DEMOLITION WORK IS STRICTLY CONFINED WITHIN THE LIMITS OF THE PROJECT SITE AND DEMOLITION ACTIVITIES CAN BE CONDUCTED WITHOUT HAZARD TO ADJACENT PROPERTIES OR TO THE PUBLIC.
3. ERADICATE CONFLICTING AND/OR ABANDONED PAVEMENT MARKINGS USING A GRINDING METHOD.
4. ALL MUNICIPAL WASTE CREATED BY THE GAS-N-GO FACILITY SHALL BE EMPTIED DAILY AND PLACED IN WEIS MARKETS STORE DESIGNATED DUMPSTER. NO NEW TRASH FACILITIES ARE PROPOSED.



HERBERT, ROWLAND & GRUBIC, INC.  
369 EAST PARK DRIVE  
HARRISBURG, PA 17111  
717.564.1121 | hrghc.com

FINAL LAND DEVELOPMENT PLAN FOR WEIS MARKETS #64 - GAS-N-GO

WEIS MARKETS, INC.  
1000 SOUTH SECOND STREET  
SUNBURY, PA 17801  
CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

PROFESSIONAL SEAL:

HRG PROJECT NUMBER: R001372.0559  
PLAN DATE: 2023.07.28  
DRAWING SCALE: NOT TO SCALE  
PROJ. MANAGER: WRS

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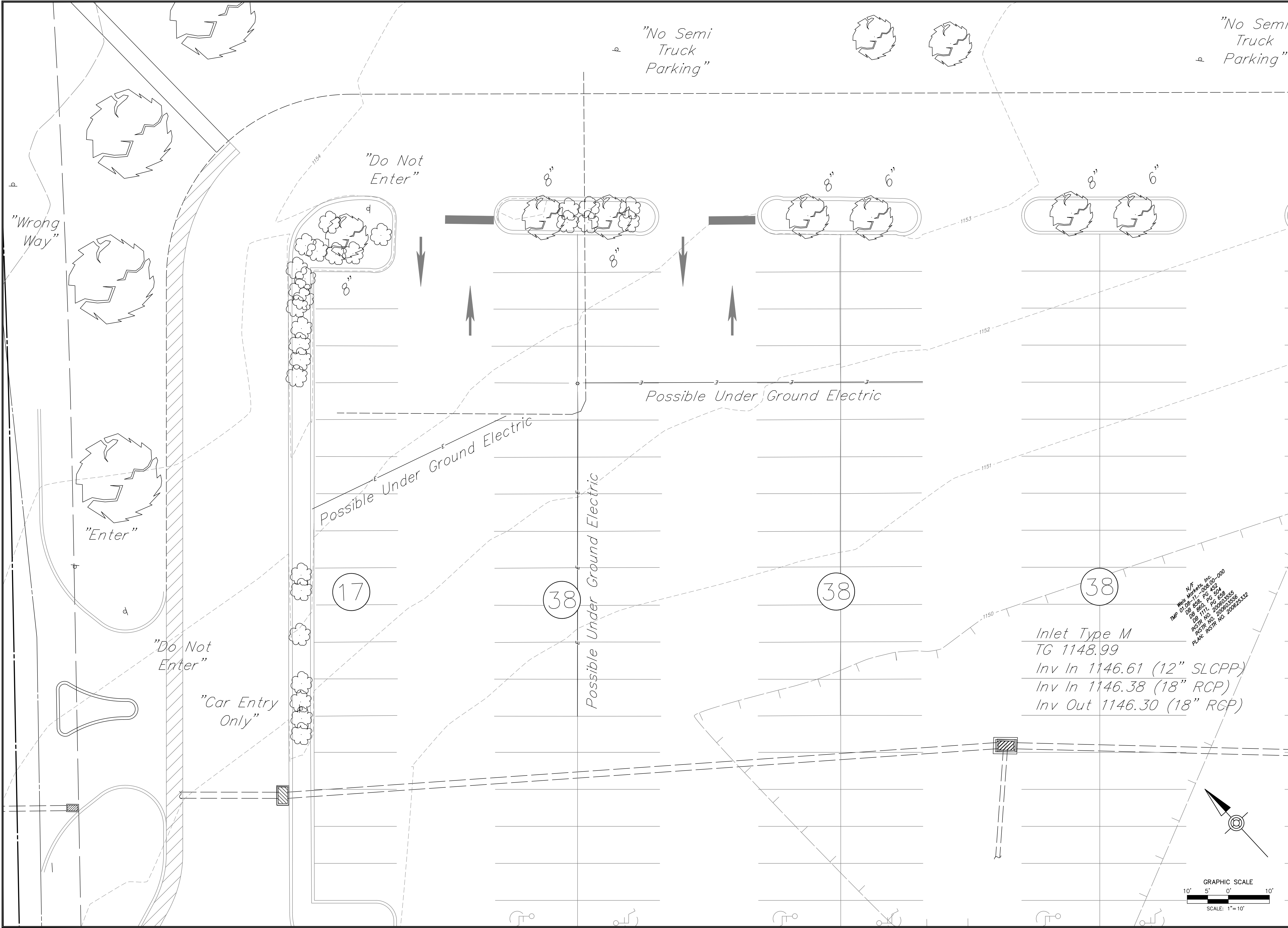
SHEET TITLE:  
**NOTES SHEET**

SHEET: **NT-2** **03**









HRG PROJECT NUMBER: R001372.0559  
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 PROJ. MANAGER: WRS

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SHEET TITLE:  
**EXISTING CONDITIONS PLAN**

SHEET: **EC-1** **05**







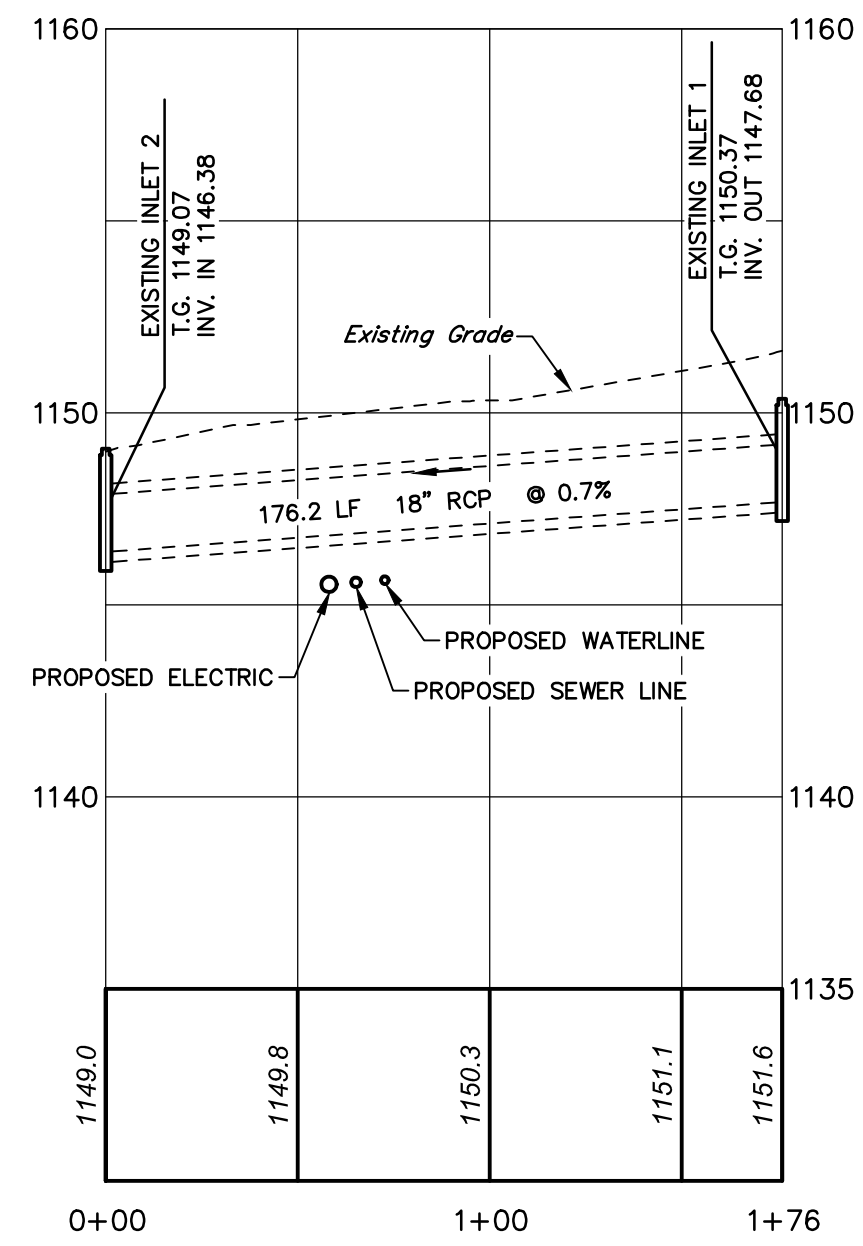
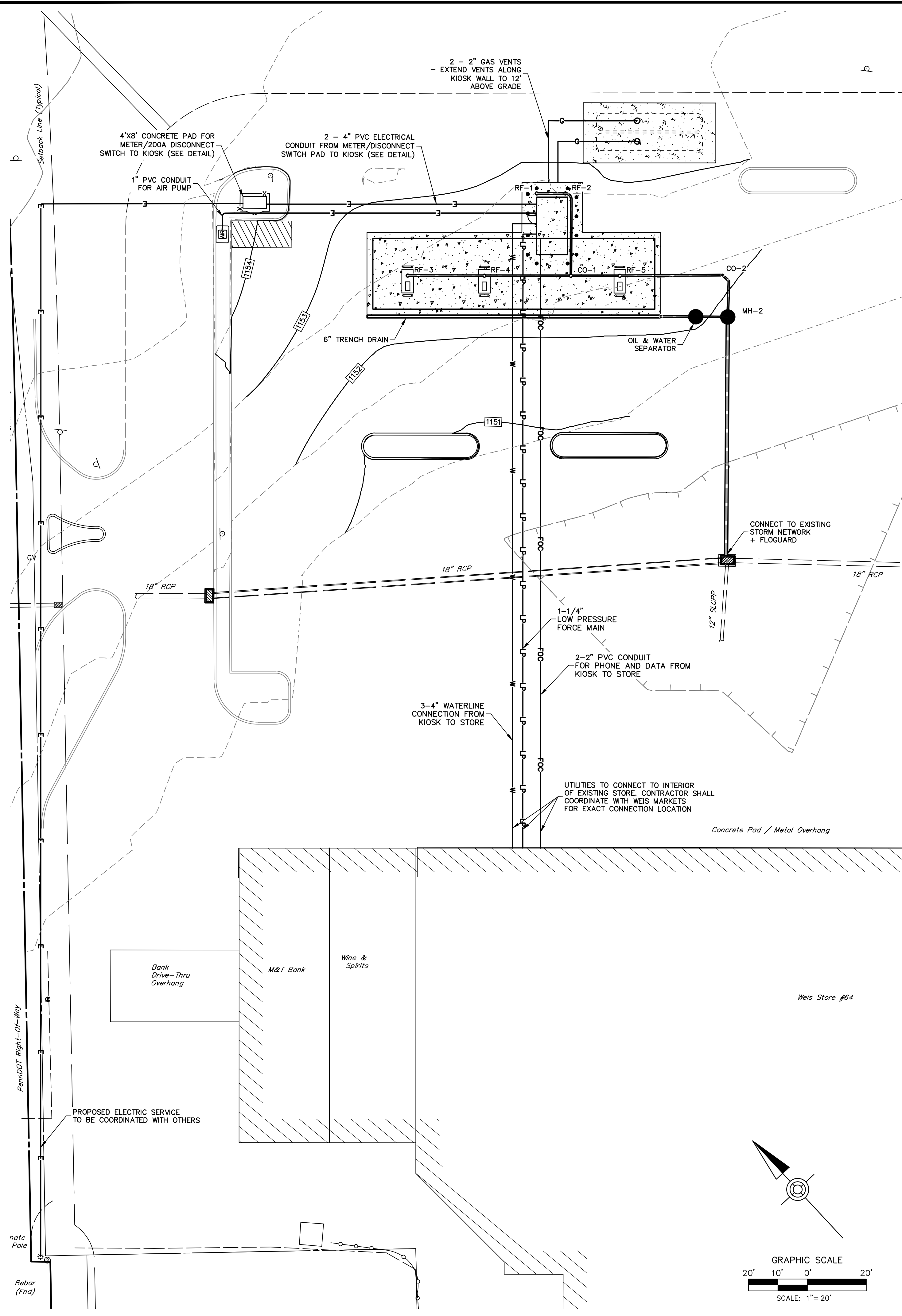


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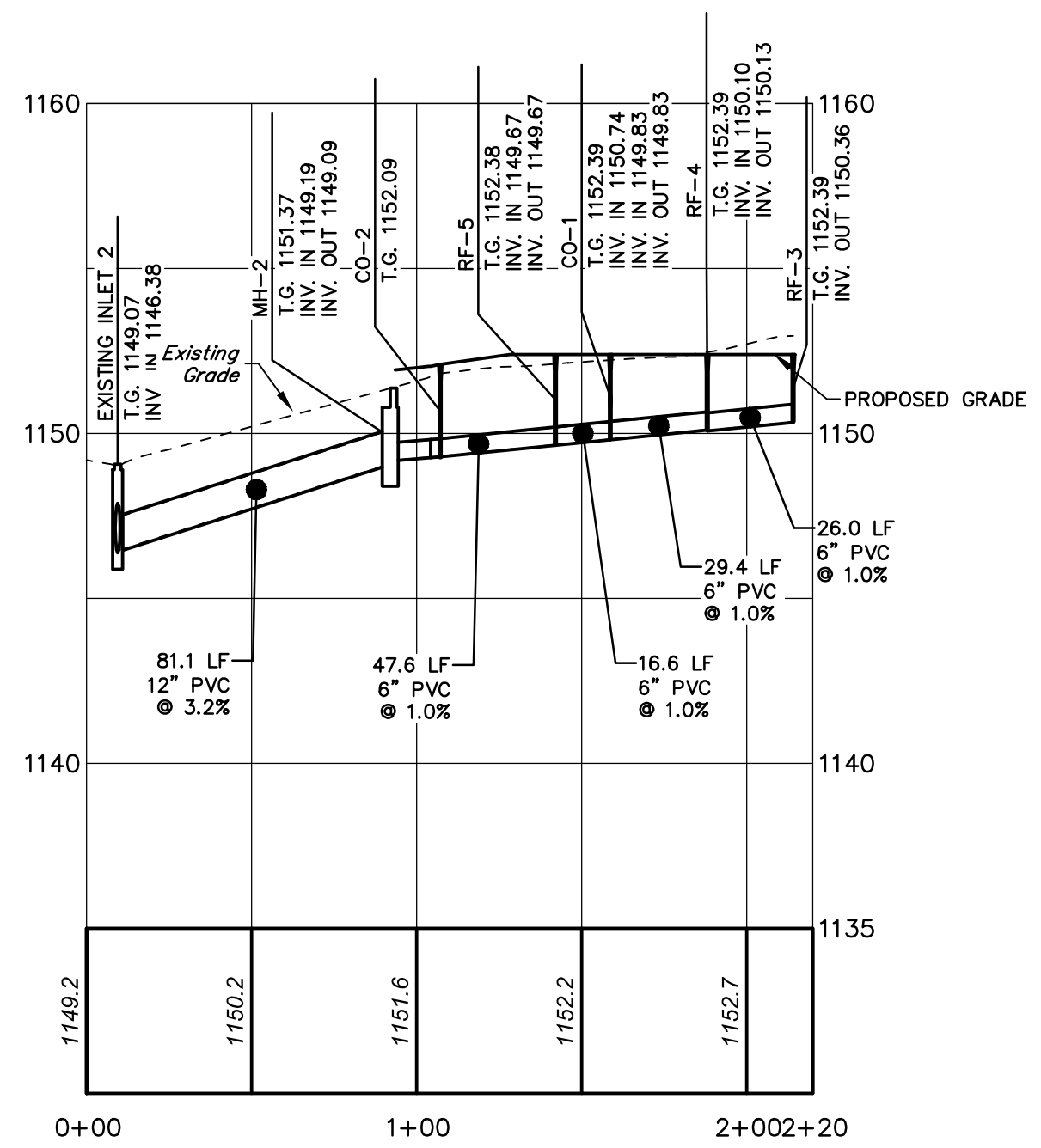
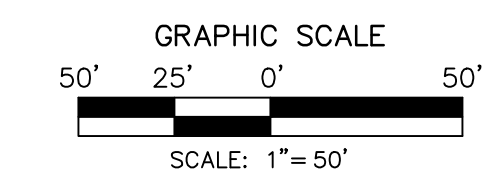
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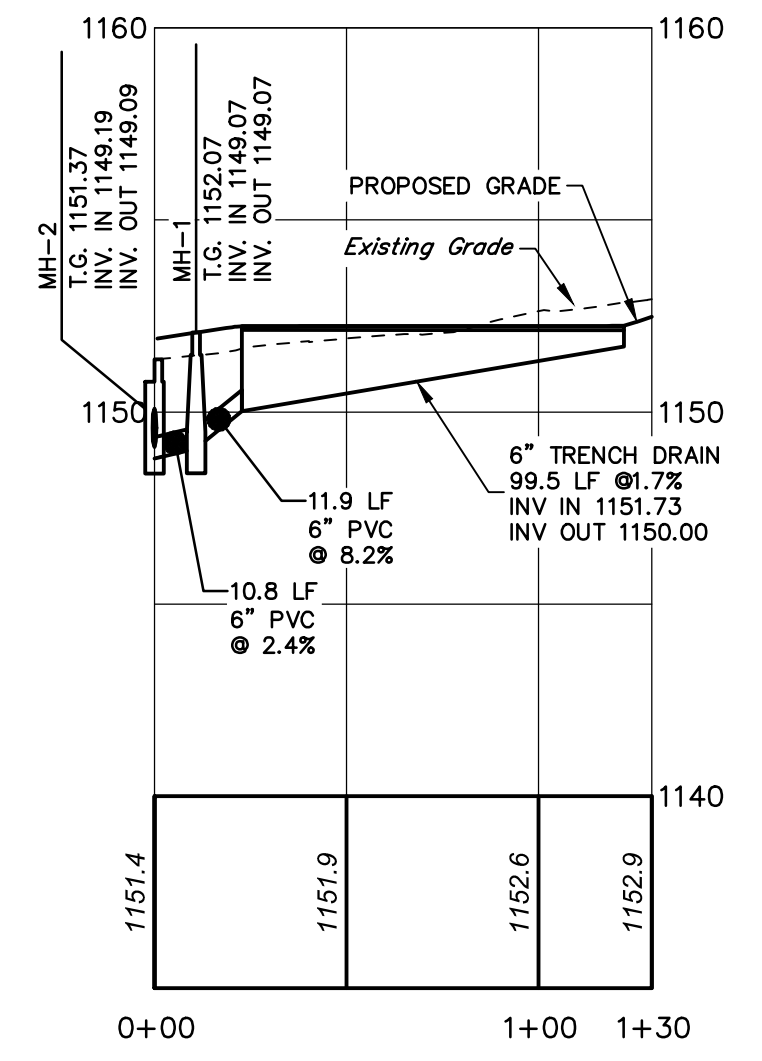
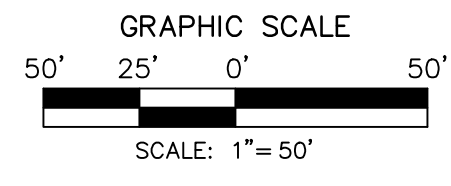
SHEET TITLE:  
**UTILITY PLAN**



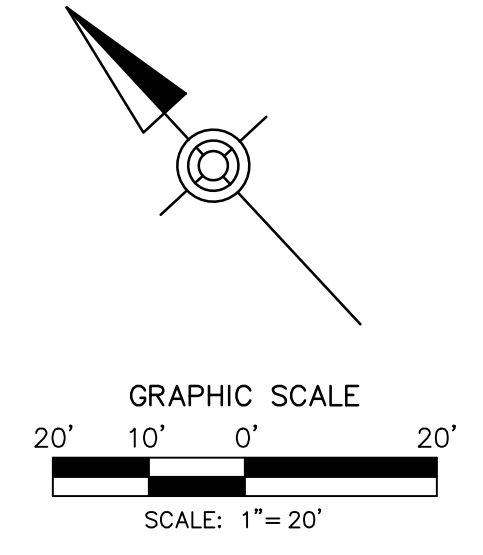
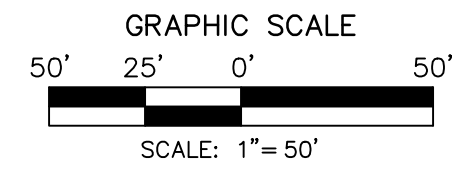
**EXISTING STORM PROFILE WITH UTILITY CROSSING**



**RF-3 TO EXISTING INLET**



**TRENCH DRAIN TO MH-1**





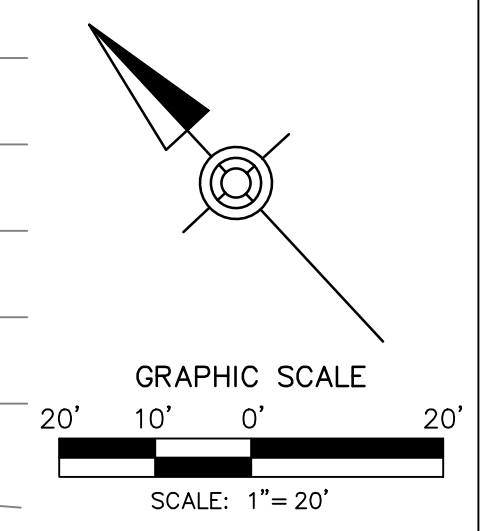
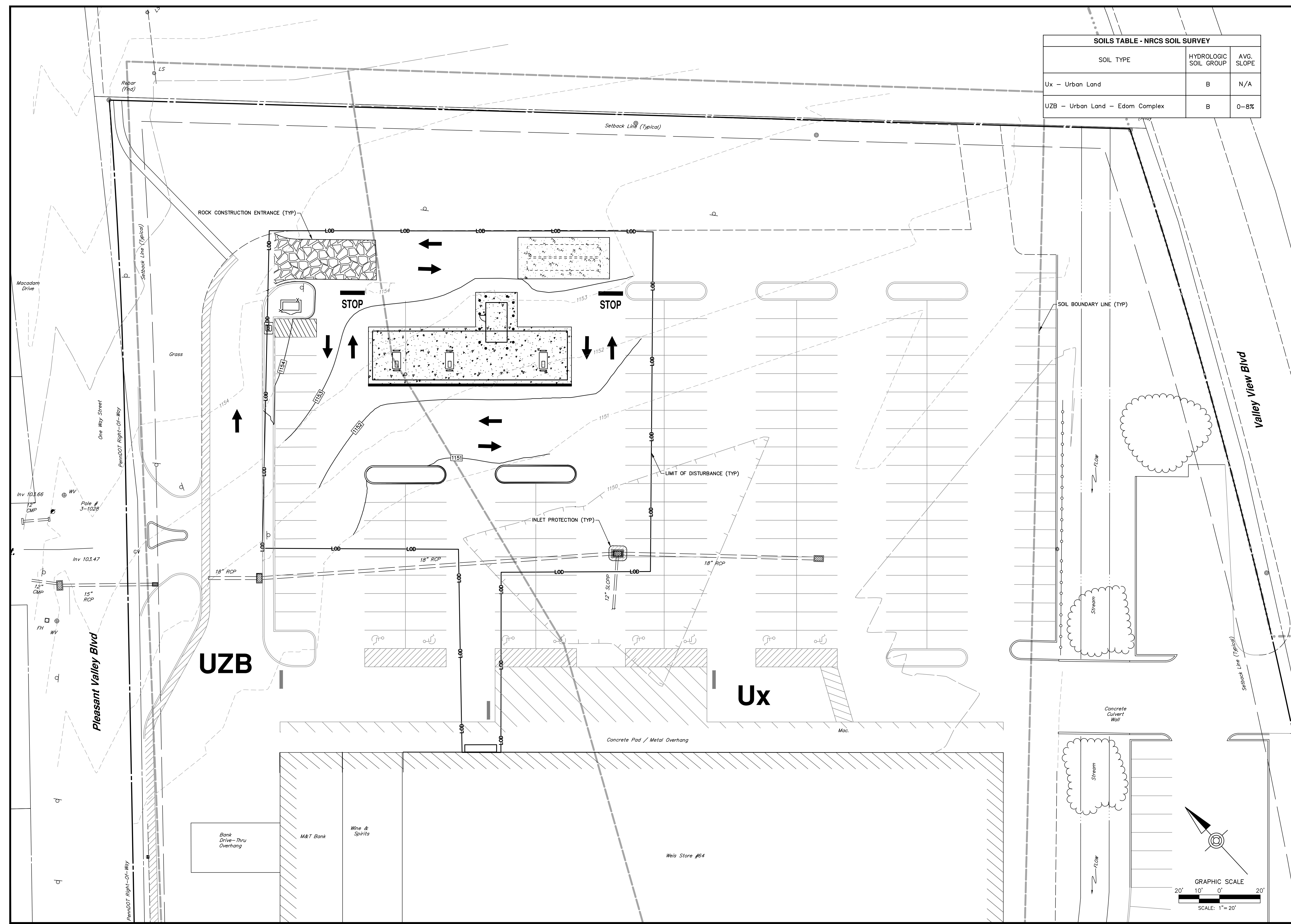
SOILS TABLE - NRCS SOIL SURVEY		
SOIL TYPE	HYDROLOGIC SOIL GROUP	AVG. SLOPE
Ux - Urban Land	B	N/A
UZB - Urban Land - Edom Complex	B	0-8%

**FINAL LAND DEVELOPMENT PLAN**  
 FOR  
**WEIS MARKETS #64 - GAS-N-GO**  
 WEIS MARKETS, INC.  
 1000 SOUTH SECOND STREET  
 SUNBURY, PA 17801  
 CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

PROFESSIONAL SEAL:  
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SHEET TITLE:  
**EROSION & SEDIMENT CONTROL PLAN**  
 SHEET: **ESC-1** **09**



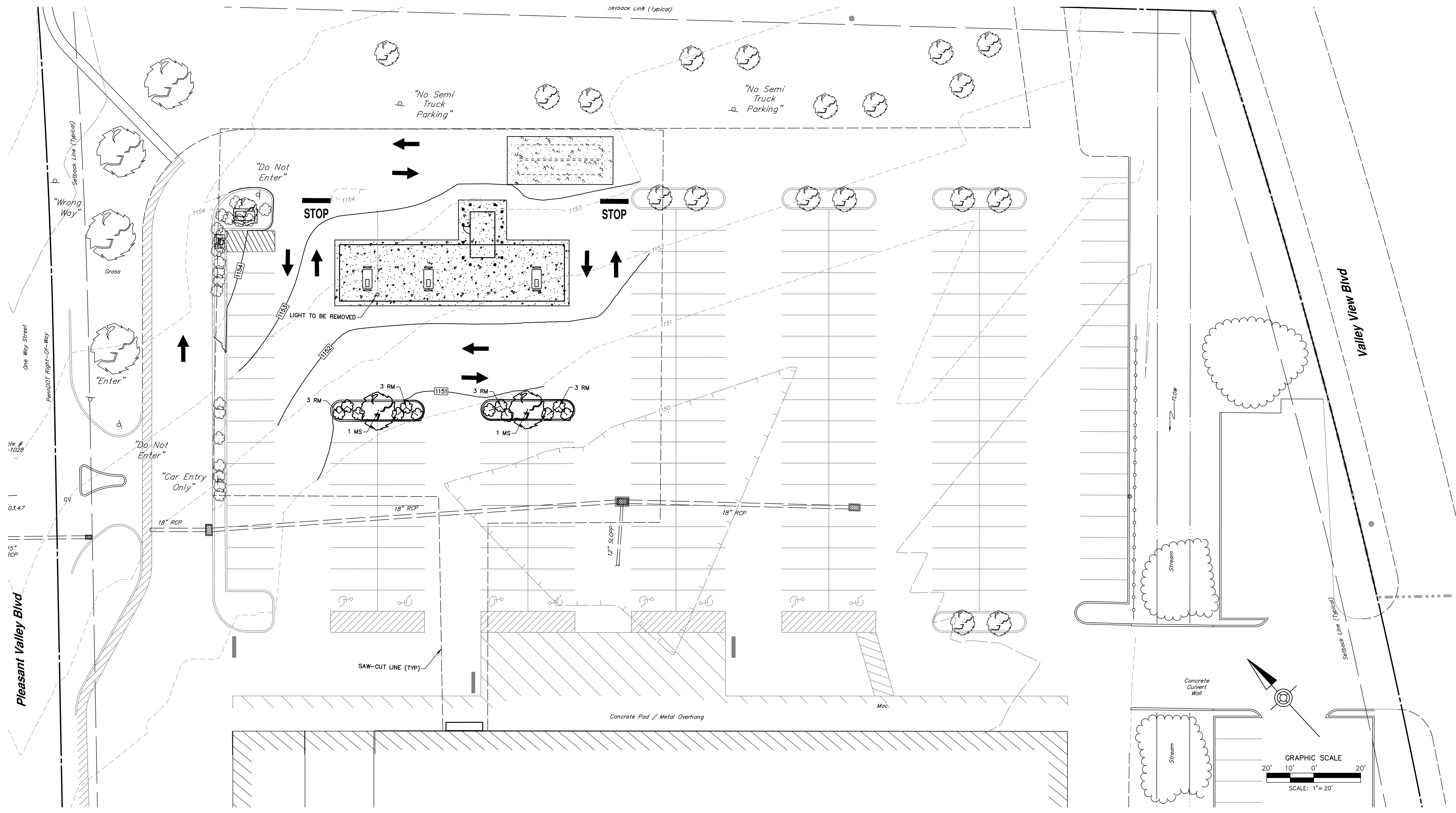


PROFESSIONAL SEAL:

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**SHEET TITLE:**  
**LIGHTING & LANDSCAPE PLAN**



- LIGHTING NOTES:**
- ONE EXISTING LIGHT POLE WILL BE REMOVED TO ACCOMMODATE THE PROPOSED GAS-N-GO. IT WILL NOT BE REPLACED.
  - THE GAS-N-GO CANOPY WILL INCLUDE LED UNDERLIGHTING WITH FULL CUT-OFF FIXTURES.
  - CONTRIBUTING LIGHT LEVELS FROM THE PROPOSED GAS-N-GO WILL NOT EXTEND BEYOND THE LIMITS OF THE EXISTING PARKING AREA AND WILL NOT CONTRIBUTE TO LIGHT LEVELS ALONG THE PROPERTY LINES.

- LANDSCAPE NOTES:**
- IF A SPECIFIED PLANT TYPE CANNOT BE OBTAINED DUE TO AVAILABILITY, ONLY ACCEPTABLE ALTERNATE PLANT TYPES MAY BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT, ENGINEER OR OWNER.
  - LANDSCAPE CONTRACTOR SHALL REFER TO PENN DOT PUBLICATION 408, SECTION 808.3 FOR ALLOWABLE TOLERANCES, PLANTING SEASONS AND INSTALLATION OF ALL PROPOSED PLANT MATERIAL.
  - TREES SHALL HAVE TEMPORARY LABELS ATTACHED SO INSPECTORS CAN DETERMINE COMPLIANCE WITH THE APPROVED PLAN.
  - ALL LANDSCAPING AND IMPROVEMENTS THAT ARE SPECIFICALLY REQUIRED BY SECTION 640-65.H SHALL BE MAINTAINED AND MUST BE REPLACED IF THE REQUIRED VEGETATION IS DAMAGED, DISEASED, CUT OR DIES.

**PLANTING SCHEDULE**

ID	QTY.	BOTANICAL NAME	COMMON NAME	MATURE SIZE/GENERAL TYPE	PLANTING SIZE/CONDITIONS
MS	2	MALUS SPRING SNOW	SPRING SNOW CRABAPPLE	20'-25' HT./18'-20' SPR. FLOWERING ORNAMENTAL TREE	MINIMUM 2-1/2" CALIPER / B & B
RM	12	ROSA MEIVAHYN	KNOCKOUT ROSES	3'-4' HT./3'-4' SPR. ORNAMENTAL FLOWERING SHRUB	MINIMUM 3' HT.



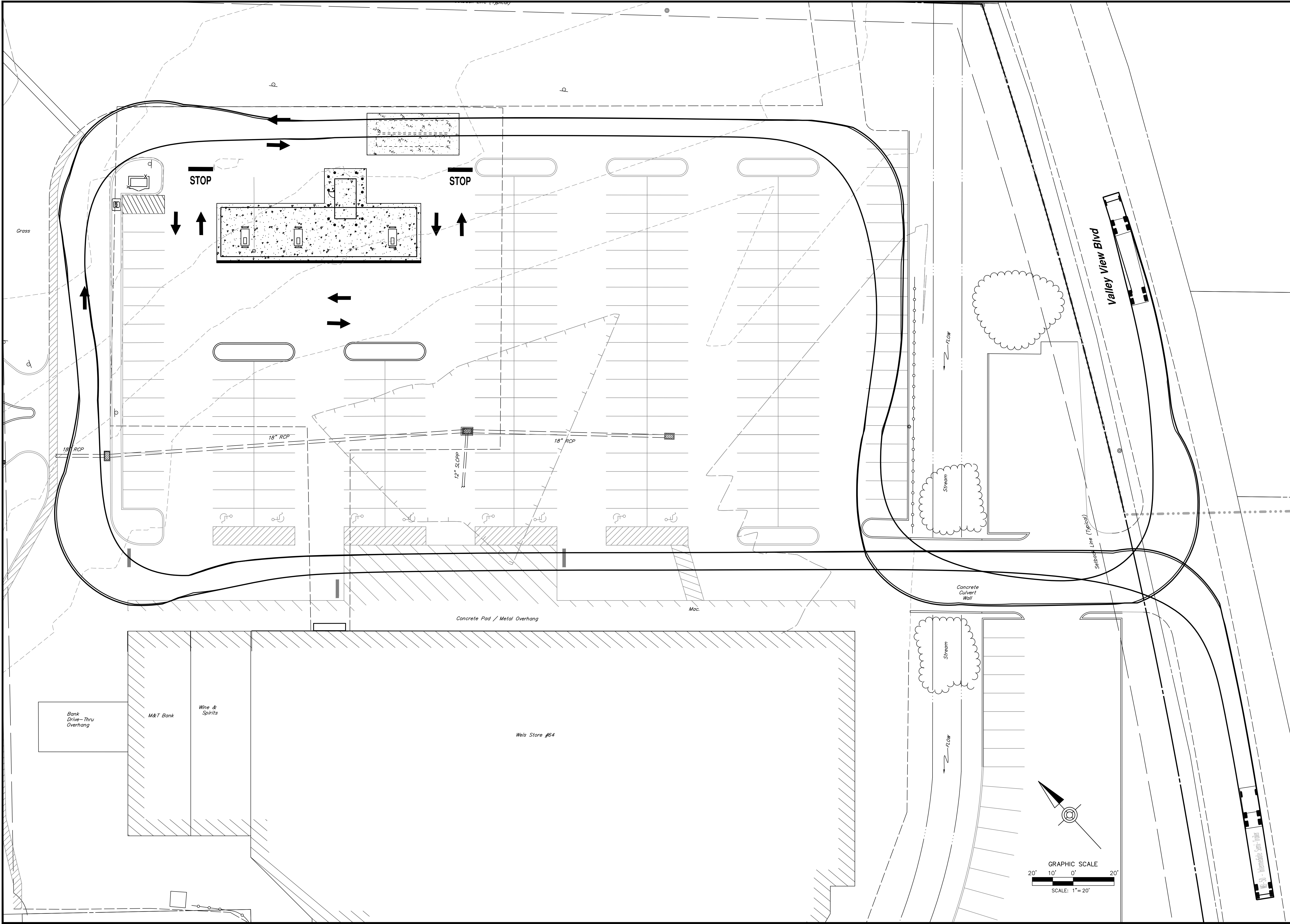
**FINAL LAND DEVELOPMENT PLAN**  
 FOR  
**WEIS MARKETS #64 - GAS-N-GO**  
 WEIS MARKETS, INC.  
 1000 SOUTH SECOND STREET  
 SUNBURY, PA 17801  
 CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

PROFESSIONAL SEAL:

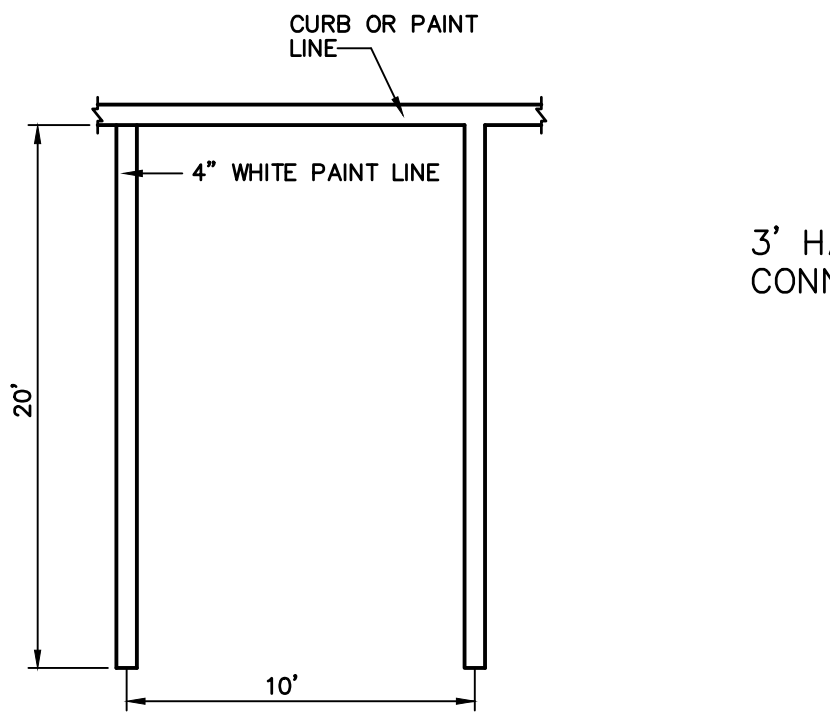
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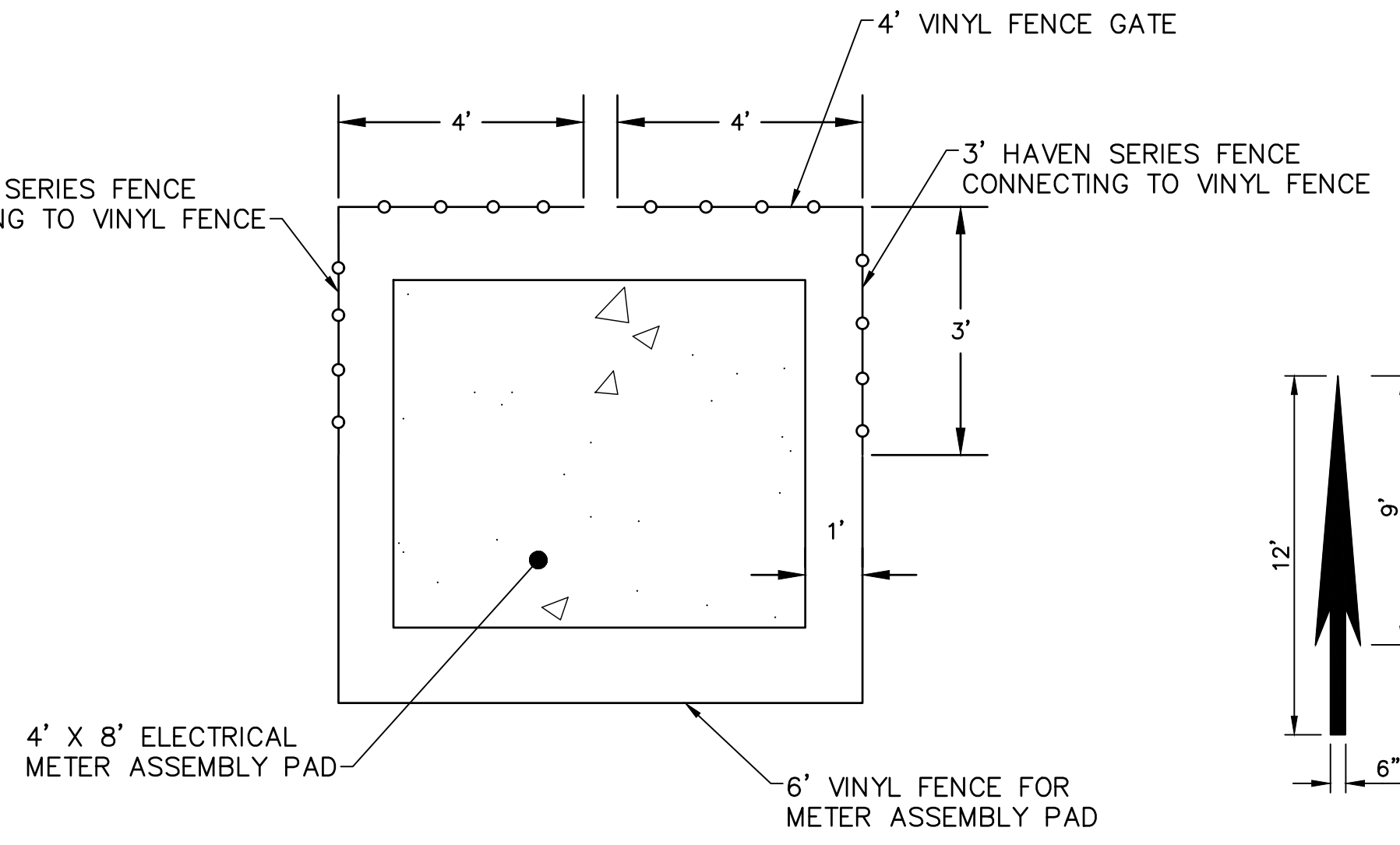
**SHEET TITLE:**  
**TRUCK TURNING EXHIBIT**



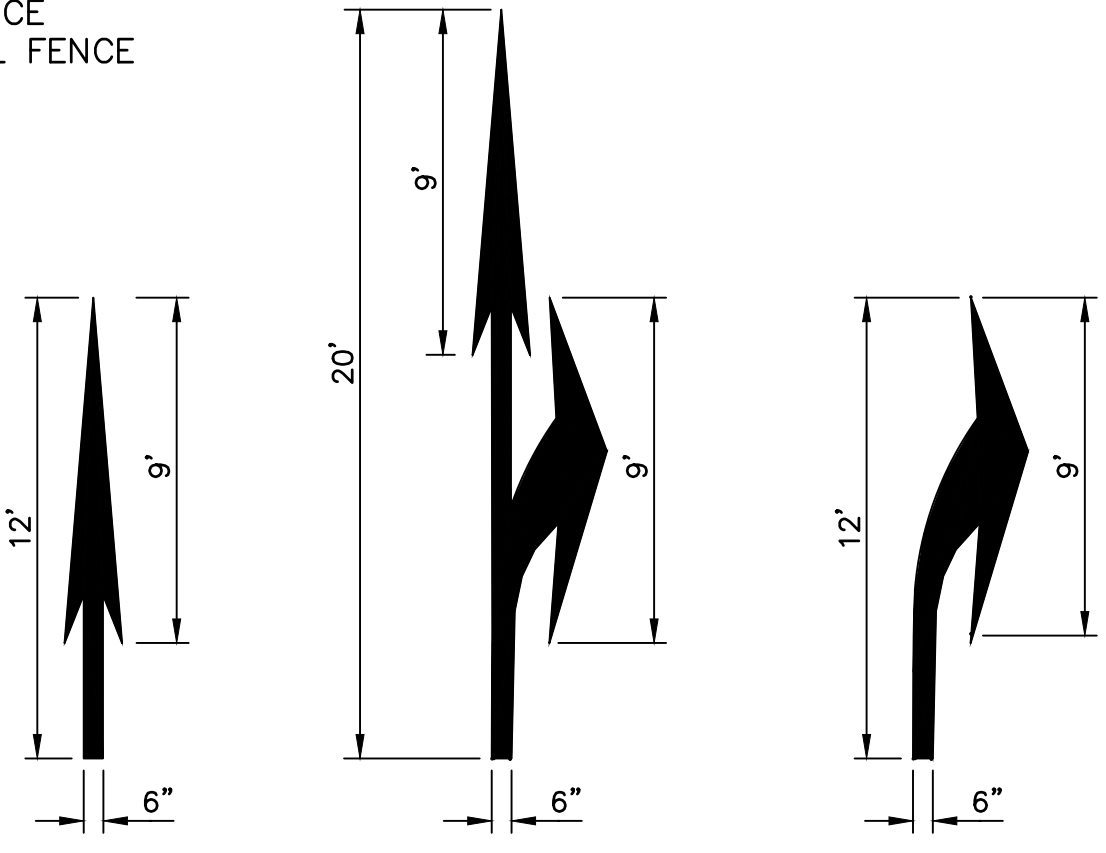




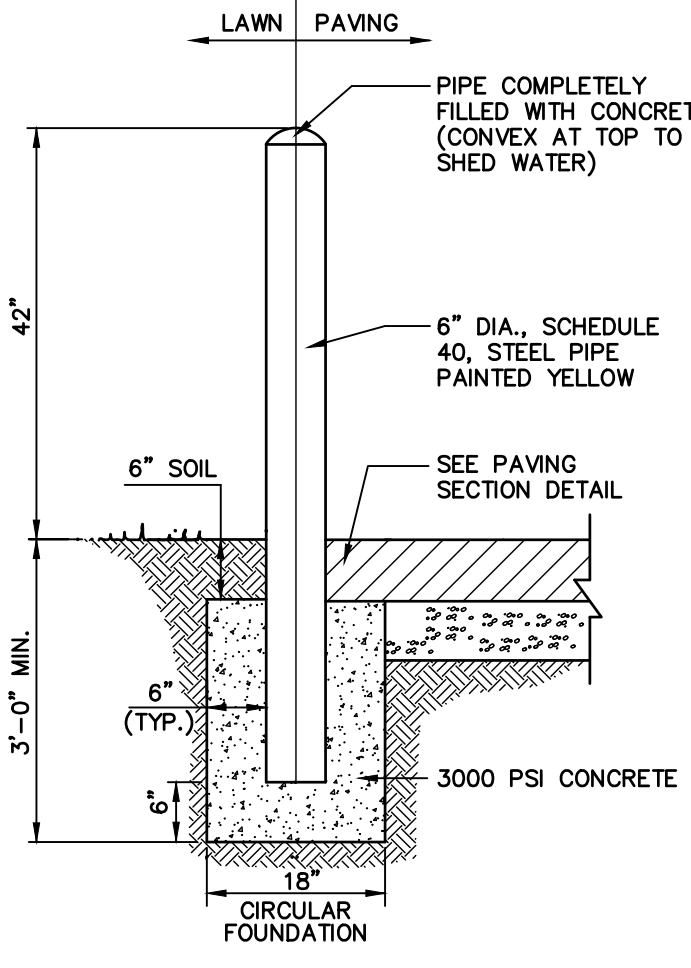
- REGULAR PARKING SPACE DETAIL**  
NOT TO SCALE
- NOTES:  
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATION.  
2. APPLY TWO COATS OF PAINT ON ALL SURFACES.  
3. FOR CURB APPLICATIONS, STALL DIMENSIONS SHALL BE MEASURED FROM FACE OF CURB. FOR PAINT APPLICATIONS, STALL DIMENSIONS SHALL BE MEASURED FROM THE CENTERLINE OF THE PAINT LINE.  
4. PAINT MUST BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE PAVENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY NOT LESS THAN 2 SEPARATE COATS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED RATES TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS.  
5. PAVENT-MARKING PAINT MUST BE ALKYD-RESIN TYPE (MPI #32), LEAD AND CHROMATE FREE, READY MIXED, COMPLYING WITH AASHTO M 248 TYPE N; COLORS COMPLYING WITH FS TT-P-1952.1.  
6. BEFORE APPLYING PAVENT MARKING PAINT PAVENT MUST BE AGED FOR A MINIMUM OF 30 DAYS. SURFACE MUST BE CLEAN, DRY AND AT A MINIMUM AMBIENT OR SURFACE TEMPERATURE OF 55 DEG F AND MAXIMUM RELATIVE HUMIDITY OF 85%.



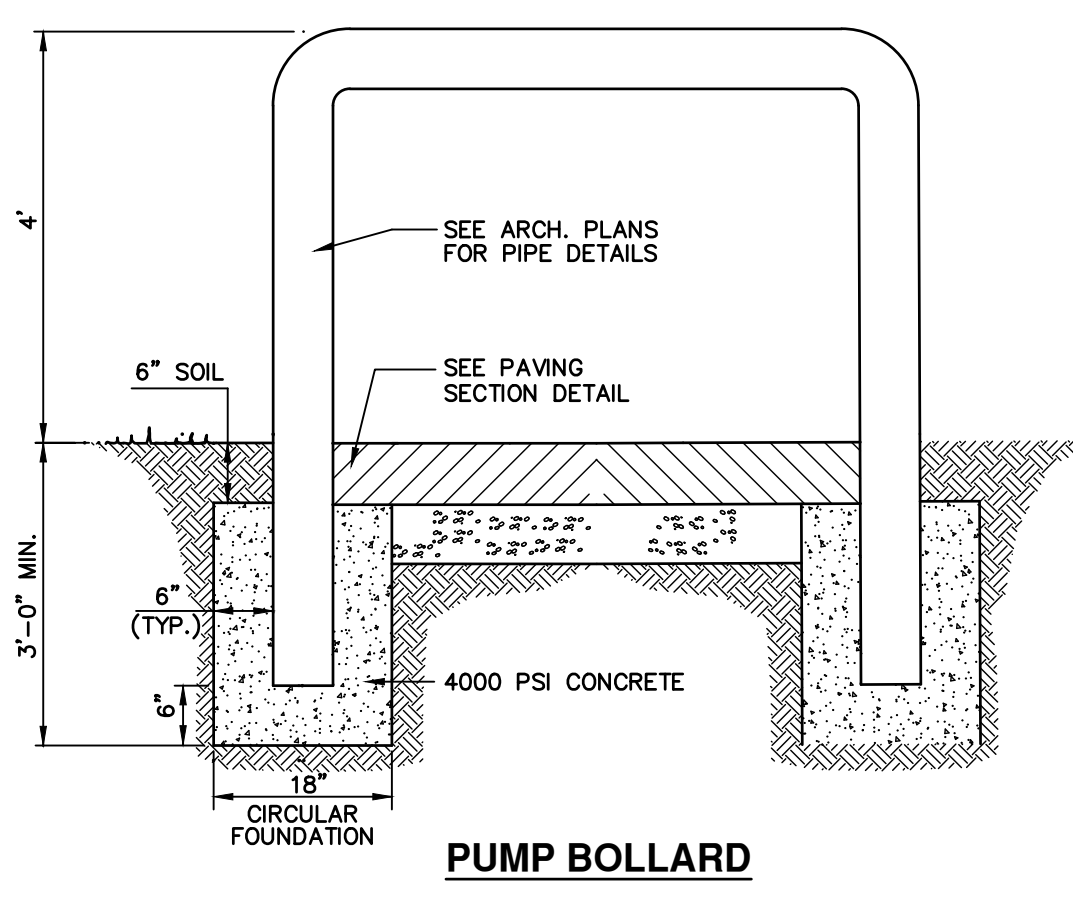
- METER PAD DETAIL**  
NOT TO SCALE
- NOTE:  
1. PROVIDE HEAVY DUTY MODERN WRAP HINGES AND HEAVY DUTY FLIP LATCH WITH PAD LOCK.



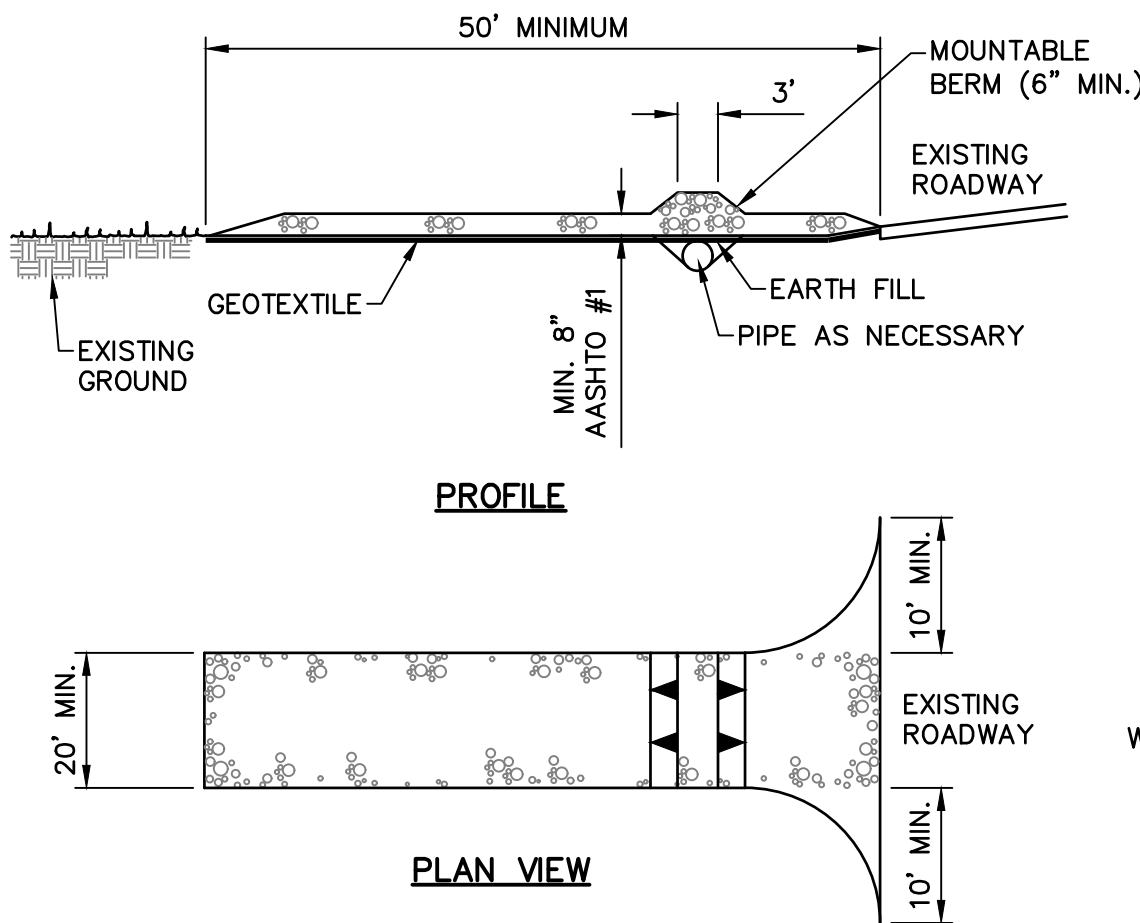
- ARROW DETAILS**  
NOT TO SCALE
- NOTE:  
1. ALL PAVENT MARKINGS SHALL BE COLD WHITE INLAID PLASTIC.



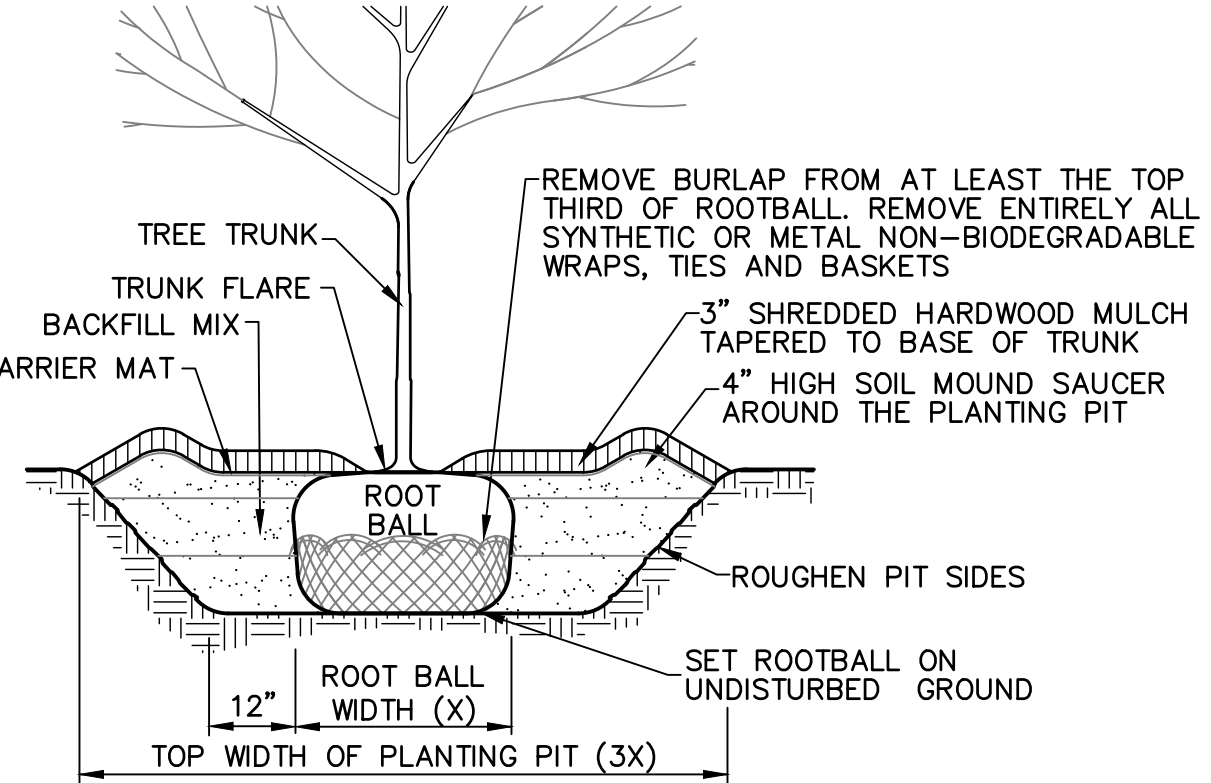
**STEEL BOLLARD**  
NOT TO SCALE



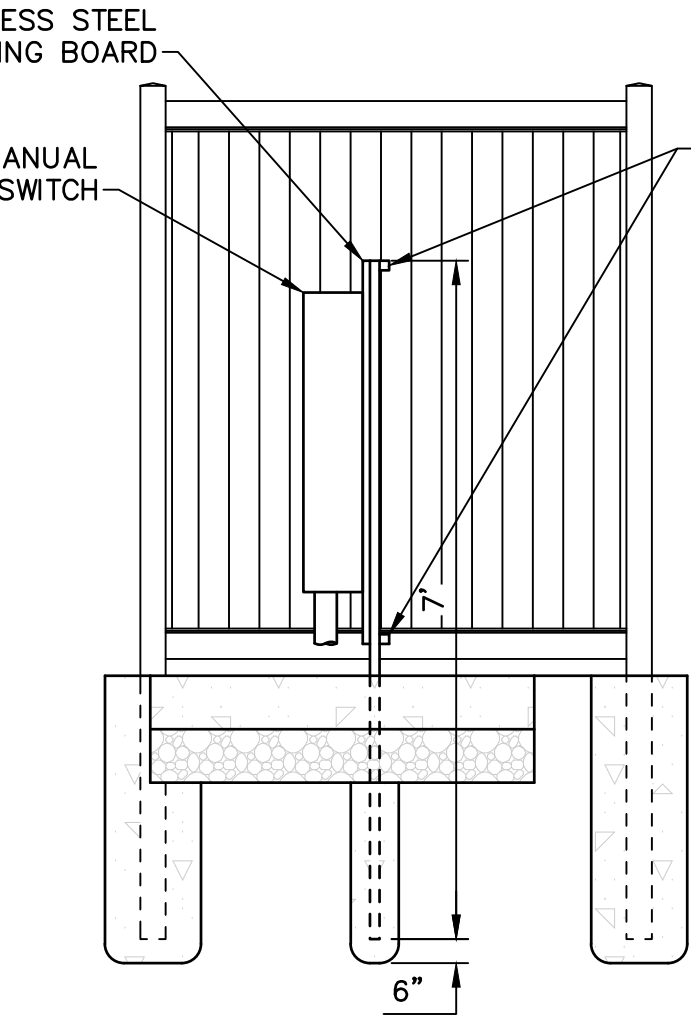
**PUMP BOLLARD**



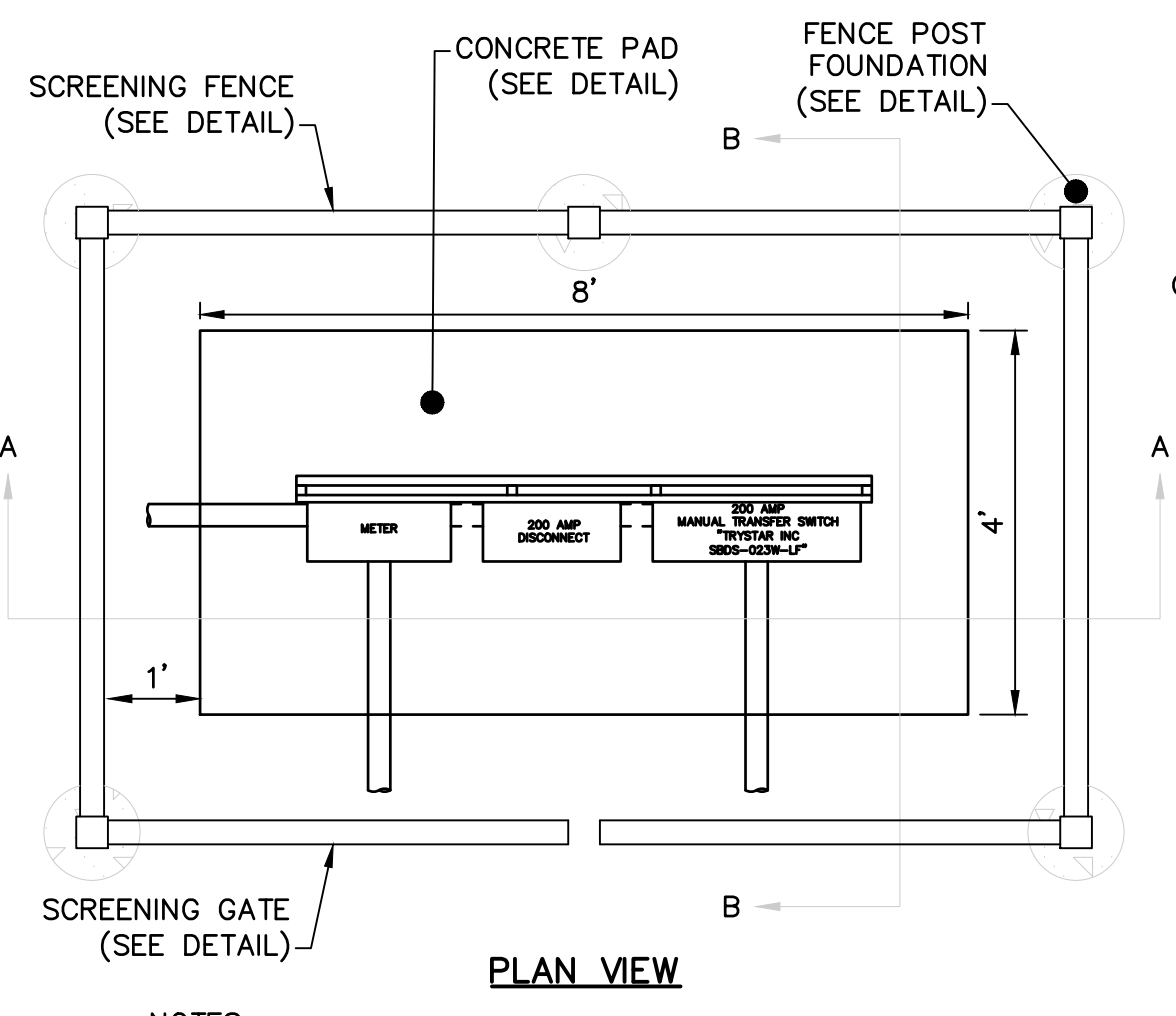
- STANDARD CONSTRUCTION DETAIL #3-1**  
**ROCK CONSTRUCTION ENTRANCE**  
NOT TO SCALE
- NOTES:  
1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.  
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.  
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY THE MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.  
4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50' INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL A WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



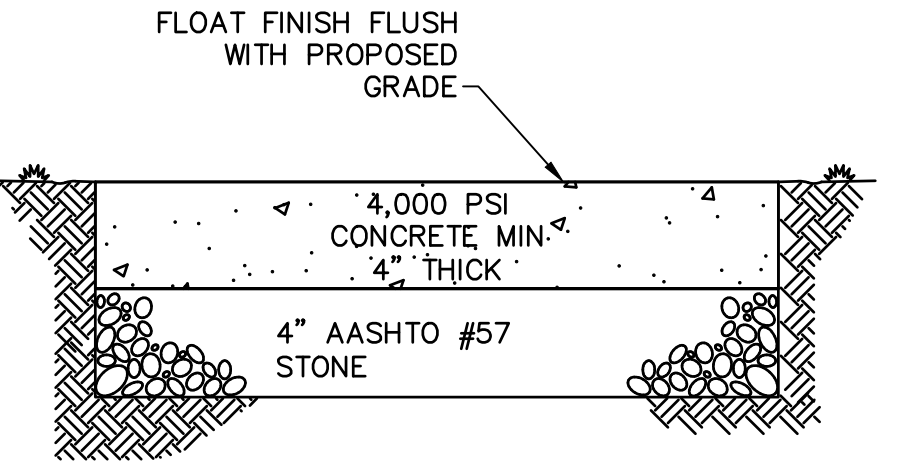
- TREE PLANTING DETAIL**  
NOT TO SCALE
- NOTES:  
1. TRUNK FLARE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO THE ORIGINAL NURSERY CONDITION. TOP OF ROOTBALL SHALL BE PLACED NO LOWER THAN PREVAILING FINISHED GRADE OF ADJACENT GROUND. TOP OF ROOTBALL MAY BE SET AS MUCH AS 2" HIGHER THAN ADJACENT GROUND IF POOR DRAINAGE CONDITIONS ARE OBSERVED.  
2. DO NOT DAMAGE OR CUT TRUNK LEADERS. TREES SHALL BE SELECTIVELY PRUNED AS NEEDED TO REMOVE DEAD OR INJURED BRANCHES.  
3. BACKFILL MIX SHALL BE 3:1 RATIO OF COMPOSTED ORGANIC MATERIAL AND NATIVE SOIL AMENDED IN ACCORDANCE WITH PENNDOT PUBLICATION 408. BACKFILL SHALL BE PLACED IN 9" LIFTS. WITH EACH LIFT, SOIL SHALL BE TAMPED AND WATERED TO REMOVE VOIDS.



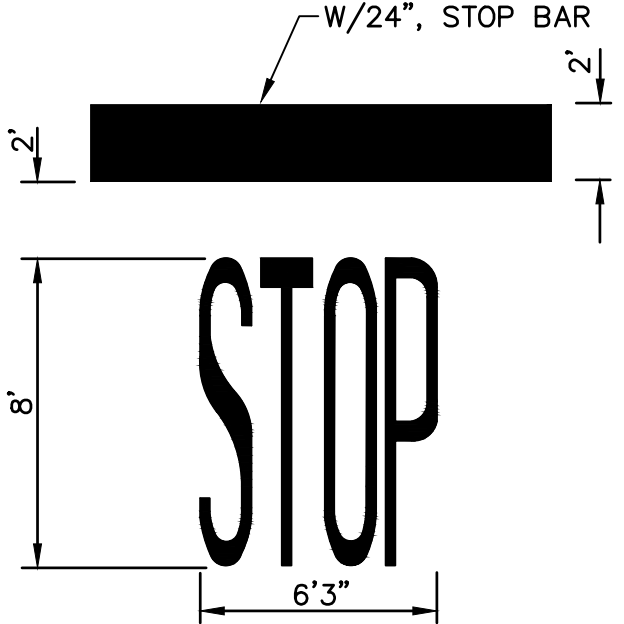
- HEAVY DUTY PAVEMENT SECTION**  
NOT TO SCALE
- NOTES:  
1. SUPERPAVE HMA WEARING COURSE, PG 64-22, 0.3 TO <3.0 MILLION ESALS, 9.5MM MIXTURE, 2.0" DEPTH, SR-L  
2. SUPERPAVE HMA BINDER COURSE, PG 64-22, 0.3 TO <3.0 MILLION ESALS, 19MM MIXTURE, 4.0" DEPTH  
3. 8" 2A MODIFIED STONE BASE (COMPACTED TO 100% MODIFIED PROCTOR)  
4. COMPACTED SUBGRADE (PER SPECS)



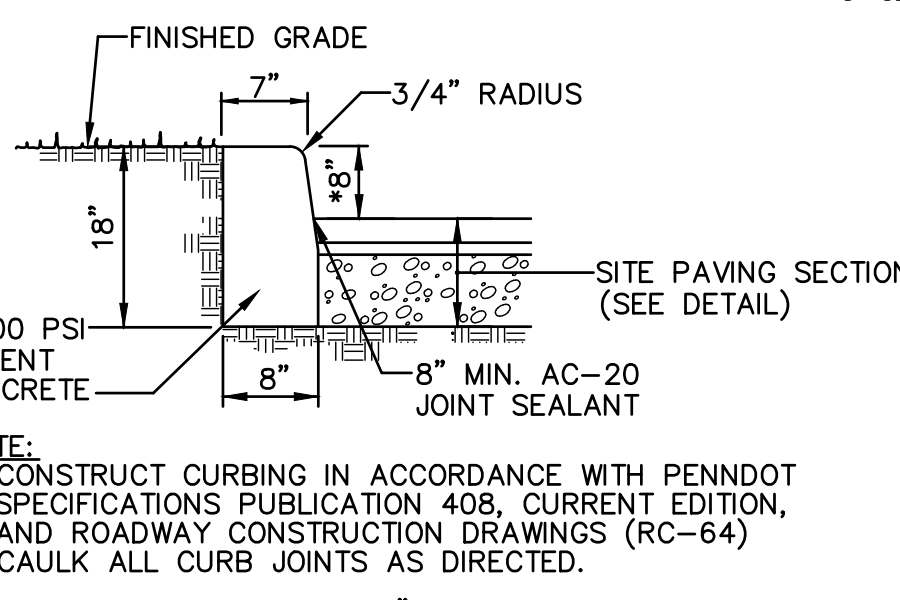
- METERING PEDESTAL LAYOUT**  
NOT TO SCALE
- NOTES:  
1. ELECTRICAL CONTRACTOR TO DETERMINE EXACT LOCATION OF ALL ELECTRICAL CONDUIT  
2. ALL CONCRETE SHALL BE 4000 PSI 28-DAY COMPRESSIVE STRENGTH



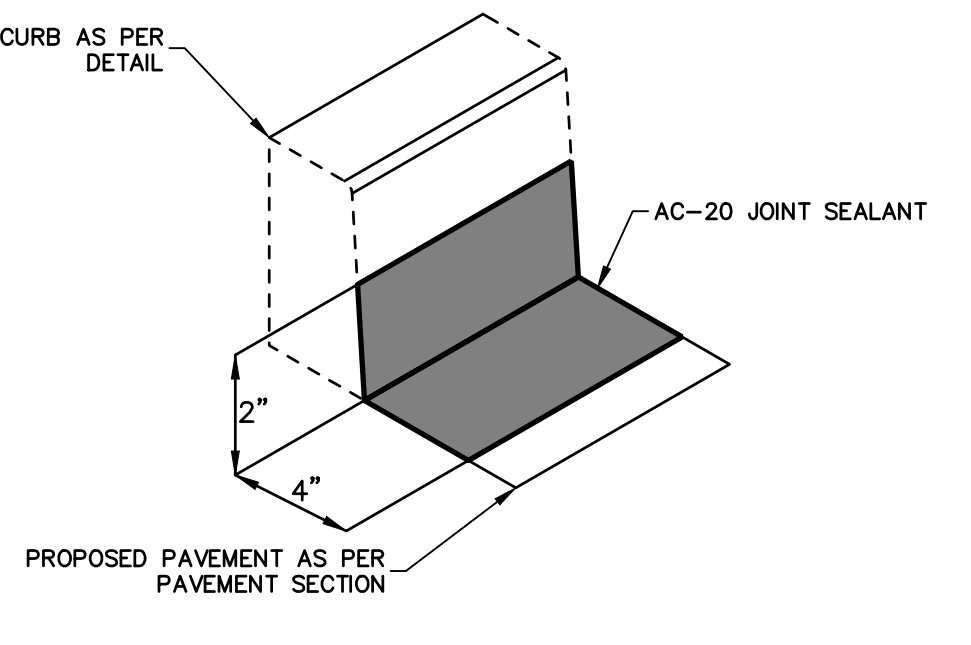
**GENERAL CONCRETE PAD**  
NOT TO SCALE



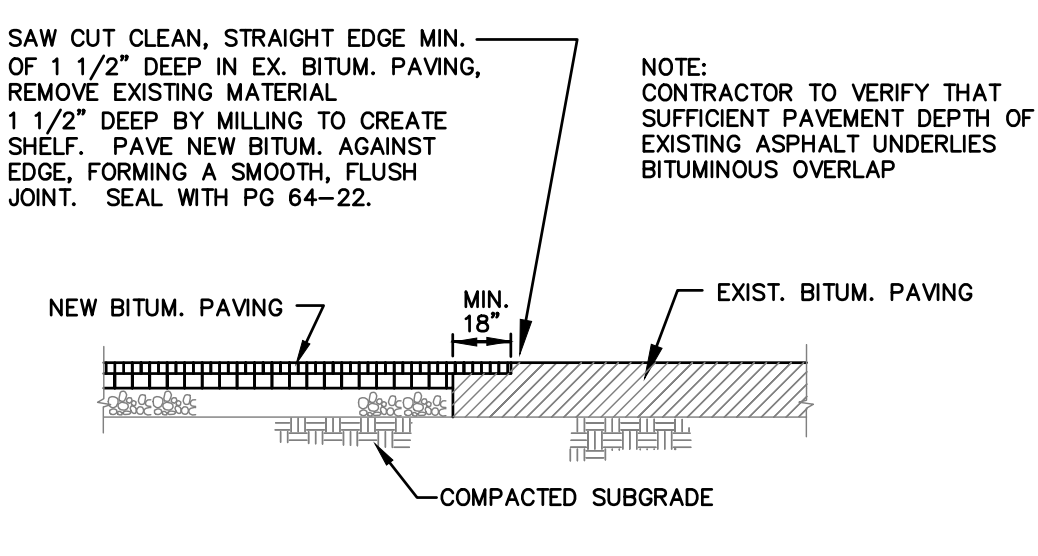
- STOP BAR/LEGEND**  
NOT TO SCALE
- NOTES:  
1. STOP BARS AND LEGENDS LOCATED WITHIN 60' OF BUILDING SHALL BE WHITE PAINT (2 COATS).  
2. ALL OTHER STOP BARS AND LEGENDS SHALL BE WHITE THERMOPLASTIC.



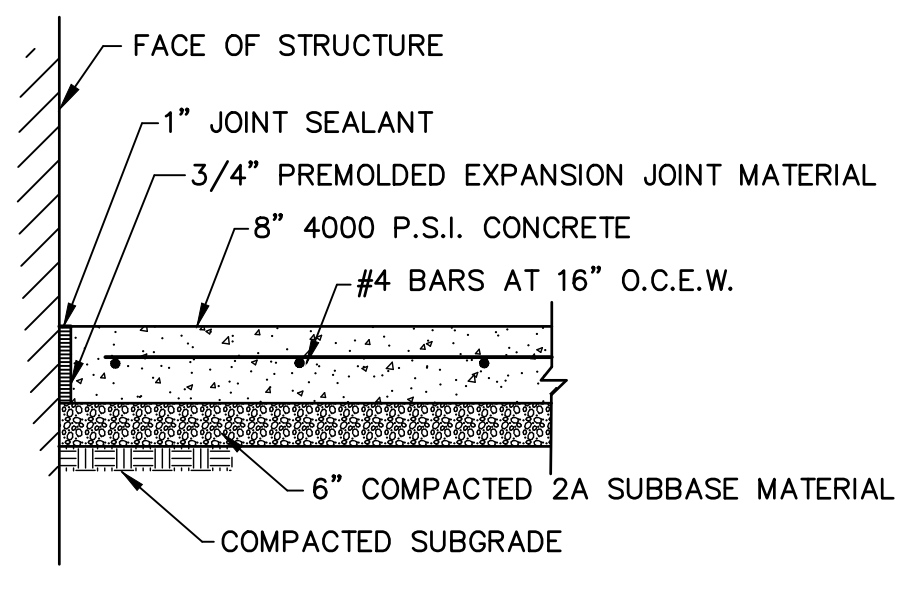
**SITE CONCRETE CURB DETAIL**  
NOT TO SCALE



**SITE CONCRETE CURB SEALING DETAIL**  
NOT TO SCALE



**NEW & EXISTING BITUMINOUS PAVING JOINT**  
NOT TO SCALE



**TYPICAL CONCRETE GAS-N-GO PAD DETAIL**  
NOT TO SCALE

PROFESSIONAL SEAL:

HRG PROJECT NUMBER: R001372.0559  
PLAN DATE: 2023.07.28  
DRAWING SCALE: NOT TO SCALE  
PROJ. MANAGER: WRS

NO.	DATE	DESCRIPTION
1	2023.08.31	REV AS PER CITY OF ALTOONA COMMENTS
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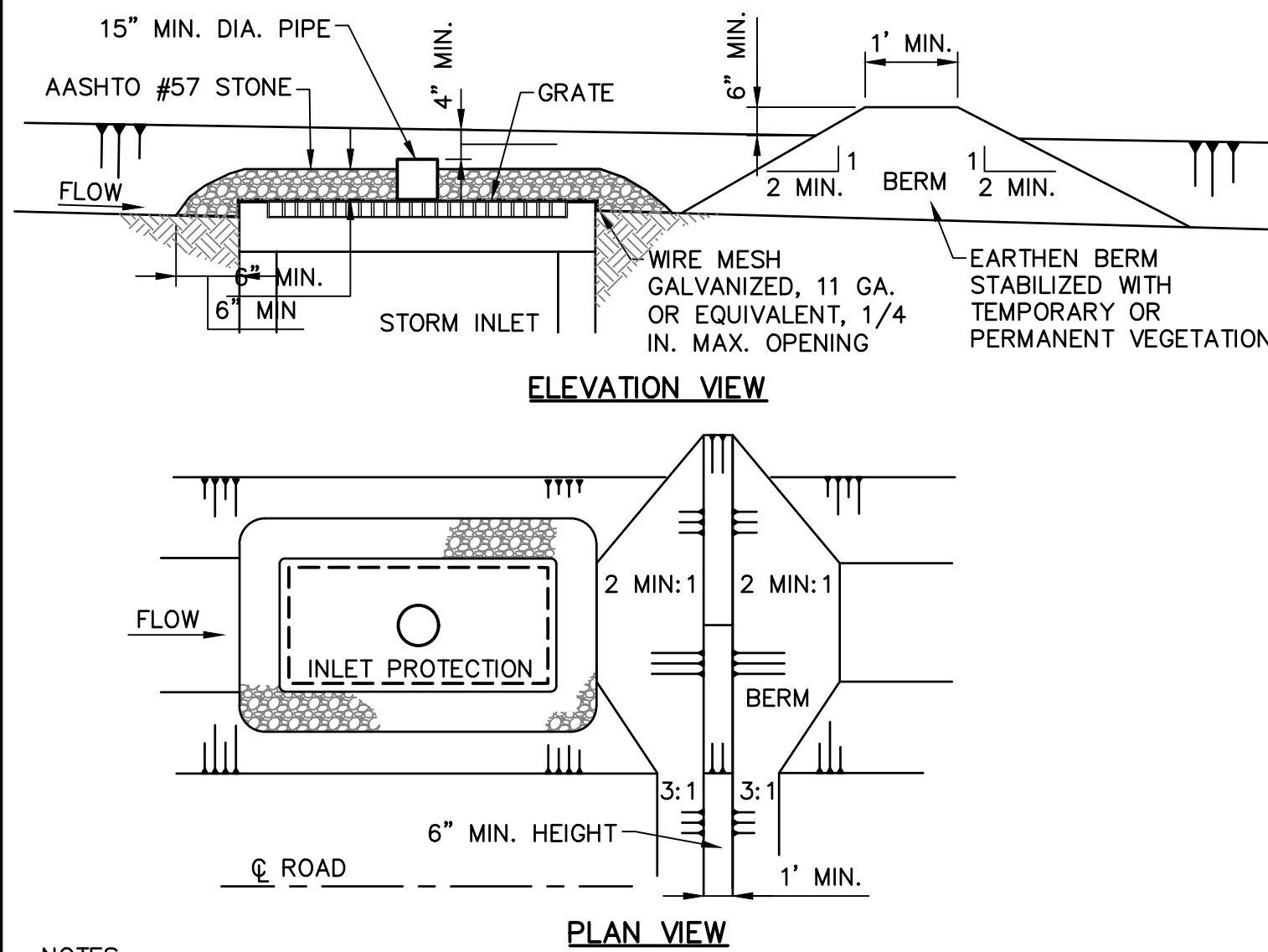
SHEET TITLE:  
**DETAILS SHEET**



**SEEDING SCHEDULE**

APPLICATION	SPECIES	%PURE LIVE SEED	APPLICATION RATE	FERTILIZER	LIMING RATE	SEEDING DATE
TEMPORARY (PENNDOT FORMULA E)	ANNUAL RYE	88.2%	10 LBS./1000 SY	5-5-5 AT 207 LBS./1000 SY	413 LBS./1000 SY	3/15 TO 10/15
PERMANENT (PENNDOT FORMULA B)	PERENNIAL RYEGRASS MIX (LOLIUM PERENNE)*	88.2%	4 LBS./1000 SY	SEE NOTE 1 BELOW	800LBS./1000 SY	3/15 TO 6/1 AND 9/1 TO 10/15
	KENTUCKY BLUE GRASS MIX (POA PRATENSIS)**	78.4%	11 LBS./1000 SY			
	CREEPING RED FESCUE OR CHEWING FESCUE	83.3%	6 LBS./1000 SY			
PERMANENT (PENNDOT FORMULA W)	TALL FESCUE FESCUE ARUNDINACEA VAR. KENTUCKY 31)	83.3%	7.5 LBS./1000 SY	SEE NOTE 1 BELOW	800LBS./1000 SY	4/1 TO 6/15 AND 9/1 TO 10/15
	BIRDSFOOT TREFOIL MIX (LOTUS CORNICULATUS)****	78.4%*****	2 LBS./1000 SY			
	REDFEATHER (AGROSTIS ALBA)	73.6%	1 LBS./1000 SY			

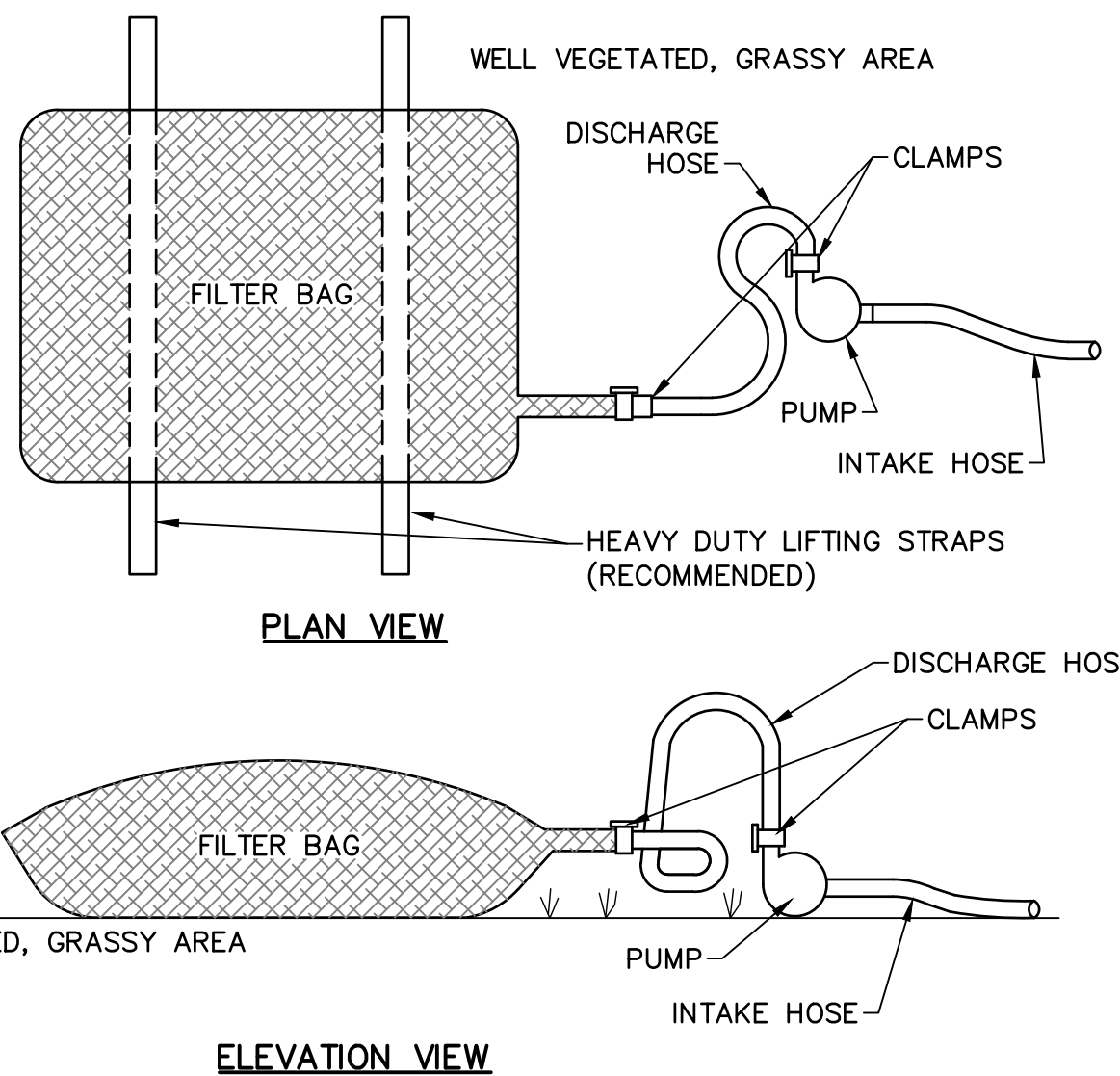
- FERTILIZER SHALL BE APPLIED IN ACCORDANCE WITH A SOIL TEST. IN THE ABSENCE OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AS FOLLOWS:
  - 10-20-20 ANALYSIS COMMERCIAL FERTILIZER AT 140 LBS./1000 S.Y. AND 38-0-0 UREA FORM FERTILIZER AT 50 LBS./1000 S.Y. OR
  - 32-0-0 TO 38-0-0 SULFUR COATED UREA FERTILIZER AT 59-50 LBS./1000 S.Y. OR
  - 31-0-0 IBDU FERTILIZER AT 61 LBS./1000 S.Y.
- SPECIFICATION ITEMS OBTAINED USING PENNDOT PUBLICATION NO. 408
- ALL SEEDING AREAS SHALL BE MULCHED WITH HAY OR STRAW APPLIED AT A RATE OF 6000 LBS./AC. (1240 LBS./1000 S.Y.), MULCH TO BE ANCHORED WITH WOOD CELLULOSE FIBER AT 750 LBS./AC. OR EQUAL.
- FORMULA W (CONSERVATION) MIX TO BE APPLIED AS INDICATED ON PLAN OR IF SITE CONDITIONS WARRANT. INOCULATE LEGUMES AS INDICATED IN PENNDOT PUBLICATION, 408, SECTION 804.
- ALL AREAS RECEIVING SEEDING SHALL HAVE A MINIMUM OF 6" OF ORGANIC TOPSOIL.
  - \* PERENNIAL RYEGRASS: A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 50% OF THE TOTAL RYEGRASS COMPONENT.
  - \*\* KENTUCKY BLUEGRASS: A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 25% OF THE TOTAL BLUEGRASS COMPONENT.
  - \*\*\* HARD FESCUE MIX: A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 50% OF THE TOTAL HARD FESCUE.
  - \*\*\*\* A MIXTURE OF 1/2 VIKING AND 1/2 OF EITHER EMPIRE, NORCEN OR LEO.
  - \*\*\*\*\* MINIMUM 20% HARDSEED AND 60% NORMAL SPROUTS.



**NOTES:**

- INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT A LOW POINT.
- ROLLED EARTHEN BERM IN ROADWAY SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.
- STONE INLET PROTECTION AND BERM FOR A TYPE M INLET CAN BE USED IN ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD. A PERFORATED PLATE WELDED TO A METAL RISER MAY NOT BE SUBSTITUTED FOR THE WIRE MESH. A SLOTTED PLATE WELDED TO THE RISER MAY BE USED IN CONJUNCTION WITH THE WIRE MESH IF CALCULATIONS ARE PROVIDED TO SHOW SUFFICIENT CAPACITY OF THE INLET TO ACCEPT THE PEAK RUNOFF FOR A 2-YEAR STORM EVENT FROM THE TRIBUTARY DRAINAGE AREA. TOP OF PIPE SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADWAY IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC. EARTHEN BERM SHALL BE ROLLED.
- SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY. FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 IN. THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

**STANDARD CONSTRUCTION DETAIL #4-20  
STONE INLET PROTECTION AND BERM - TYPE M INLET**



**NOTES:**

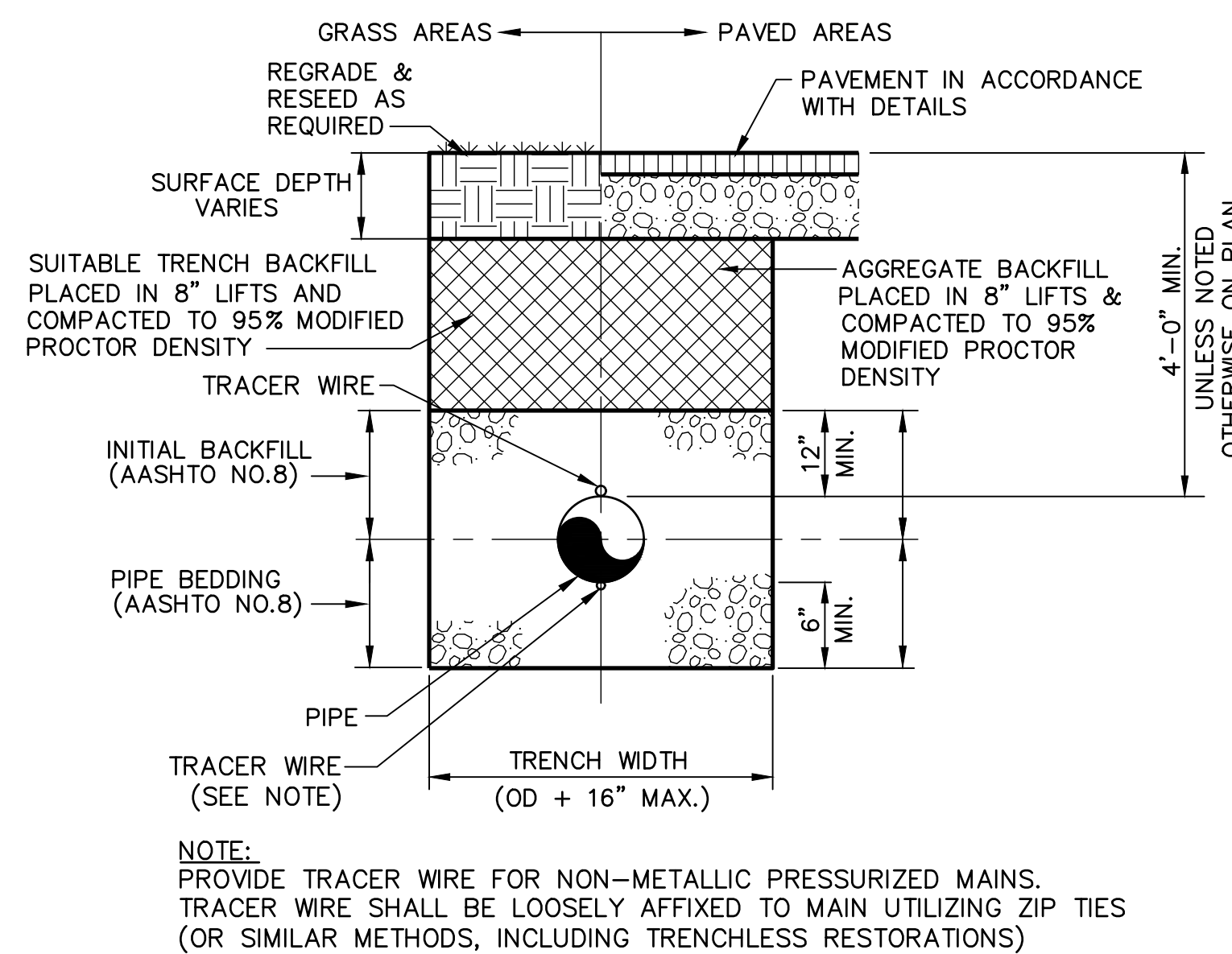
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

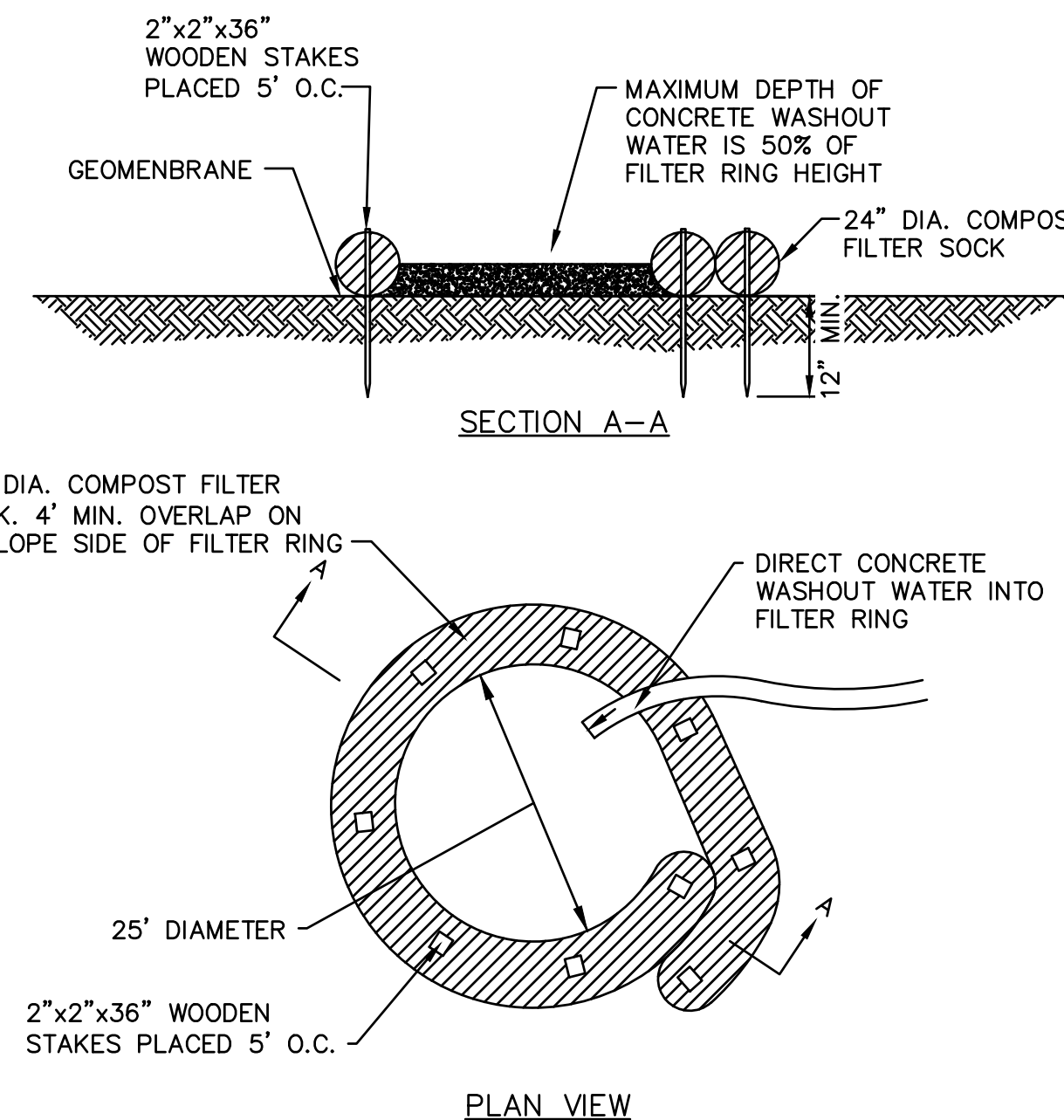
**STANDARD CONSTRUCTION DETAIL #3-13  
PUMPED WATER FILTER BAG**

NOT TO SCALE



**PIPE TRENCH DETAIL**

NOT TO SCALE

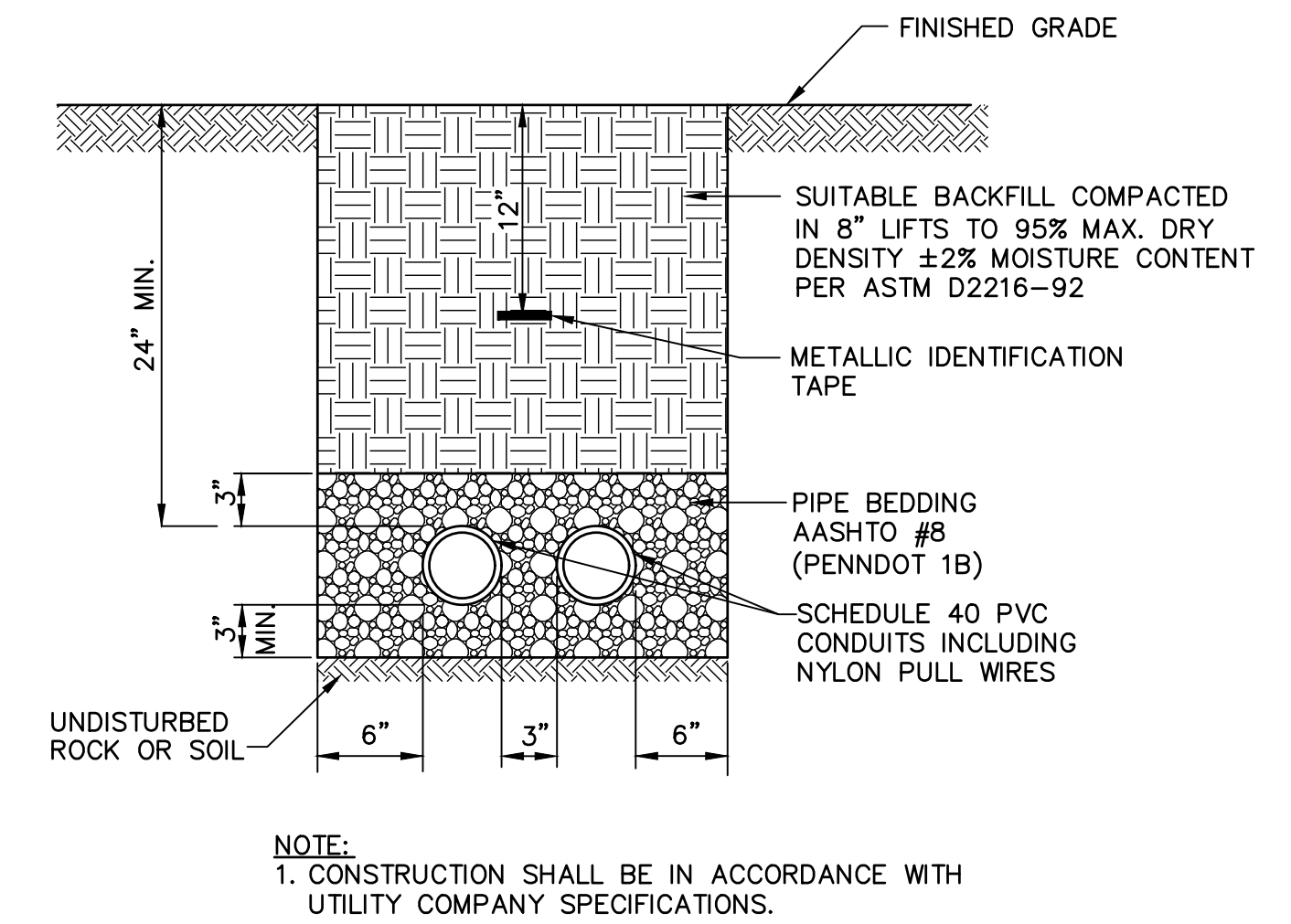


**NOTES:**

- PROVIDE PROPER SIGNAGE FOR CONCRETE DELIVERY VEHICLE DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
- WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50' OF STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS. UNDER NO CIRCUMSTANCES SHOULD WASH WATER BE ALLOWED TO ENTER ANY SURFACE WATERS.
- WHEREVER POSSIBLE, CONCRETE WASHOUTS SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.
- A SUITABLE IMPERVIOUS GEOMEMBRANE SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITHIN THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER. CARE MUST BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, 18" SOCKS MAY BE STAKED ONTO 24" SOCKS AND STAKED SO AS TO FORM A TRIANGULAR CROSS SECTION.

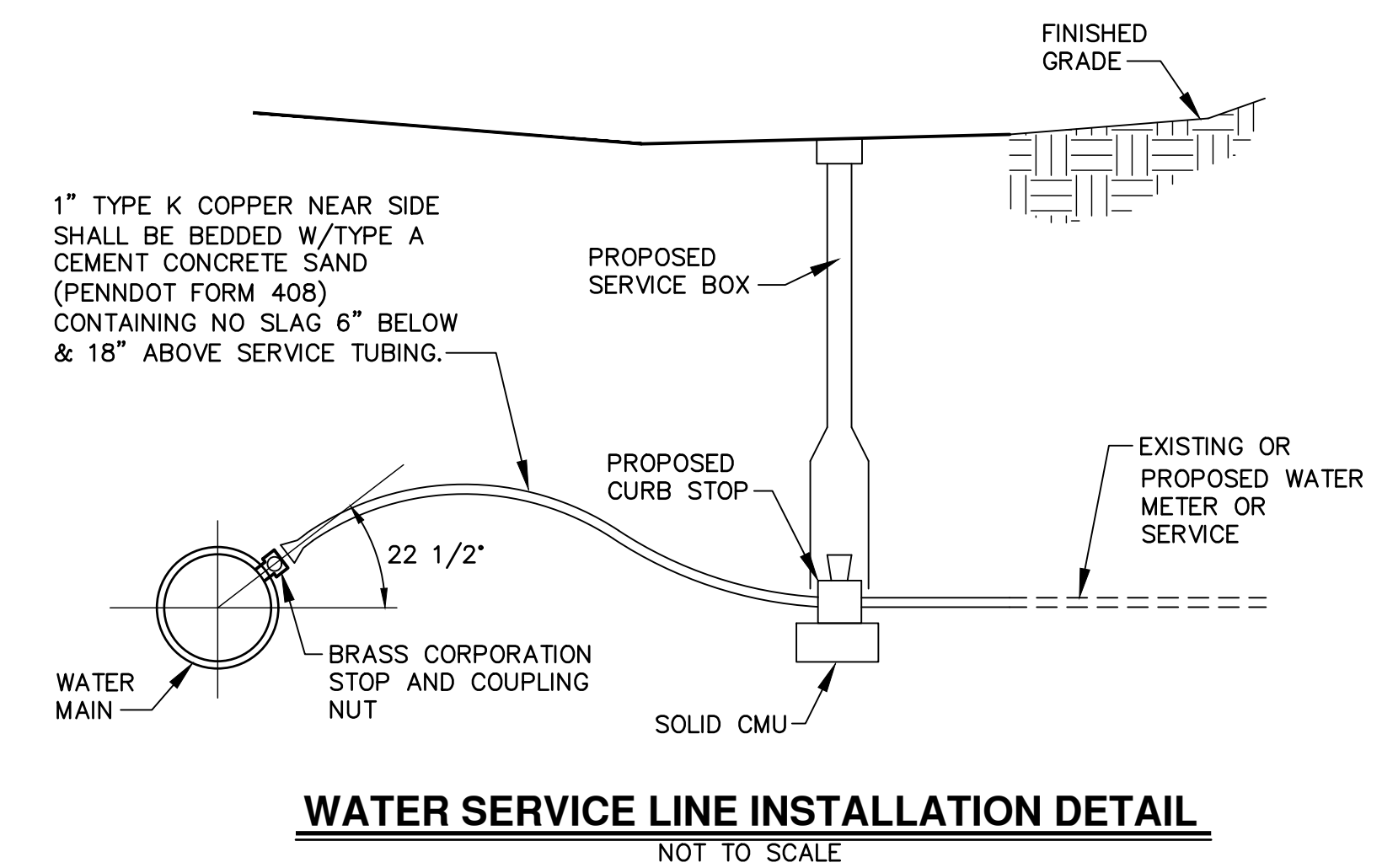
**TYPICAL COMPOST SOCK WASHOUT INSTALLATION**

NOT TO SCALE



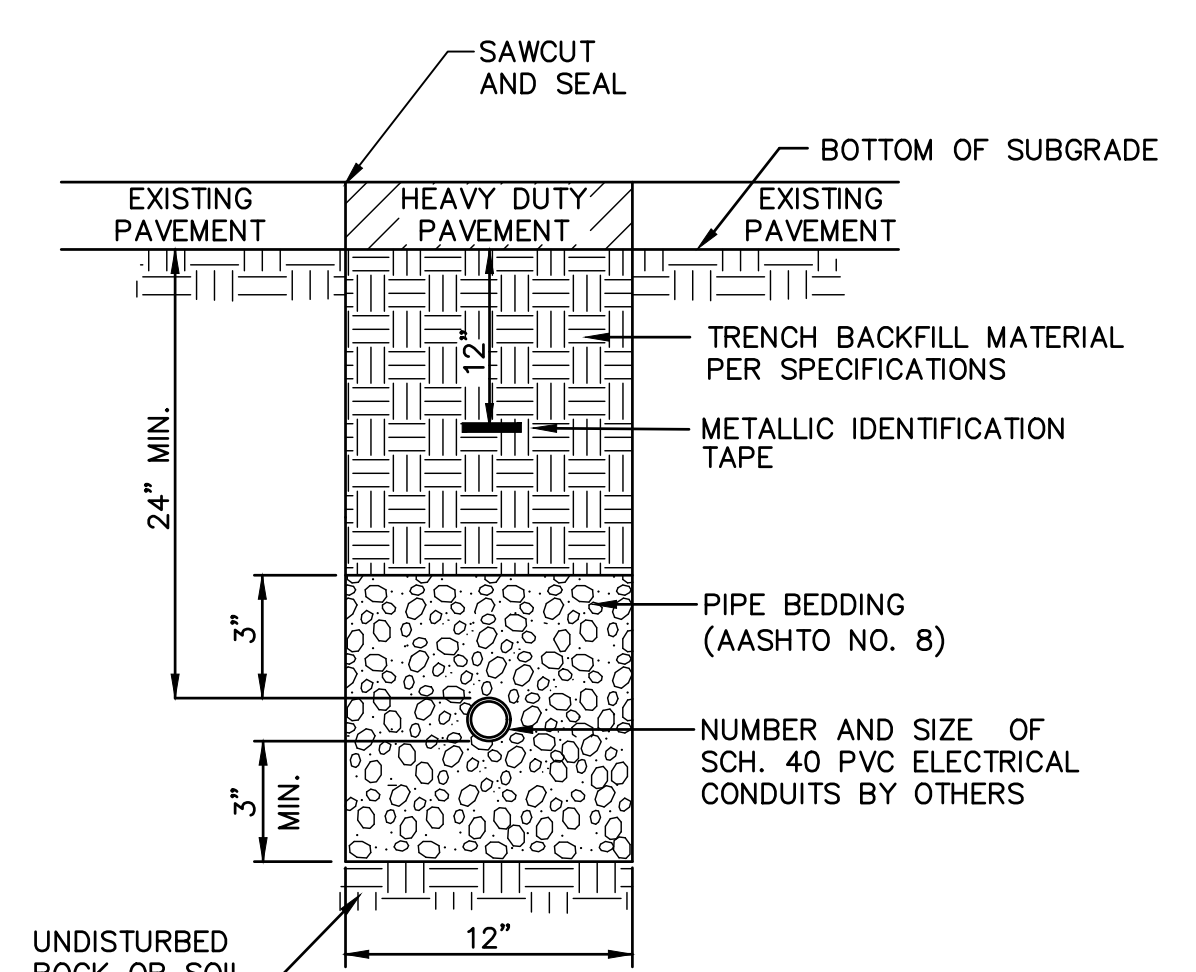
**TYPICAL SITE ELECTRICAL/TELECOMMUNICATIONS TRENCH DETAIL FOR SERVICE TO KIOSK**

NOT TO SCALE



**WATER SERVICE LINE INSTALLATION DETAIL**

NOT TO SCALE



**NOTE:**

- ALL TRENCHING, BEDDING, AND BACKFILLING BY THE SITE CONTRACTOR.
- ELECTRICAL CONDUIT AND CONDUCTORS SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.

**TYPICAL SITE ELECTRICAL TRENCH DETAIL IN EXISTING PAVEMENT**

NOT TO SCALE

PROFESSIONAL SEAL:

HRG PROJECT NUMBER: R001372.0559  
PLAN DATE: 2023.07.28  
DRAWING SCALE: NOT TO SCALE  
PROJ. MANAGER: WRS

NO.	DATE	DESCRIPTION
1	2023.08.31	REV AS PER CITY OF ALTOONA COMMENTS
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**DETAILS SHEET**



PROFESSIONAL SEAL:

HRG PROJECT NUMBER: R001372.0559  
PLAN DATE: 2023.07.28  
DRAWING SCALE: NOT TO SCALE  
PROJ. MANAGER: WRS

NO.	DATE	DESCRIPTION
1	2023.08.31	REV AS PER CITY OF ALTOONA COMMENTS
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SHEET TITLE:  
**DETAILS SHEET**

**Product: MHD-12**  
**Plan Notes**  
1. Series Number: TR12-12.502E.GB-G22E  
2. Grates:  
• Ductile iron per ASTM A536-84 Grade 80-55-06 (Uncoated)  
• Open Area: 0.81 FT<sup>2</sup> per Lineal Foot [0.25 M<sup>2</sup> per Lineal Meter]  
• Load Rating: 620 PSI (AASHTO M-306 Test Method)  
• Made in the USA  
3. Form Release: Non-Petroleum Based  
3. Concrete: Concrete Thickness and Reinforcement per Structural Engineer's Specification for the Application.

**ABT, Inc.**  
P.O. BOX 837, 259 MURDOCK ROAD  
TROUTMAN, NC 28165  
(704) 528-9606

**MHD 12 - 12" [305mm] ID TRENCH FORMER® SYSTEM with E-Coated Frame and Uncoated Grate (Hi-Intake)**  
SERIES: TR12-12.502E.GB-G22E REV: 01

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**TRENCH DRAIN DETAIL**

**FG-0001**

OPTIONAL FOSSIL ROCK™ ABSORBANT POUCHES.

RUBBER GASKET.

GRATE FRAME. (GRATE NOT SHOWN FOR CLARITY)

CONCRETE DROP INLET. (BY OTHERS)

PAVEMENT SURFACE. (BY OTHERS)

REFER TO SPECIFIER CHART FOR CATCH BASIN & FILTER SIZING. SEE SHEET 1 OF 2.

PAVEMENT SURFACE.

FOSSIL ROCK™ ABSORBANT POUCHES.

CONCRETE DROP INLET. (BY OTHERS)

OUTLET

**SECTION VIEW**

**FloGard®**  
Catch Basin Insert Filter  
Grated Inlet Style

**Oldcastle®**  
Stormwater Solutions  
7321 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastlestormwater.com

DRAWING NO: EGO-0142 DATE: JPR 7/13/16

**INLET FILTER WITH FOSSIL ROCK POUCH**

**FG-0001**

MODEL	INLET ID	GRATE OD	COMMENTS
FF-12D	12" X 12"	15" X 15"	GRATED INLET
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	26" X 26"	GRATED INLET
FF-2436SD	24" X 36"	24" X 40"	GRATED INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36D (2 PIECE)	36" X 36"	36" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET

GRATE. (BY OTHERS)

OPTIONAL FOSSIL ROCK ABSORBANT POUCHES FOUR EACH.

STAINLESS STEEL FILTER FRAME WITH RUBBER GASKET.

POLYPROPYLENE GEOTEXTILE FILTER ELEMENT.

STAINLESS STEEL SUPPORT HOOK, FOUR EACH.

CATCH BASIN. (BY OTHERS)

**NOTES:**

- Filter insert shall have a high flow bypass feature.
- Filter support frame shall be constructed from stainless steel Type 304.
- Filter medium shall be Fossil Rock™, installed and maintained in accordance with manufacturer specifications.
- Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.

**FloGard®**  
Catch Basin Insert Filter  
Grated Inlet Style

**Oldcastle®**  
Stormwater Solutions  
7321 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastlestormwater.com

DRAWING NO: EGO-0142 DATE: JPR 7/13/16

**STORMCEPTOR DESIGN NOTES**

THE STANDARD STC450I CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

**CONFIGURATION DESCRIPTION**

GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	
WATER QUALITY FLOW RATE (cfs [L/s])	
PEAK FLOW RATE (cfs [L/s])	
RETURN PERIOD OF PEAK FLOW (yrs)	
RIM ELEVATION	
PIPE DATA:	
INLET PIPE 1	
INLET PIPE 2	
OUTLET PIPE	

NOTES / SPECIAL REQUIREMENTS:

**FRAME AND COVER**  
(MAY VARY)  
NOT TO SCALE

**FRAME AND GRATE**  
(MAY VARY)  
NOT TO SCALE

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE: www.contechES.com
  - STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
  - STORMCEPTOR STRUCTURE SHALL MEET AASHTO H2010 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' (610) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M206 AND BE CAST WITH THE CONTECH LOGO.
  - STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
  - ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
www.contechES.com  
6025 Centre Pointe Dr., Suite 400, West Chester, OH 45399  
800-338-1122 513-645-7000 513-645-7993 FAX

STC450i  
STORMCEPTOR  
STANDARD DETAIL

**PLAN VIEW**  
TOP SLAB NOT SHOWN

CONTRACTOR TO GROUT TO FINISHED GRADE

GRADE RINGS/RISERS (NOT PROVIDED BY CONTECH)

STORMCEPTOR INSERT

REMOVABLE DROP TEE HANDLE

INLET PIPE, OPTIONAL (IF PIPE IS REQUIRED, INVERT IS 3" [76] HIGHER THAN OUTLET INVERT)

12" [305] REMOVABLE DROP TEE

SOLIDS STORAGE SUMP

4" [102] OIL INSPECTION PIPE (CAP OPTIONAL)

4" [102] O - OUTLET RISER

1.5" [38] MIN. WEIR

OUTLET PIPE

PERMANENT POOL ELEVATION

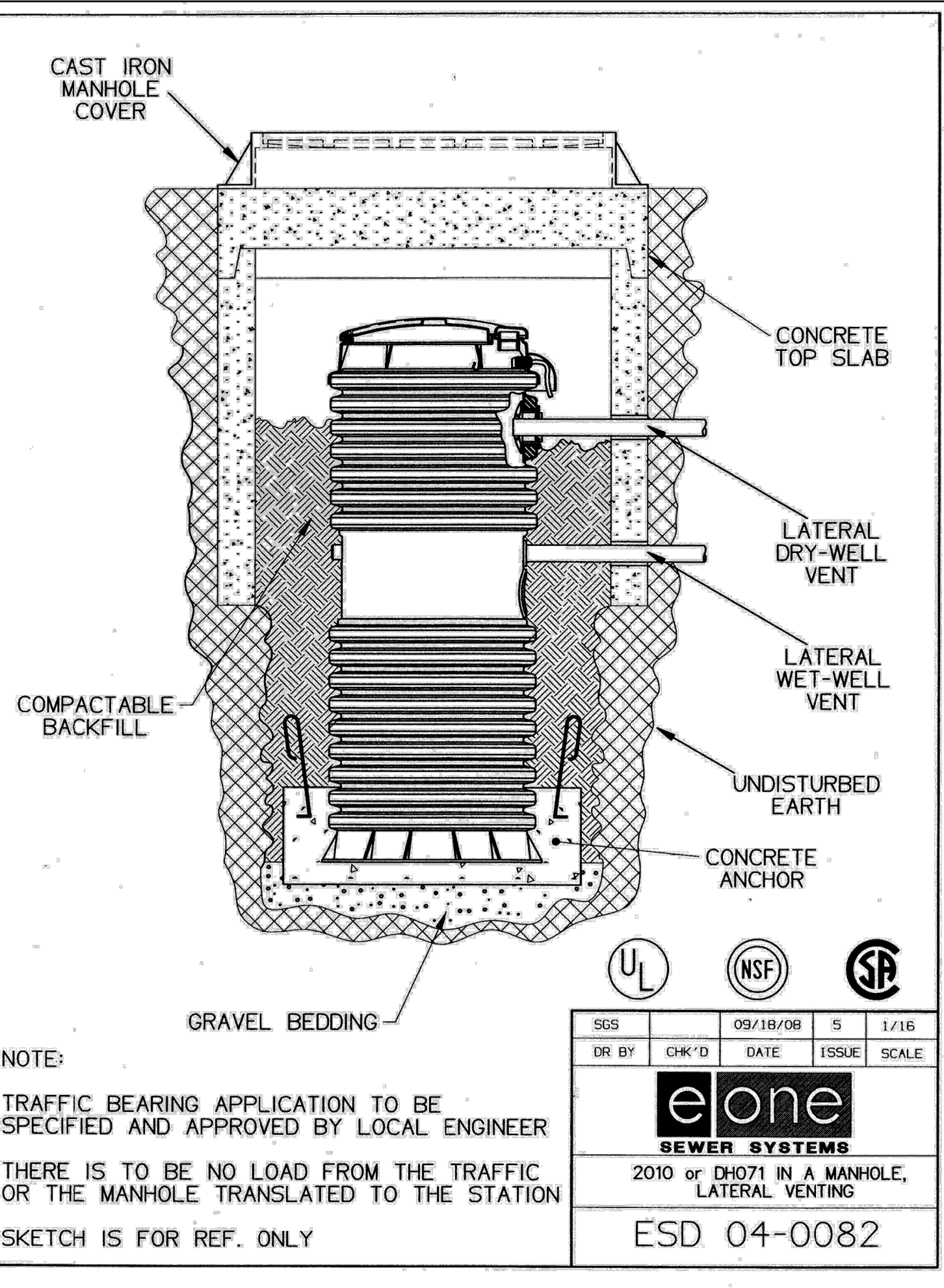
5'-0" [1524] MIN.

**SECTION A-A**

**Stormceptor®**  
CONTECH ENGINEERED SOLUTIONS LLC

I:\COMMON\CAD\TREATMENT\33 STORMCEPTOR\40 STANDARD DRAWINGS\IN PROCESS\STC450I.DWG, 2/10/2019 3:12 PM





**E/ONE EXTREME SERIES**

# DH071

**General Applications**  
 The size, efficiency and operating economy of the DH071 make it your best choice for single dwellings, waterfront property, subdivision developments and marinas. The DH071 is ideally suited for both new and existing communities.

**General Features**  
 The DH071 grinder pump station is a complete unit that includes: the grinder pump, check valve, HDPE (high density polyethylene) tank and controls. The DH071 is packaged into a single complete unit, ready for installation.

All solids are ground into fine particles, allowing them to pass easily through the pump, check valve and small diameter pipelines. Even objects not normally found in sewage, such as plastic, rubber, fiber, wood, etc., are ground into fine particles.

The 1 1/4-inch discharge connection is adaptable to any piping materials, thereby allowing us to meet your local code requirements.

The tank is made of tough corrosion-resistant HDPE. The optimum tank capacity of 70 gallons is based on computer studies of water usage patterns. A single DH071 is ideal for one, average single-family home and can also be used for up to two average single-family homes where codes allow and with consent of the factory. This model can accommodate flows of 700 GPD.

The internal check valve assembly, located in the grinder pump, is custom-designed for non-clog, trouble-free operation.

**Operational Information**  
**Motor**  
 1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

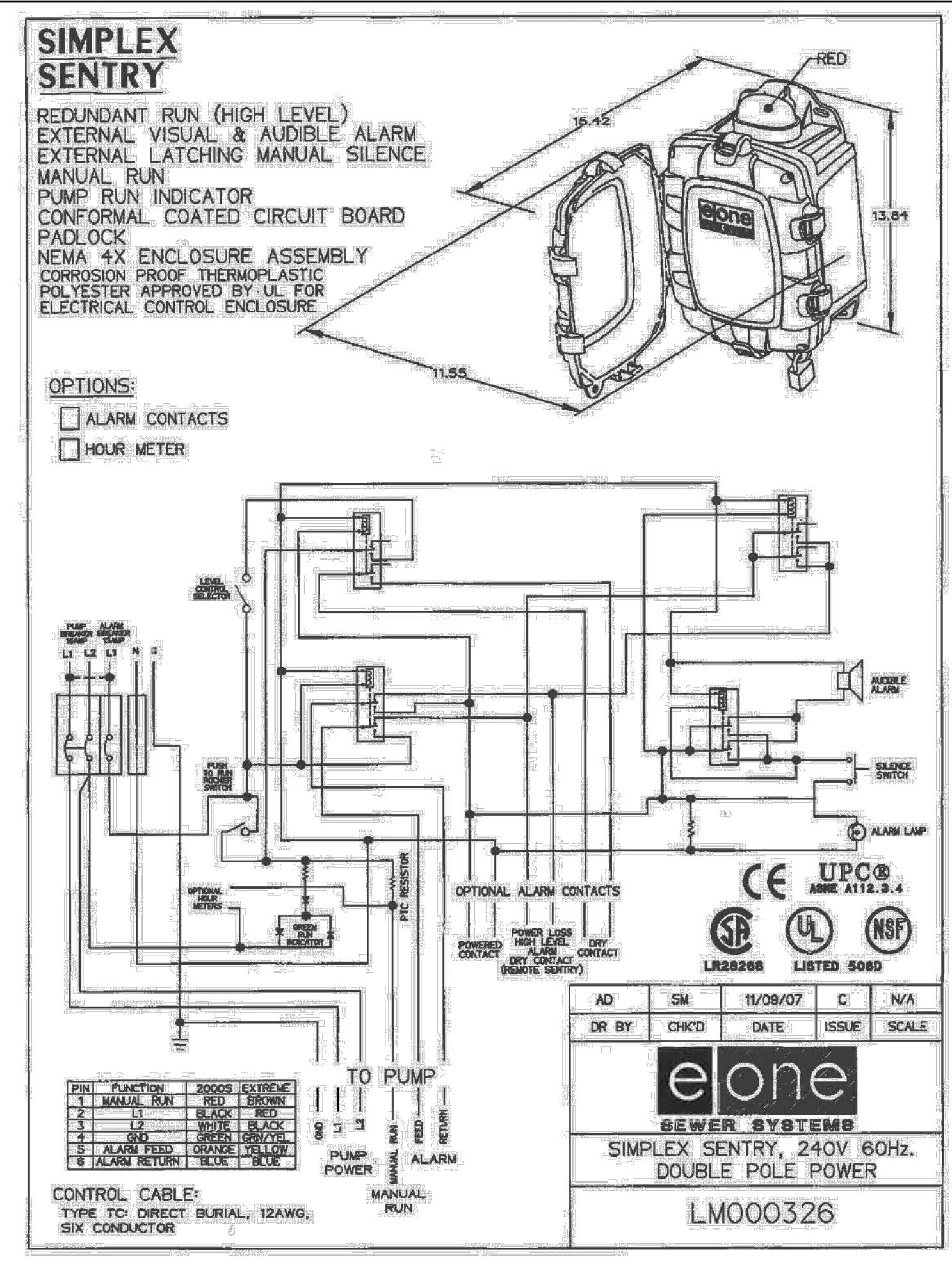
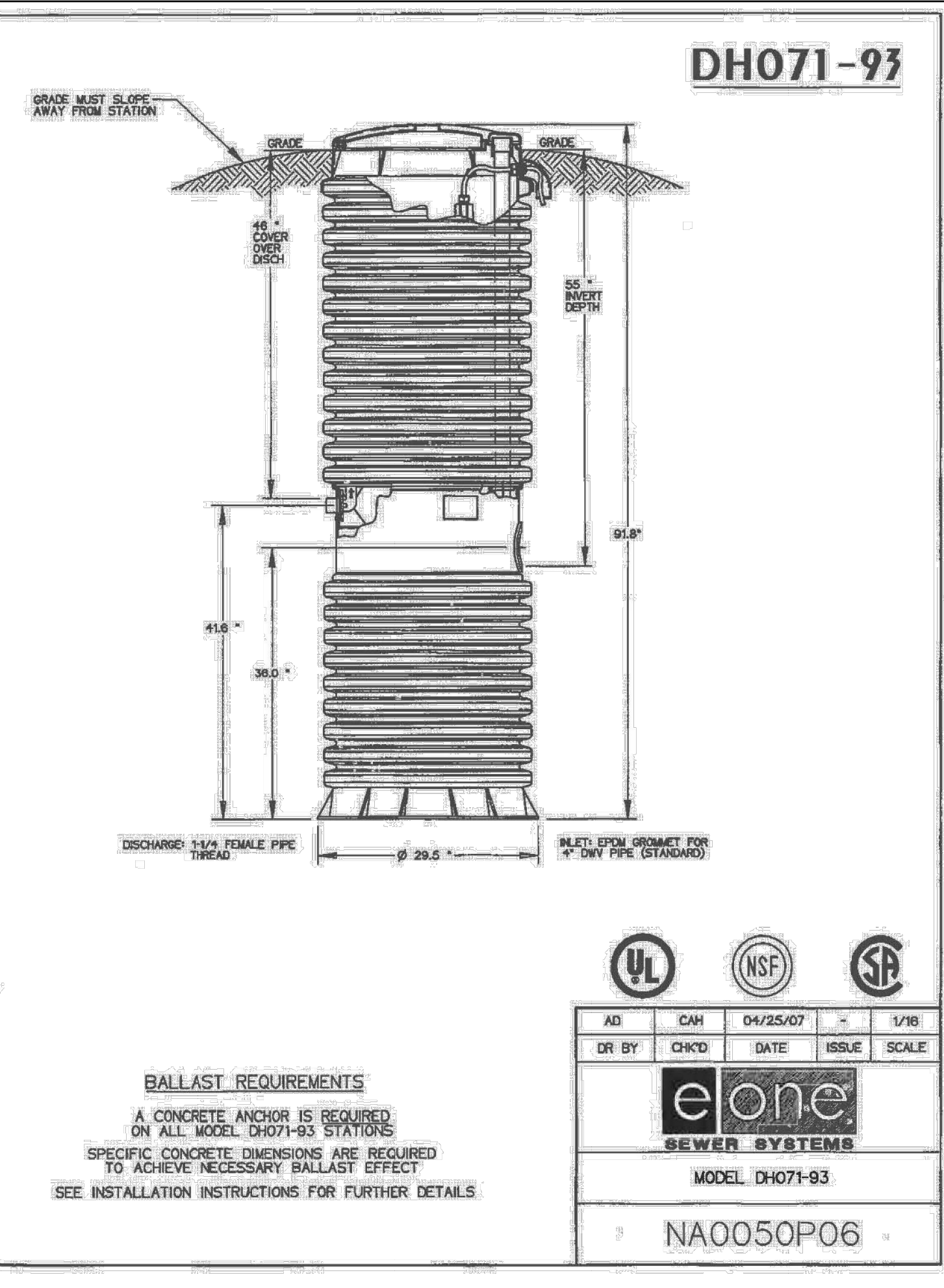
**Inlet Connections**  
 4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

**Discharge Connections**  
 Pump discharge terminates in 1 1/4-inch NPT female thread. Can easily be adapted to 1 1/4-inch PVC pipe or any other material required by local codes.

**Discharge\***  
 15 gpm at 0 psig  
 11 gpm at 40 psig  
 7.8 gpm at 80 psig

**Overload Capacity**  
 The maximum pressure that the pump can generate is limited by the motor characteristics. The motor generates a pressure well below the rating of the piping and appurtenances. The automatic reset feature does not require manual operation following overload.

Patent Numbers: 5,762,315  
 5,682,264 5,439,180  
 \* Discharge data includes loss through check valve, which is minimal.  
 NA0050P01



**LOW PRESSURE FORCE MAIN DETAIL (GRINDER PUMP)**

NOT TO SCALE

PROFESSIONAL SEAL:

HRG PROJECT NUMBER: R001372.0559  
 PLAN DATE: 2023.07.28  
 DRAWING SCALE: NOT TO SCALE  
 PROJ. MANAGER: WRS

NO.	DATE	DESCRIPTION
1	2023.08.31	REV AS PER CITY OF ALTOONA COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		

SHEET TITLE:  
**DETAILS SHEET**



**RESOLUTION 09-12-23-PAC23-10**  
**A RESOLUTION APPROVING THE WEIS MARKETS GAS-N-GO**  
**LAND DEVELOPMENT PLAN**

WHEREAS an application for a land development project has been filed with the Altoona City Planning Commission (hereinafter "ACPC") by Weis Markets, Inc. (hereinafter referred to as the "DEVELOPER"); and

WHEREAS, the DEVELOPER desires to build a new Gas-N-Go fueling facility at the existing Weis Markets Store #64; and

WHEREAS, staff has reviewed the LAND DEVELOPMENT PLAN, incorporated herein by this reference and filed with the ACPC by the Developer, and has found it to be in compliance, as a FINAL LAND DEVELOPMENT with all applicable provisions of the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has determined that this LAND DEVELOPMENT PLAN constitutes a FINAL LAND DEVELOPMENT PLAN in full compliance with the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has the power to APPROVE modifications to the City of Altoona's subdivision and land development requirements, and the Developer has requested the following waivers that are hereby approved by the ACPC:

1. §640-63G(1): For every 10 spaces provided by the applicant for motor vehicles, one bicycle parking space shall be provided, with a minimum of two bicycle spaces for all proposals. **The applicant is requesting a waiver to this section and will provide four (4) instead of the required 22 bicycle parking spaces.**
2. §640-65.C(4): Along the parking lot, the area shall be planted with shrubs and trees so as to provide a pleasant driving and walking atmosphere and to minimize the impact of the project on the street. **The applicant is requesting a waiver to this section.**

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Altoona, Blair County, Pennsylvania, that the application and plans, as filed by the DEVELOPER, are hereby approved subject to the following conditions:

1. The conditions of the plan must be accepted in writing by developer within 30 days.
2. A developer's agreement prepared by the ACPC must be executed by the Developer.
3. All required signatures must be obtained on the plan.
4. A copy of the RECORDED plan must be provided to the ACPC as soon as it is recorded.
5. All conditions must be met, fees paid, and the plan signed and recorded within the plan approval deadline.

RESOLVED by the Altoona City Planning Commission on September 12, 2023:

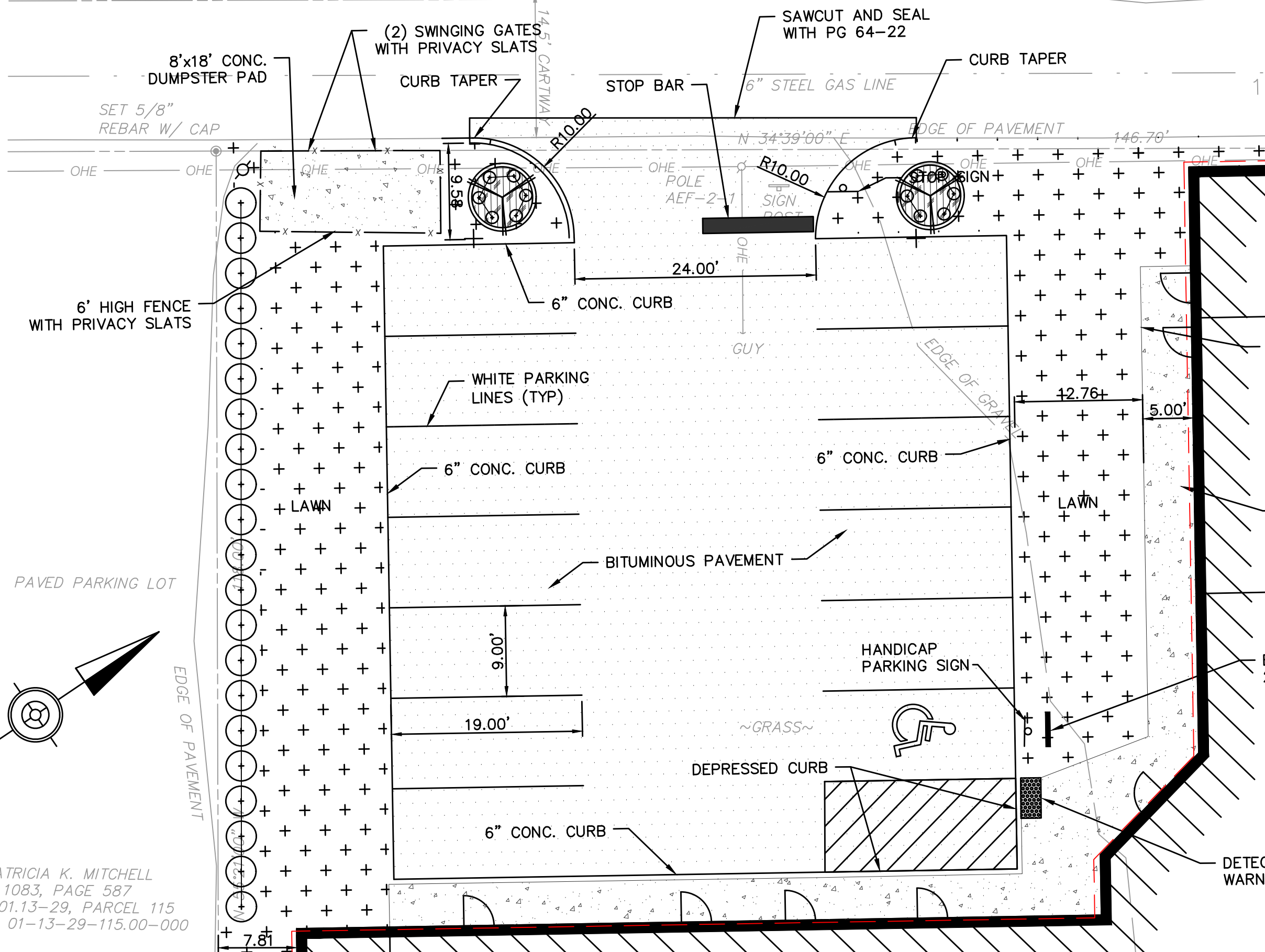
\_\_\_\_\_  
David B. Albright, Chairman

N/F JUSTIN G. MISNER  
TAX MAP 01.13-29-105.00-000

N/F JOSEPH & DENA CHAPLIN  
TAX MAP 01.13-29-106.00-000

N/F CHRISTOPHER & MAURA WEAVER  
TAX MAP 01.13-29-107.00-000

N/F JEFFREY & JANICE MATHERS  
TAX MAP 01.13-29-108.00-000



PAVED PARKING LOT

6' HIGH FENCE WITH PRIVACY SLATS

8'x18' CONC. DUMPSTER PAD

(2) SWINGING GATES WITH PRIVACY SLATS

SAWCUT AND SEAL WITH PG 64-22

CURB TAPER

STOP BAR

6" STEEL GAS LINE

SET 5/8" REBAR W/ CAP

14.5' CARTWAY

R10.00

R10.00

N 34°39'00" E

146.70'

OHE POLE AEF-2-1

SIGN POST

STOP SIGN

24.00'

6" CONC. CURB

GUY

WHITE PARKING LINES (TYP)

EDGE OF GRAVEL

12.76'

5.00'

6" CONC. CURB

6" CONC. CURB

LAWN

LAWN

BITUMINOUS PAVEMENT

9.00'

19.00'

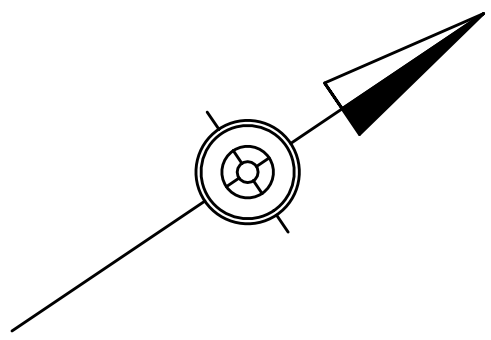
HANDICAP PARKING SIGN

DEPRESSED CURB

6" CONC. CURB

~GRASS~

DETECT WARN



N/F PATRICIA K. MITCHELL  
DBV 1083, PAGE 587  
TAX MAP 01.13-29, PARCEL 115  
TAX ID NO.: 01-13-29-115.00-000

Seal

**WAIVER EXHIBIT FOR**  
**DAZZLING REALTY LLC**  
 521 NORTH 4TH AVENUE

CITY OF ALTOONA, BLAIR COUNTY, PA

Drawn By	TDB	Date	SEPT 2023	Scale	1" = 10'
Checked By	SCS	Project No.	0120-23-378		



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 fax: 814.944.4862  
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PENNSYLVANIA / MARYLAND / WEST VIRGINIA





ENGINEERING ARCHITECTURE AND DESIGN SERVICES

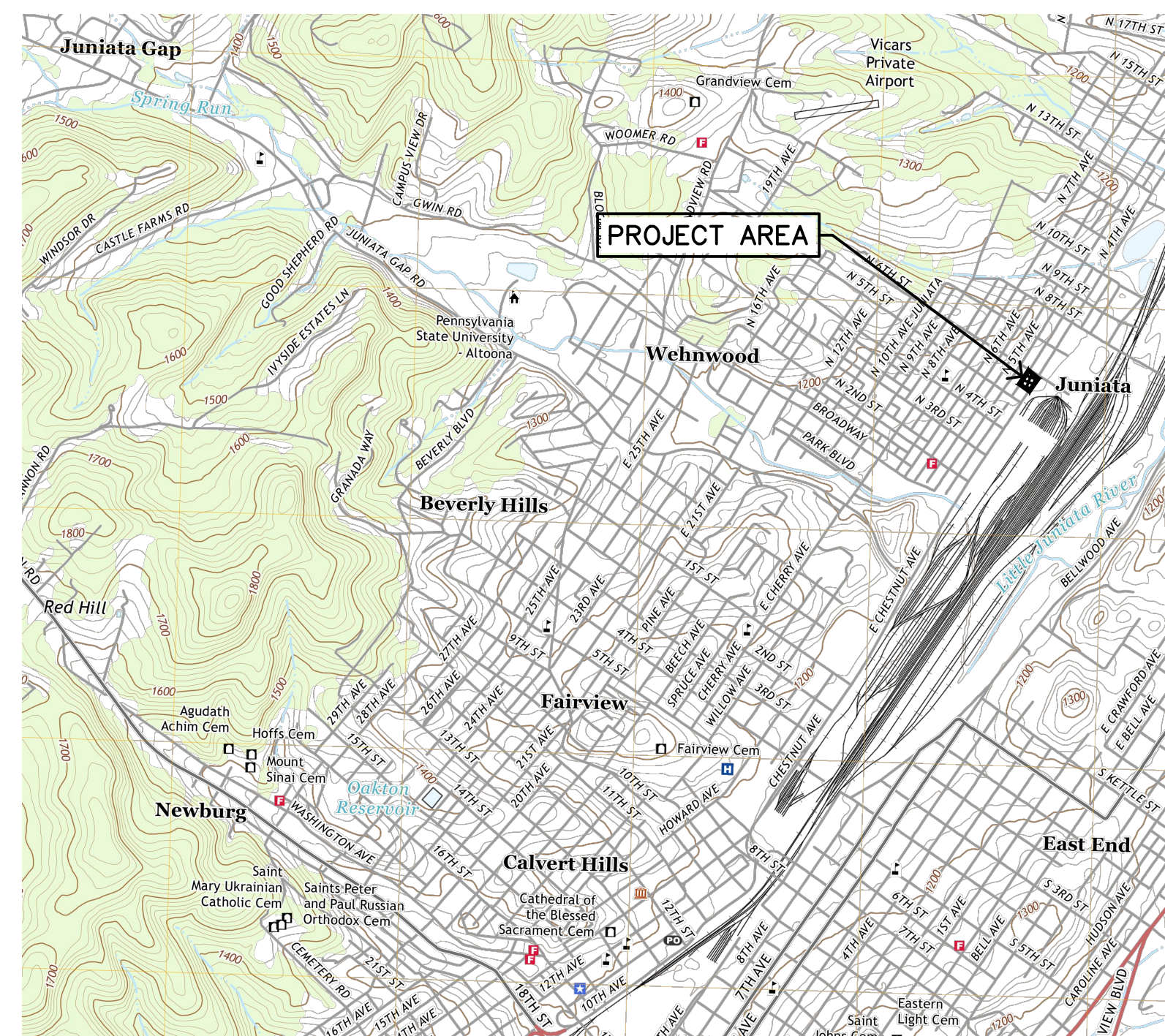
1126 Eighth Avenue, Altoona, PA 16602  
 814-944-5035 (phone)  
 814-944-4862 (fax)  
 www.eadsgroup.com

# DAZZLING REALTY, LLC

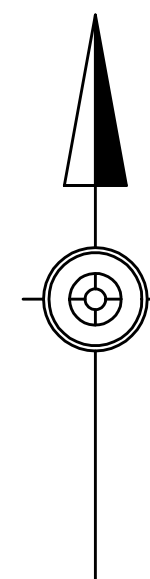
1600 BROADWAY  
 ALTOONA, PA 16602

# 521 N. 4TH AVENUE

# LAND DEVELOPMENT PLANS

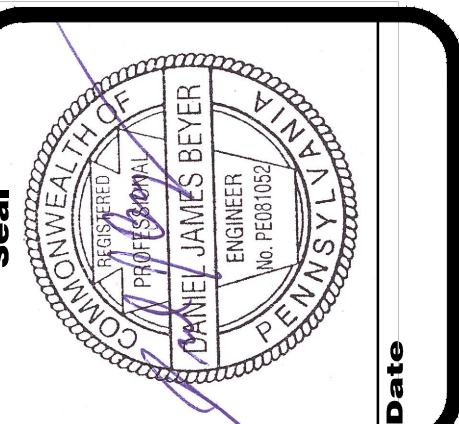


LOCATION MAP  
 SCALE: 1"=2000'



CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

JANUARY 2021



No.	Sheet Revisions	Date
	REVISED PER CITY OF ALTOONA	1/29/21

Scale	Date	Drawn By	Checked By	Project No.	File No.
AS NOTED	OCTOBER 2020	ARR	DJB	0120-20-256	6021



521 N. 4TH AVENUE  
 LAND DEVELOPMENT PLANS  
 DAZZLING REALTY, LLC  
 CITY OF ALTOONA, BLAIR COUNTY, PA  
 COVER SHEET

Drawing No.  
**CO.00**















N/F JUSTIN G. MISNER  
TAX MAP 01.13-29-105.00-000

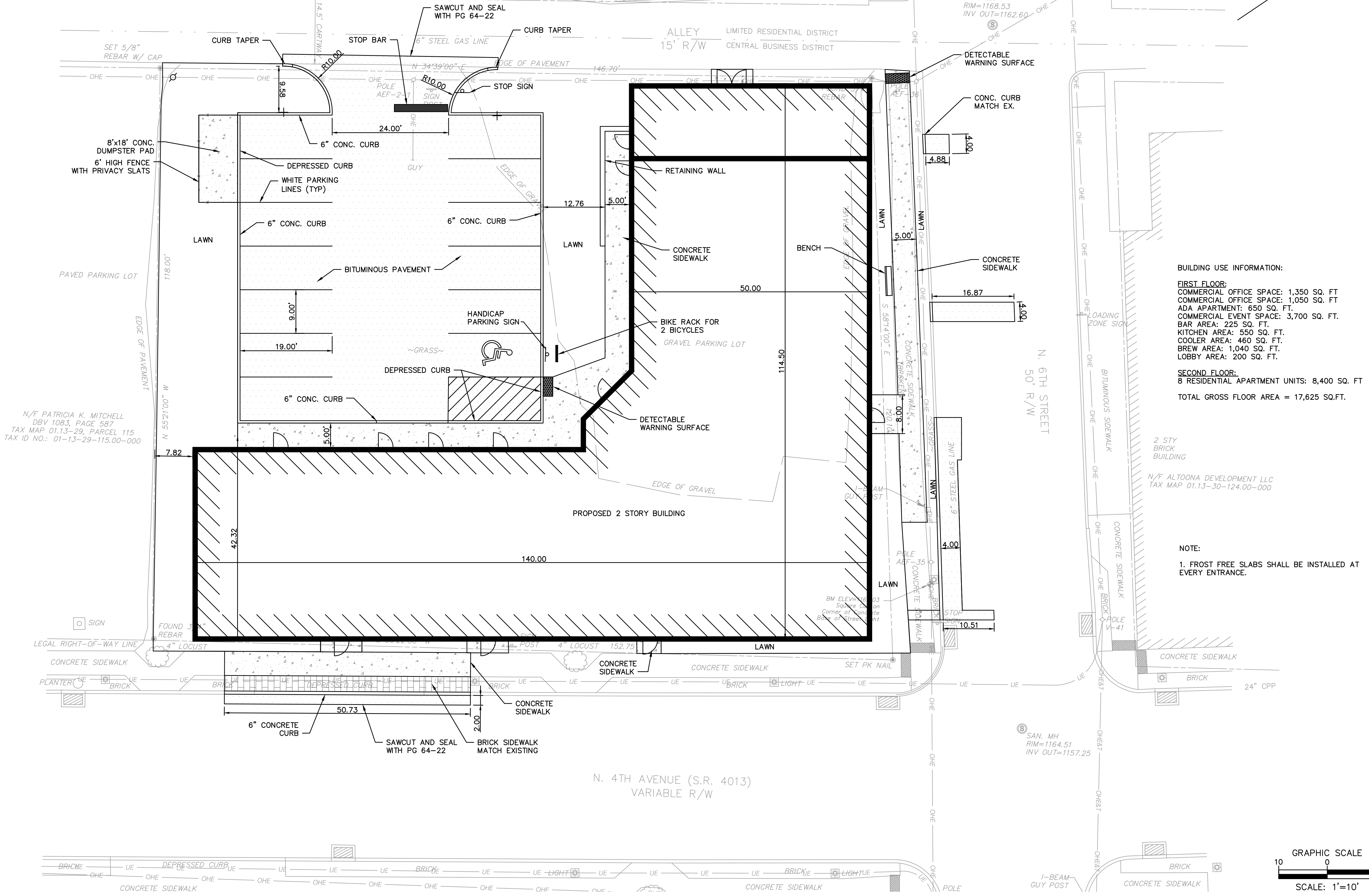
N/F JOSEPH & DENA CHAPLIN  
TAX MAP 01.13-29-106.00-000

N/F CHRISTOPHER & MAURA WEAVER  
TAX MAP 01.13-29-107.00-000

N/F JEFFREY & JANICE MATHERS  
TAX MAP 01.13-29-108.00-000

2 STY FRAME HOUSE  
N/F ERIC STOUNOUR  
TAX MAP 01.13-29-109.00-000

N/F PRASAD REAL ESTATE CORP.  
TAX MAP 01.13-30-073.00-000



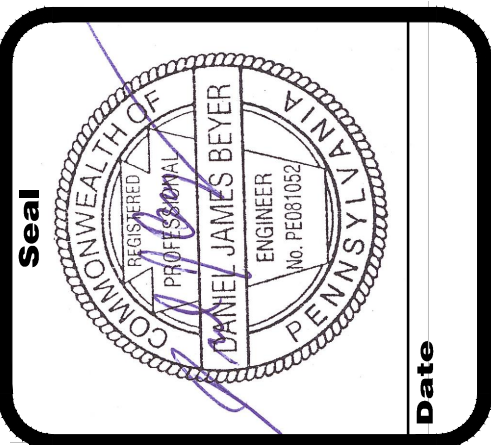
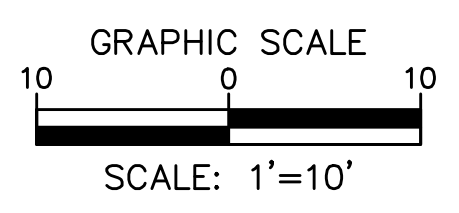
**BUILDING USE INFORMATION:**

**FIRST FLOOR:**  
 COMMERCIAL OFFICE SPACE: 1,350 SQ. FT.  
 COMMERCIAL OFFICE SPACE: 1,050 SQ. FT.  
 ADA APARTMENT: 650 SQ. FT.  
 COMMERCIAL EVENT SPACE: 3,700 SQ. FT.  
 BAR AREA: 225 SQ. FT.  
 KITCHEN AREA: 550 SQ. FT.  
 COOLER AREA: 460 SQ. FT.  
 BREW AREA: 1,040 SQ. FT.  
 LOBBY AREA: 200 SQ. FT.

**SECOND FLOOR:**  
 8 RESIDENTIAL APARTMENT UNITS: 8,400 SQ. FT.

**TOTAL GROSS FLOOR AREA = 17,625 SQ.FT.**

**NOTE:**  
 1. FROST FREE SLABS SHALL BE INSTALLED AT EVERY ENTRANCE.



Sheet Revisions	Date
REVISED PER CITY OF ALTOONA	1/29/21

Scale	Date	Drawn By	Checked By	Project No.	File No.
AS NOTED	OCTOBER 2020	ARR	DJB	01120-20-256	6021

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**521 N. 4TH AVENUE  
 LAND DEVELOPMENT PLANS  
 DAZZLING REALTY, LLC  
 CITY OF ALTOONA, BLAIR COUNTY, PA**

**SITE PLAN**

**Drawing No.  
 C2.00**



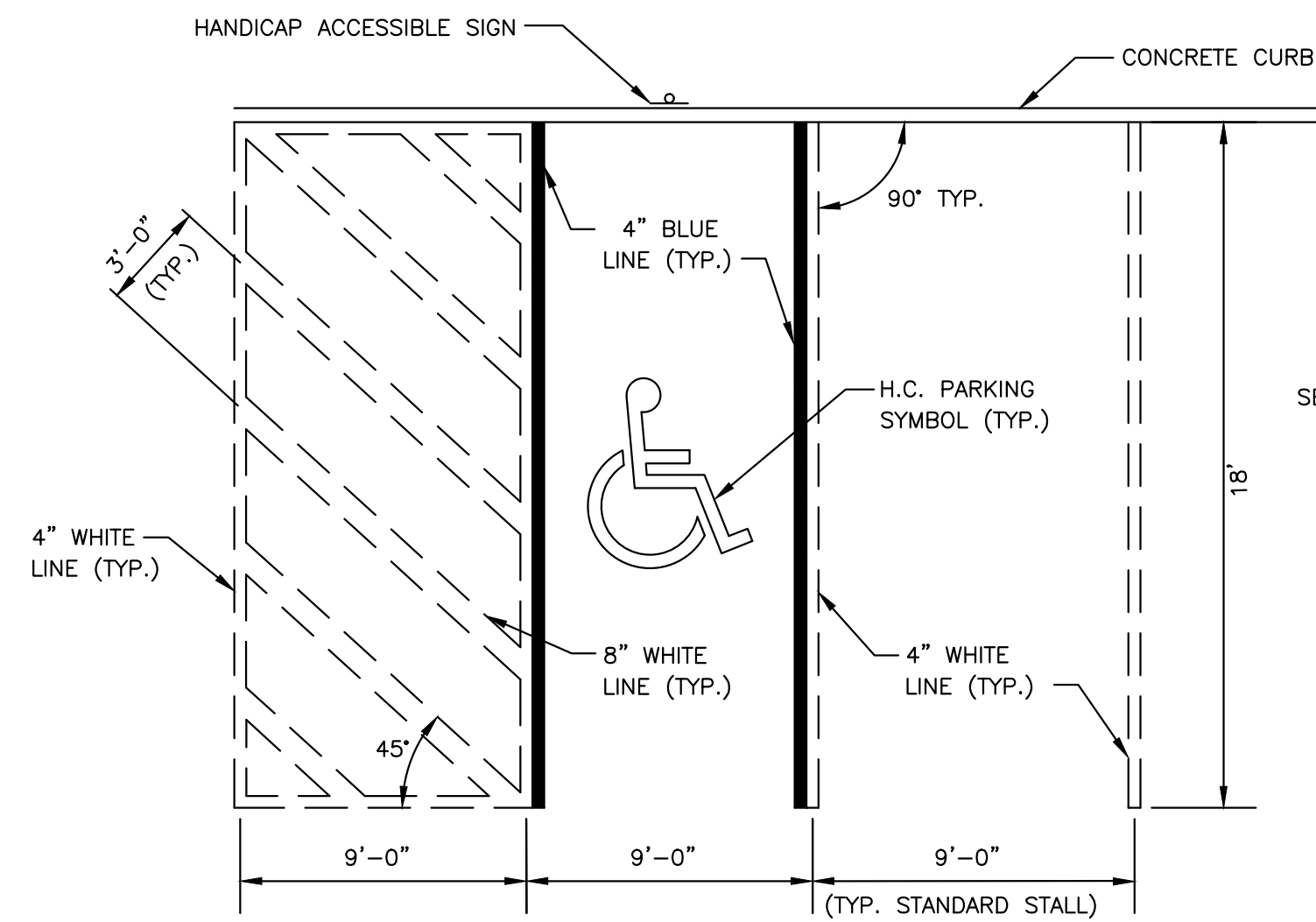










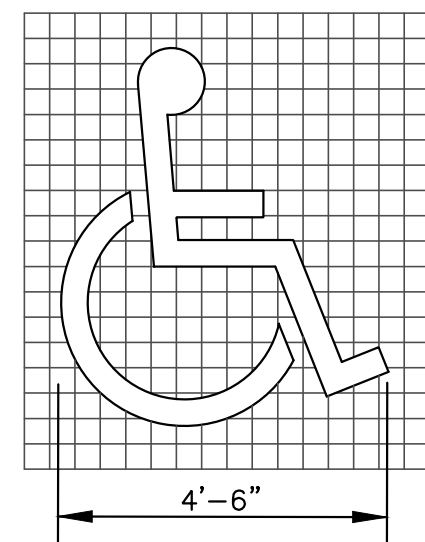


NOTES:

1. PROVIDE TYPE 1 - CONVENTIONAL TRAFFIC PAINT (COLOR - WHITE) AND DISPENSE IN A WET FILM THICKNESS OF 15 MILS ± 1 MIL. IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 962, LATEST EDITION. PAINT SHALL BE PENNDOT APPROVED.
2. NEATLY APPLY PAVEMENT PAINT MARKINGS AT LOCATIONS INDICATED WITH NO OVERSPRAY. USE TEMPLATES AS REQUIRED.

**HANDICAP PARKING AREA PLAN**

NO SCALE

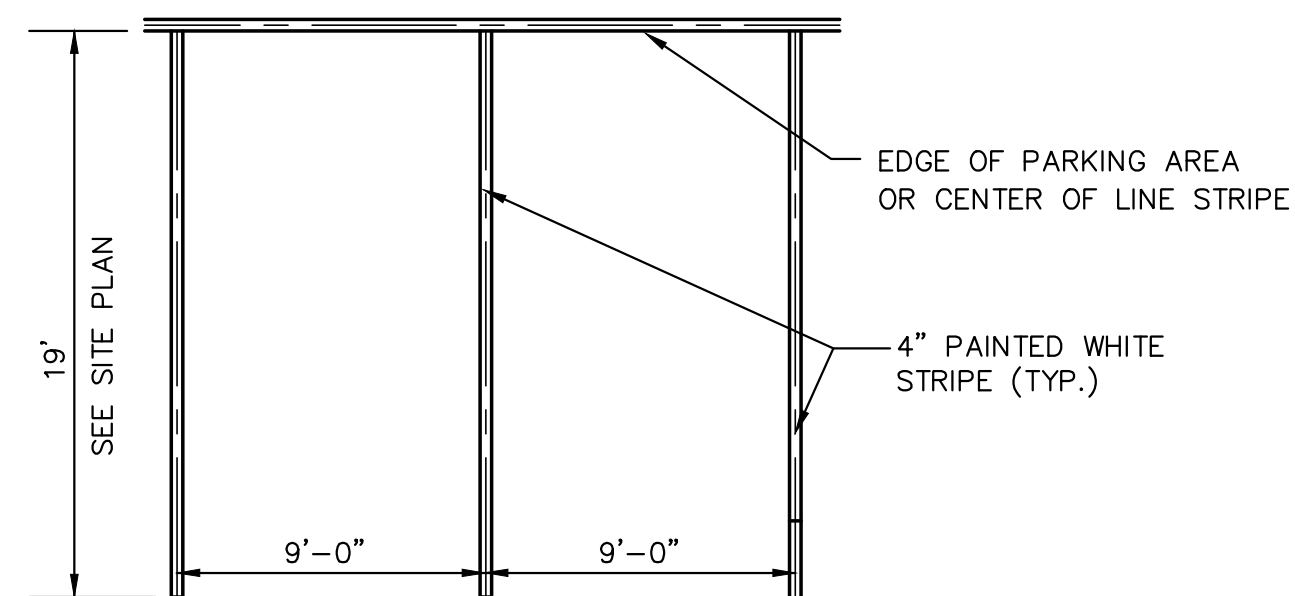


NOTE:  
PAINT STRIPING TO BE 4" WIDE, (COLOR - WHITE). SYMBOL TO BE CENTERED IN PARKING SPACE.

EACH BLOCK REPRESENTS 4"

**DISABLED SYMBOL PAINT STRIPING**

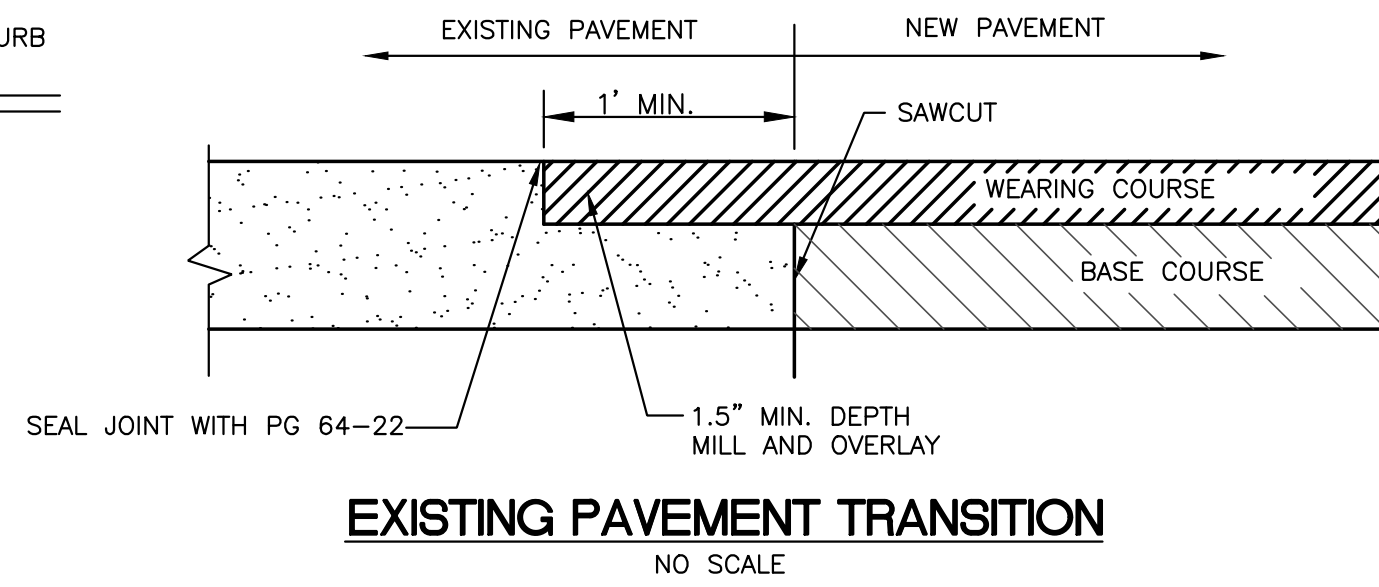
NO SCALE



**STANDARD PARKING**

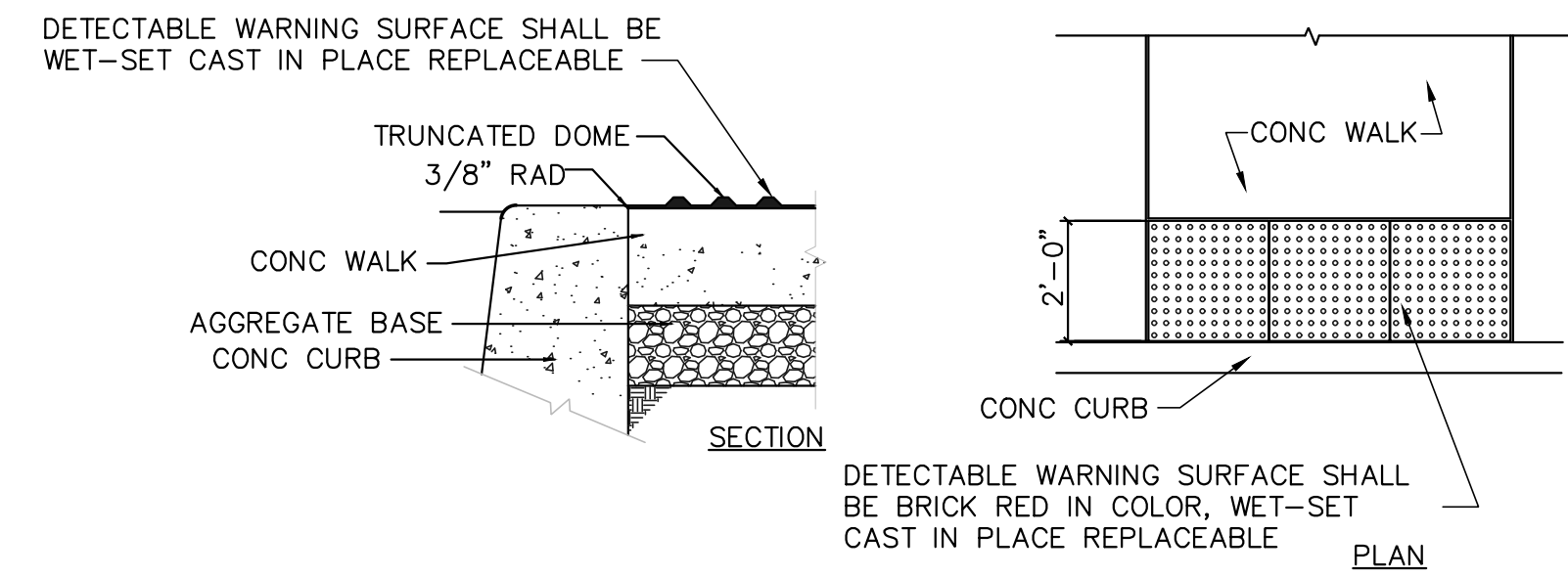
**PARKING STALL**

NO SCALE



**EXISTING PAVEMENT TRANSITION**

NO SCALE

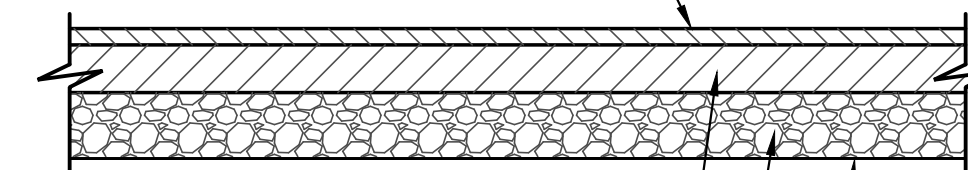


**DETECTABLE WARNING SURFACE**

NO SCALE

NOTE: WARNING SURFACE SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.

SUPERPAVE ASPHALT MIXTURE DESIGN, WMA WEARING COURSE, PG 64-22, 0.3< 3.0 MILLION ESALS, 9.5mm MIX, 1.5" DEPTH, SRL-L.



SUPERPAVE ASPHALT MIXTURE DESIGN, WMA BASE COURSE, PG 64-22, 0.3< 3.0 MILLION ESALS, 25 mm MIX, 4.5" DEPTH.

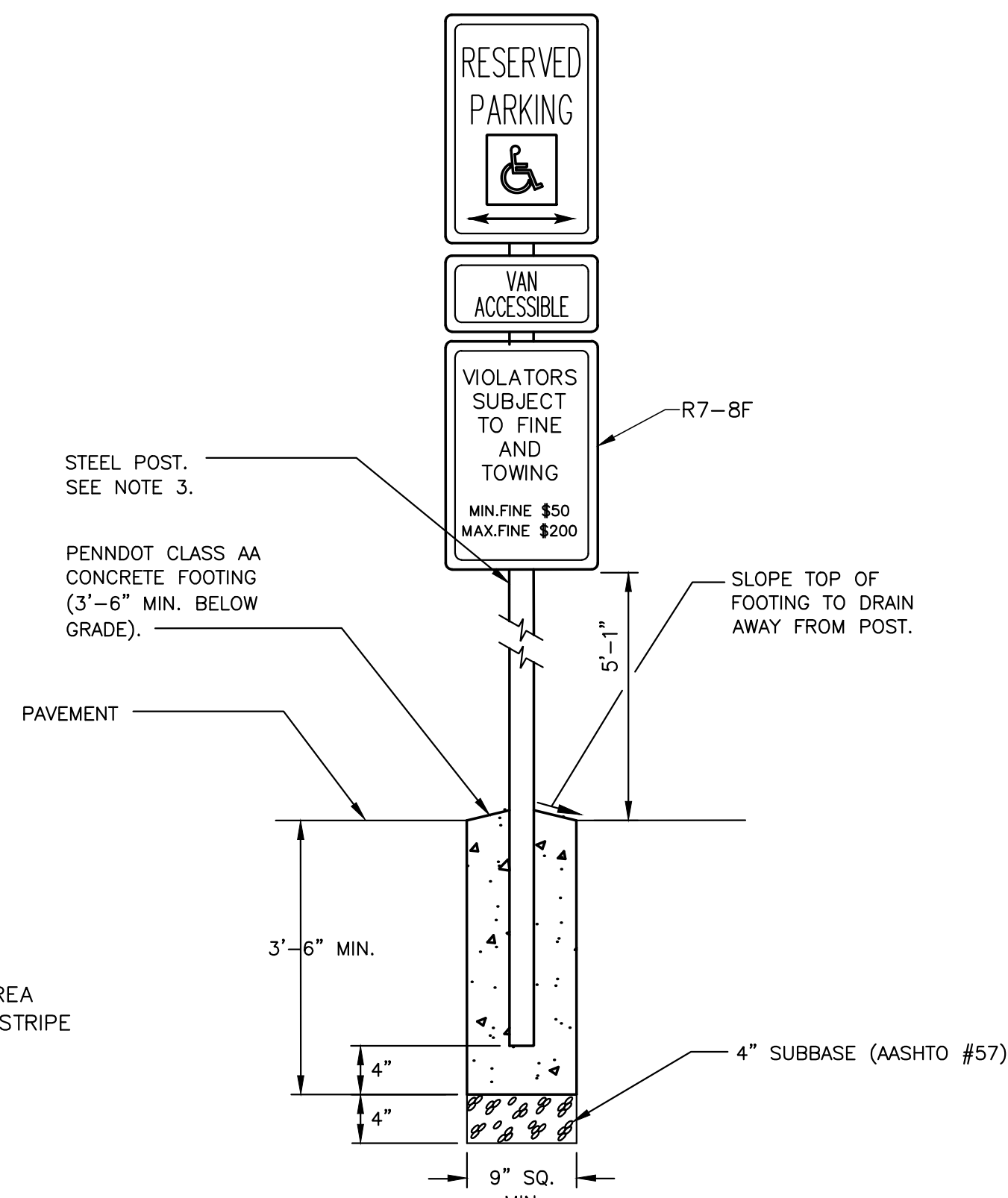
NO. 2A COARSE AGGREGATE 6" DEPTH (COMPACTED)

GEOTEXTILE TYPE 4 CLASS A

- NOTE:
1. ALL JOINTS SHALL BE SEALED WITH PG 64-22
  2. BITUMINOUS TACK COAT SHALL BE APPLIED BETWEEN EACH PAVEMENT LAYER.

**BITUMINOUS PAVEMENT TYPICAL SECTION**

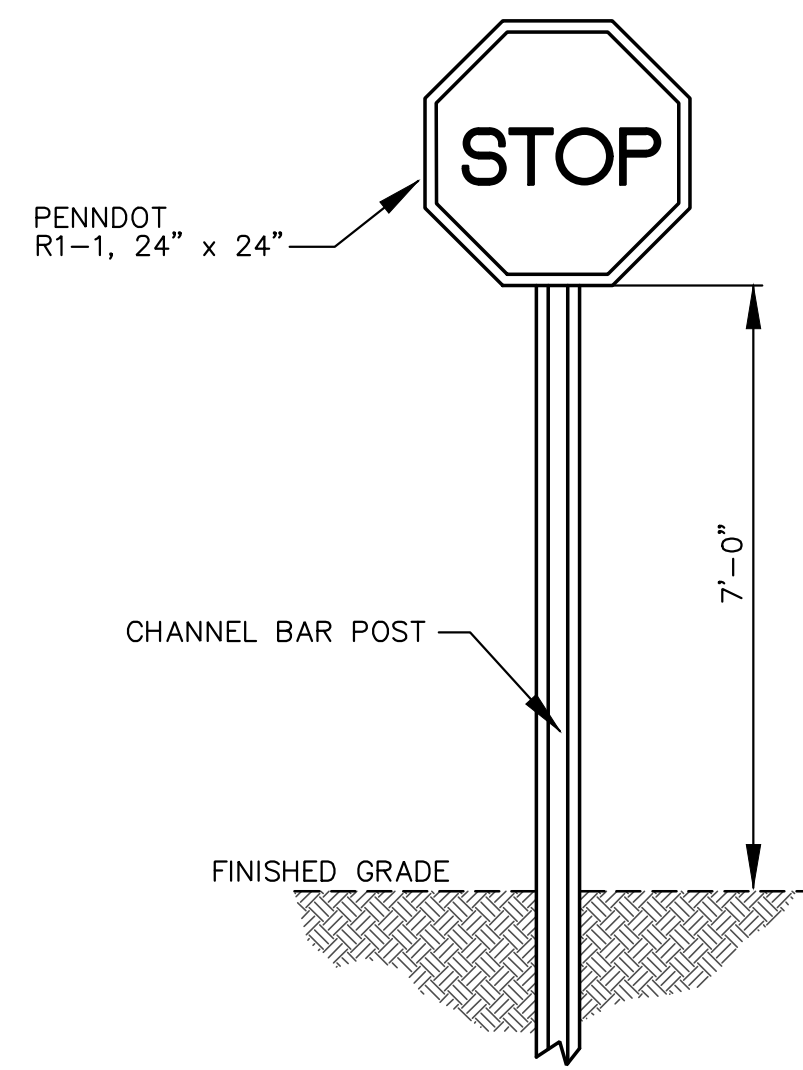
NTS



- NOTES:
1. THE CONTRACTOR SHALL NEATLY FORM TOP 6" OF CONC. FEETING. FEETINGS NOT FORMED, SHALL BE REMOVED AND PROPERLY RECONSTRUCTED.
  2. SIGNS SHALL BE AS SPECIFIED BY PENNDOT PUBLICATION 236 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITIONS).
  3. THE CONTRACTOR SHALL FURNISH AND INSTALL STEEL POSTS FOR ALL REQUIRED H.C. PARKING STALL SIGNS IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 1103.08, LATEST EDITION. POSTS SHALL BE GALVANIZED IN ACCORDANCE WITH SECTION 1105.02. PAINT POSTS GREEN IN ACCORDANCE WITH ASTM-G53-84, FEDERAL COLOR NO. 595.14062.
  4. FASTENERS (I.E. BOLTS, ETC.) REQUIRED TO ATTACH SIGNS TO POST SHALL BE STAINLESS OR GALVANIZED STEEL.

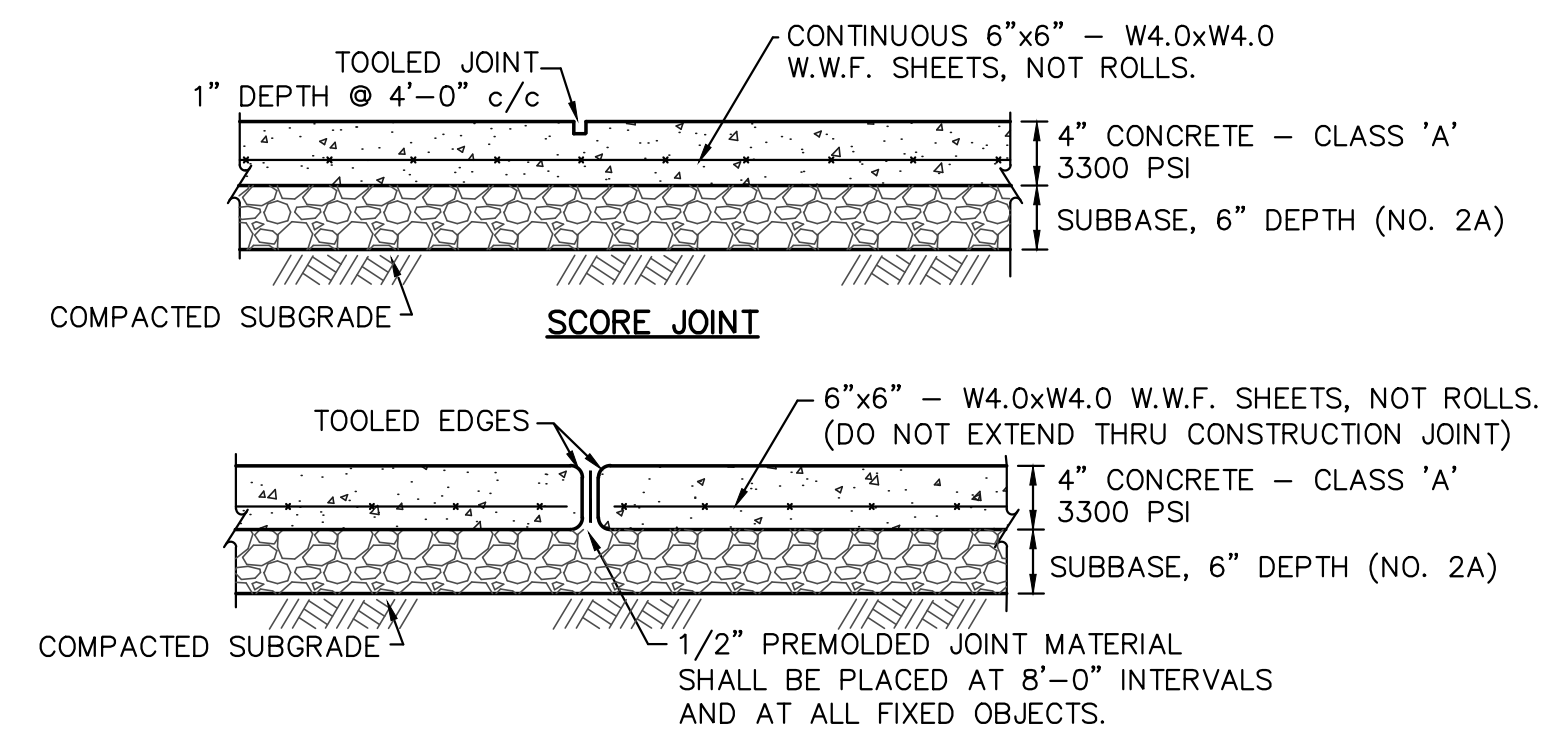
**HANDICAP ACCESS SIGN, POST AND FOOTING**

NO SCALE



**STOP SIGN**

NO SCALE

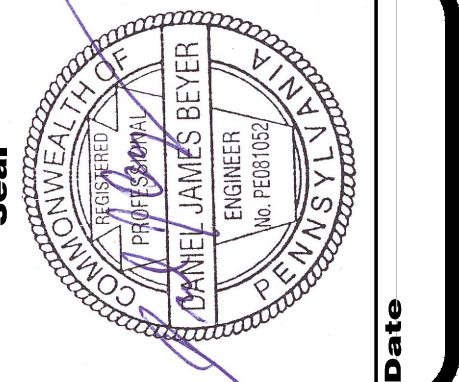


**CONSTRUCTION JOINT**

NOTE: WIRE FABRIC REINFORCEMENT SHALL BE LOCATED 1/3 OF TOTAL SLAB THICKNESS MEASURED FROM BOTTOM OF SLAB TO TOP OF FABRIC.

**CONCRETE SIDEWALK**

NO SCALE



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**521 N. 4TH AVENUE**  
**LAND DEVELOPMENT PLANS**  
**DAZZLING REALTY, LLC**  
**CITY OF ALTOONA, BLAIR COUNTY, PA**

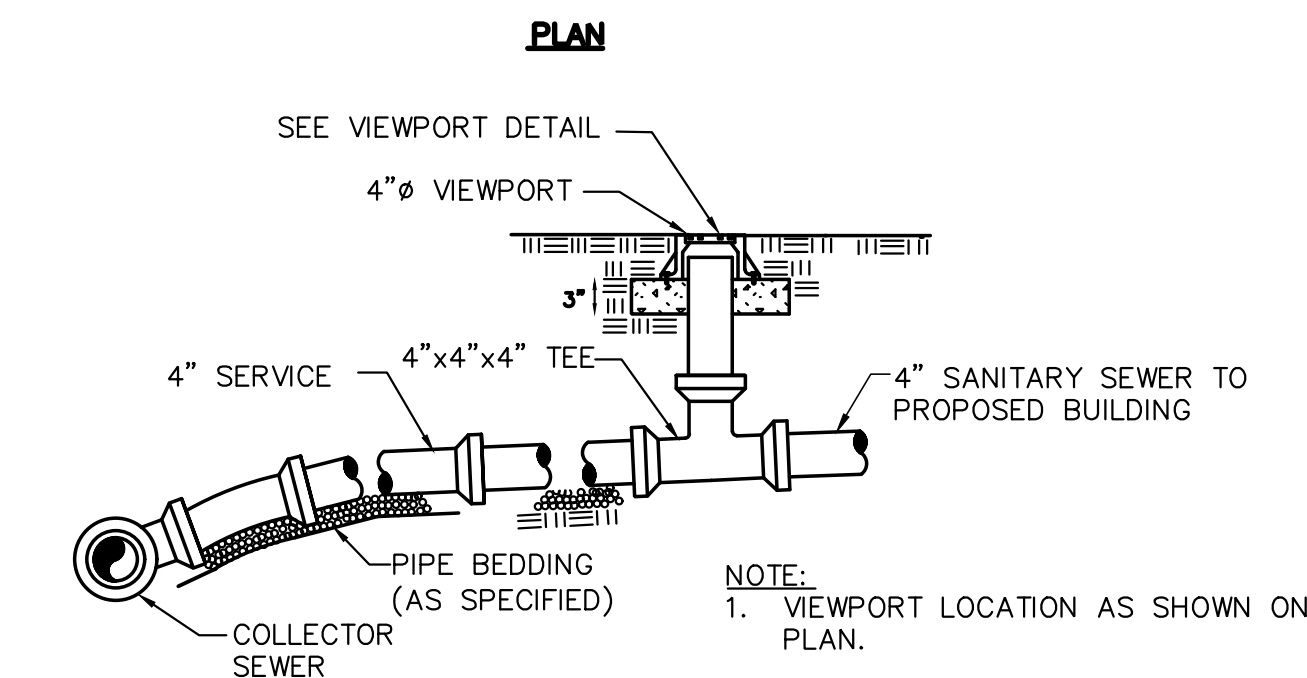
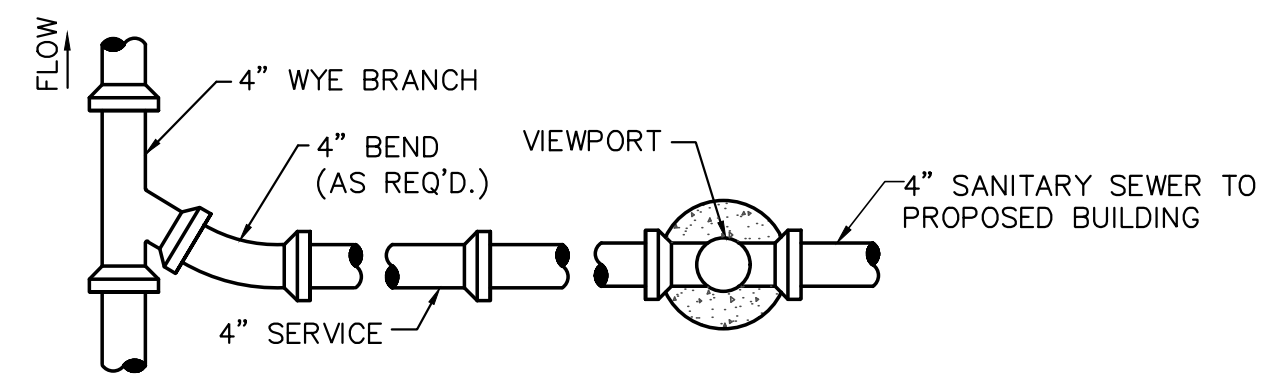
**Drawing No.**  
**G-5.00**

R:\6021 Paolo Randazzo\20256 Land Dev\06 CADD\80 Site Dev\20256\_C5.00- Details.dwg, 2/10/2021 10:09 AM

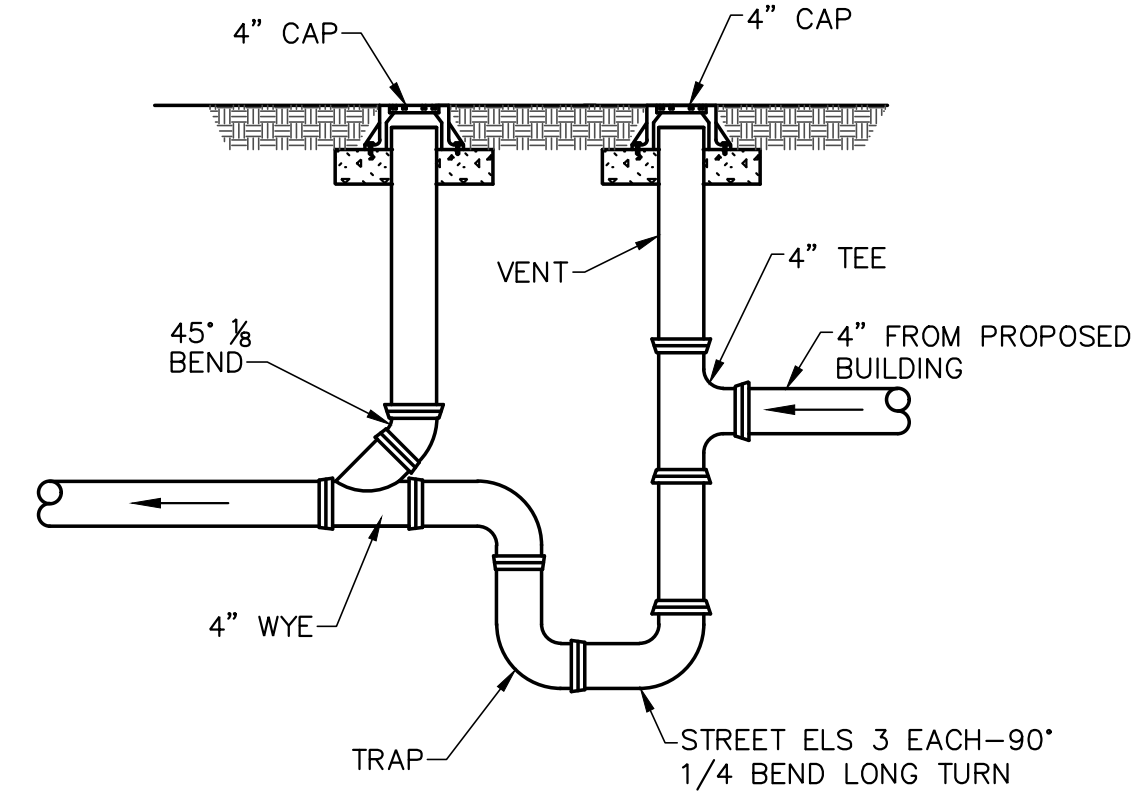




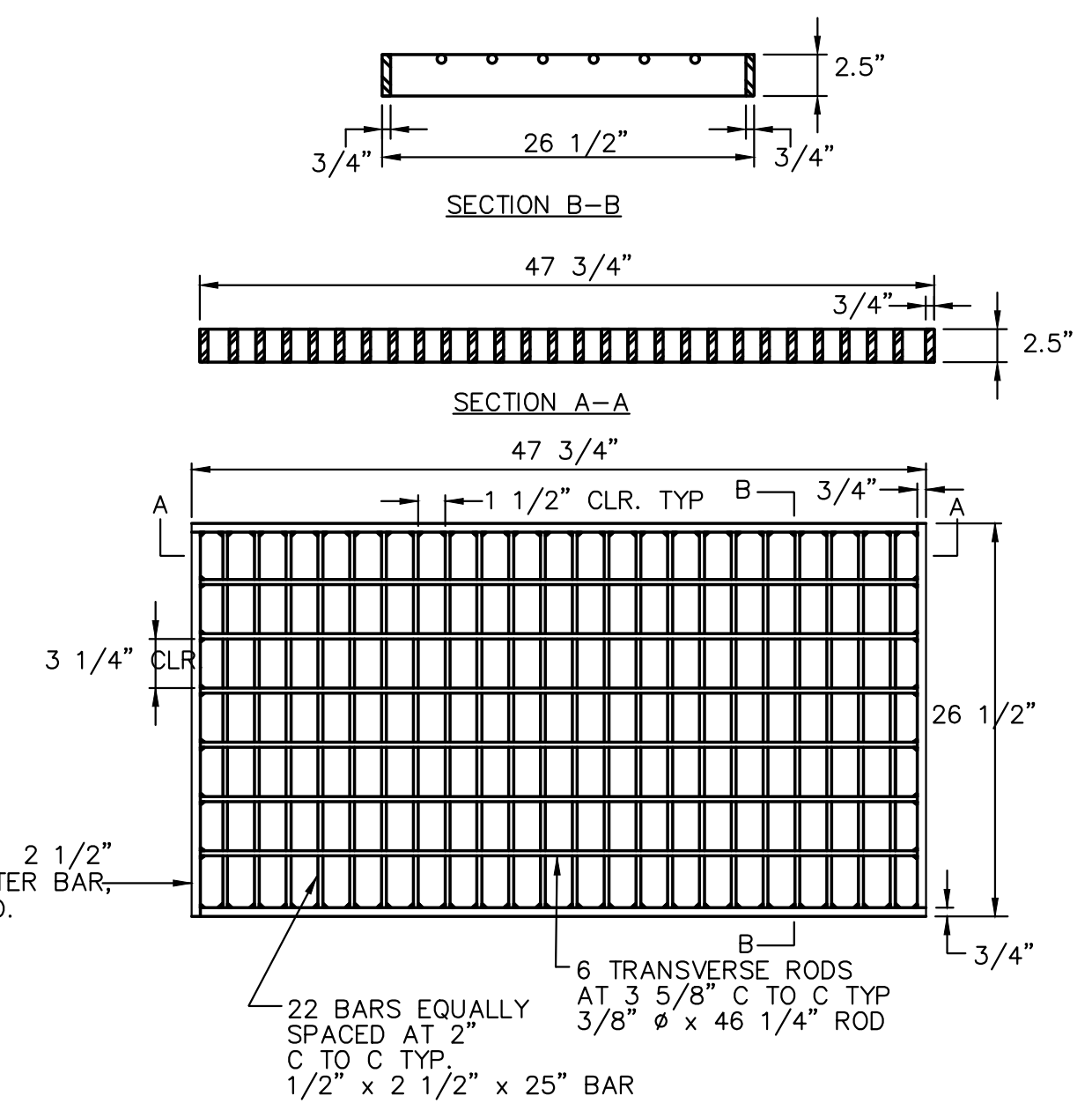




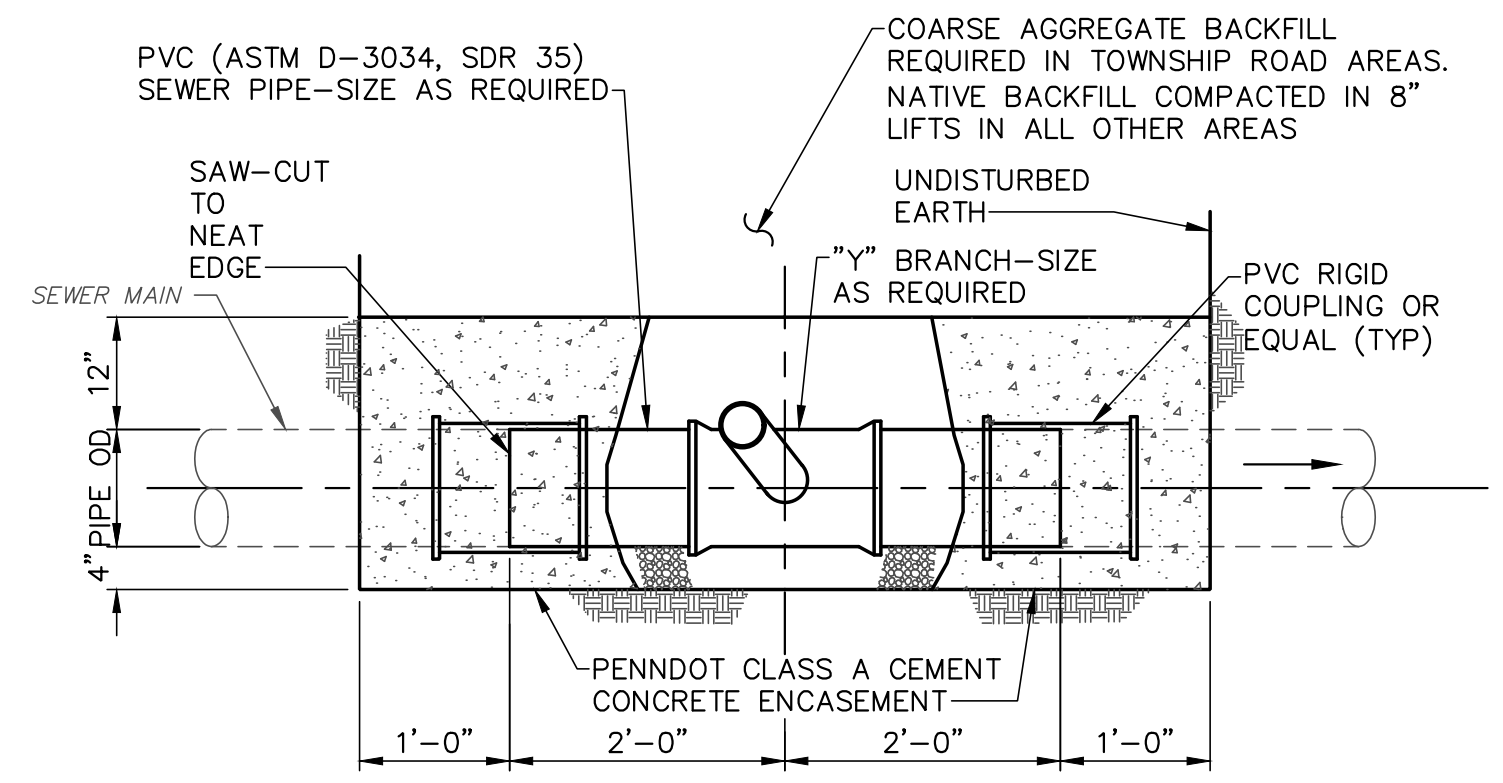
**TYPICAL 4' SERVICE CONNECTION**  
NO SCALE



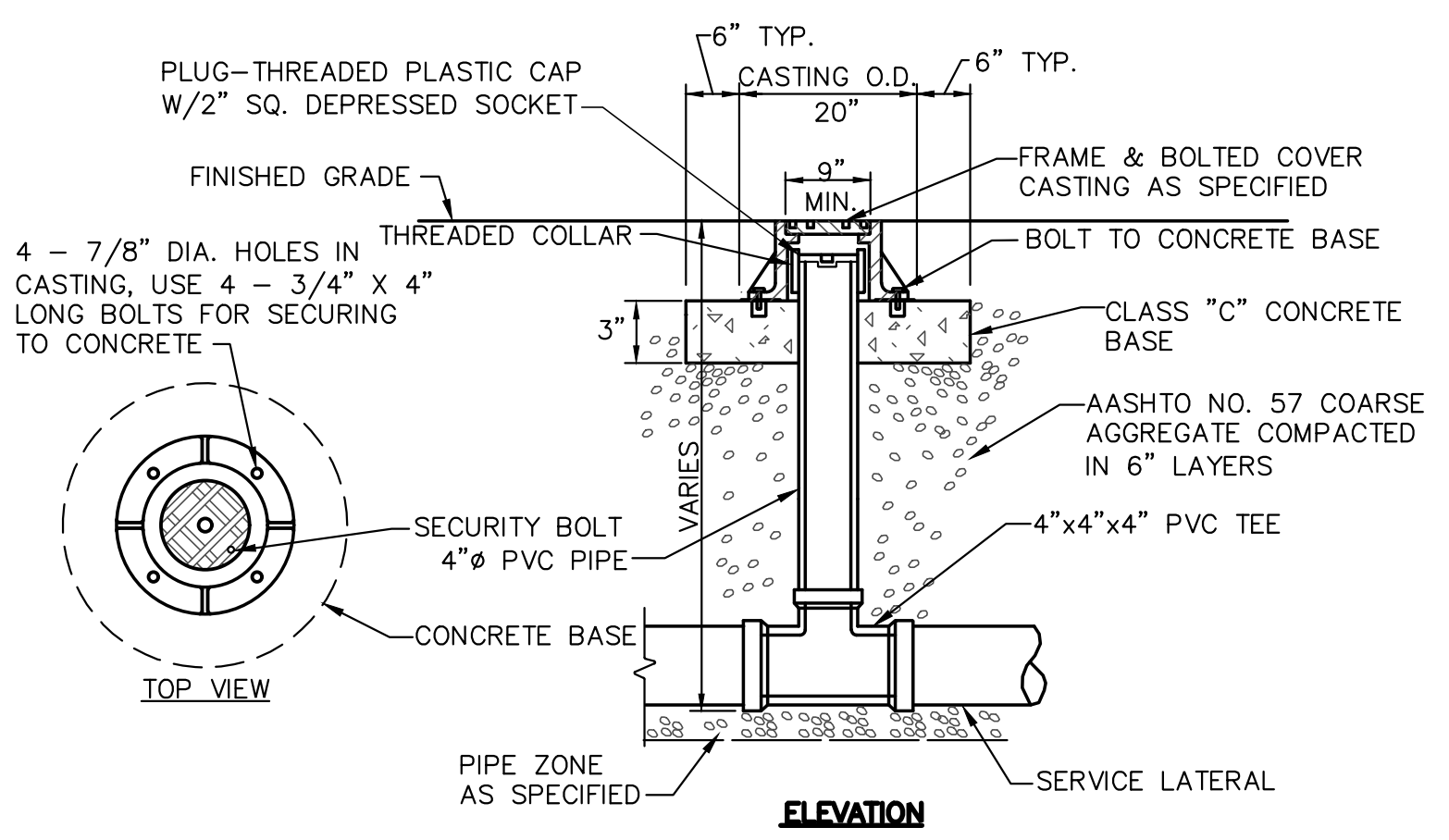
**SERVICE CONNECTION TO SANITARY SEWER**  
NO SCALE



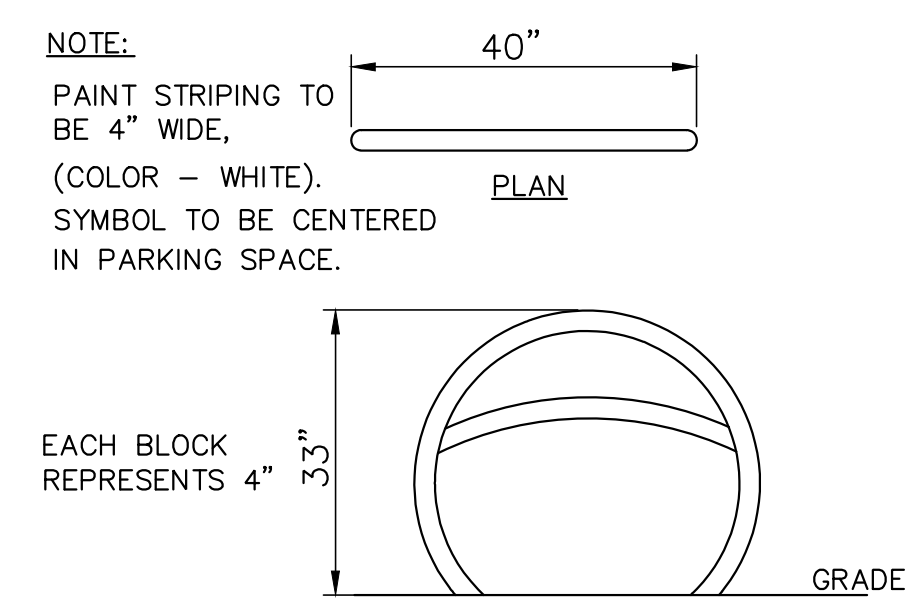
**STRUCTURAL STEEL GRADE BICYCLE SAFE**  
NO SCALE



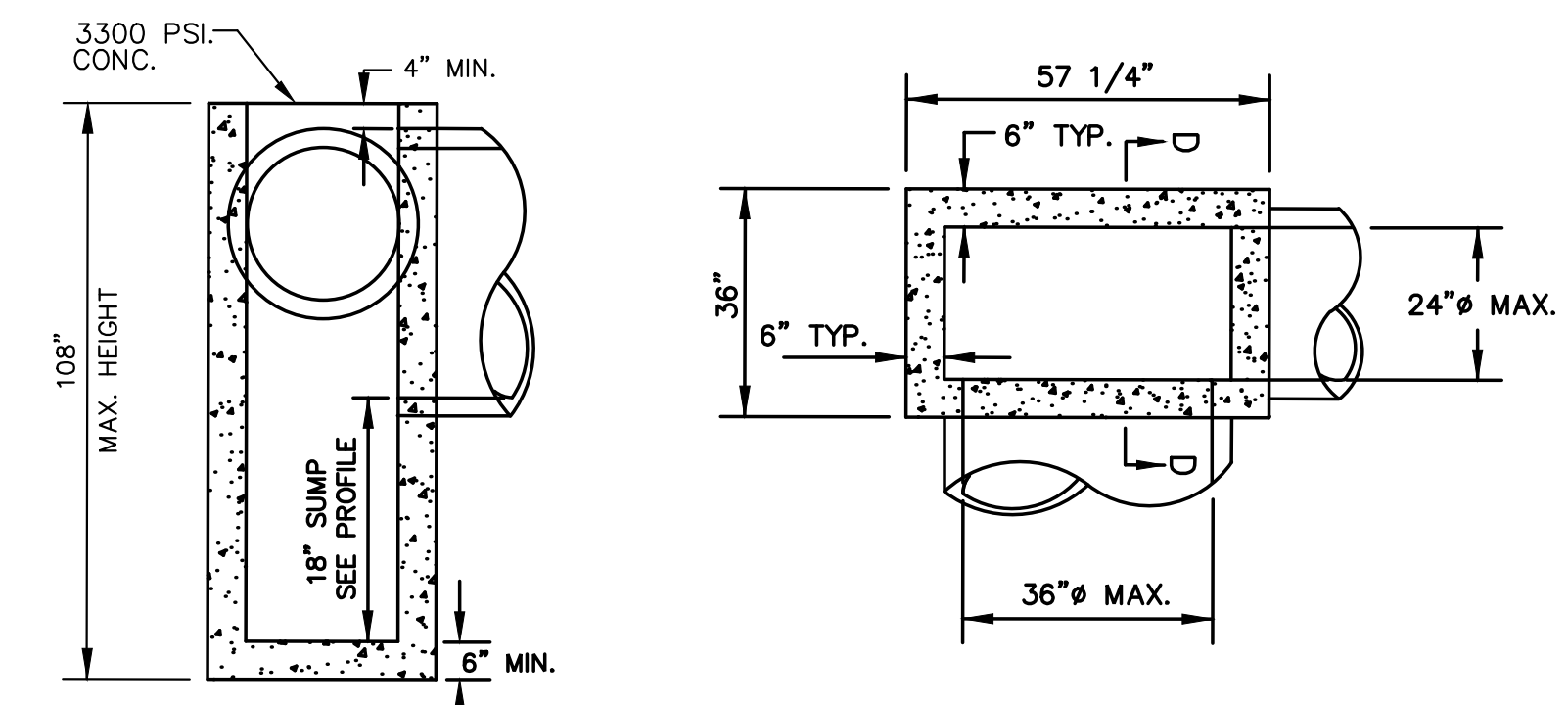
**TYPICAL WYE CONNECTION TO EXISTING SANITARY SEWER**  
NO SCALE



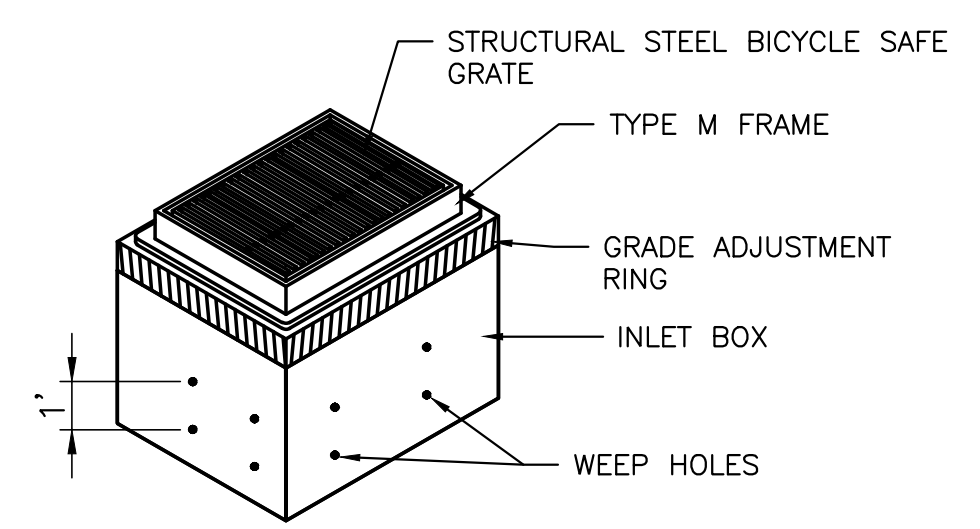
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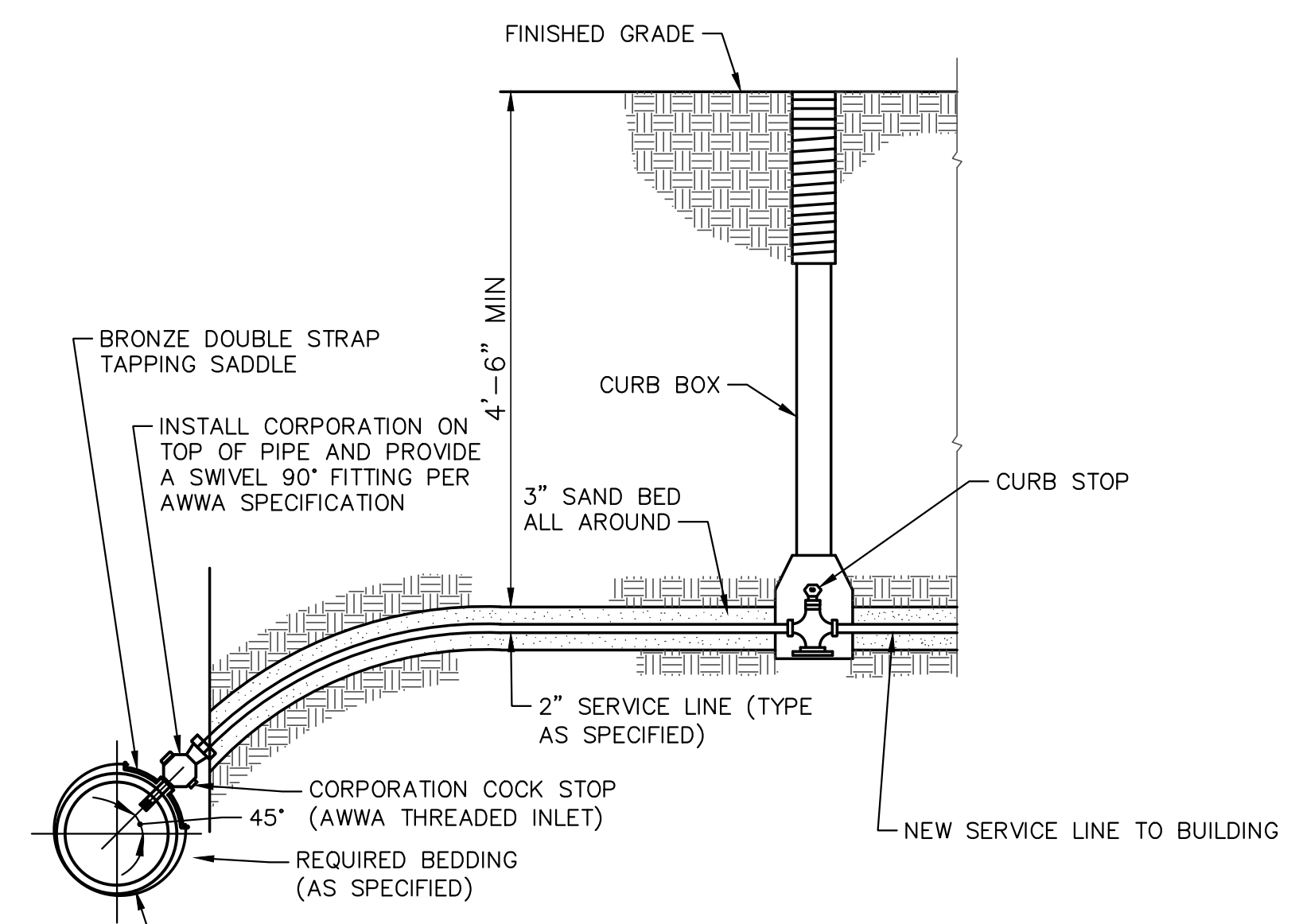
**BICYCLE RACK**  
NO SCALE



**STANDARD STORM INLET BOX**  
NO SCALE



**INLET BOX WITH TYPE M FRAME**  
NO SCALE



**WATER SERVICE CONNECTION**  
NTS

Seal  
Date

Sheet Revisions	Date
REVISED PER CITY OF ALTOONA	1/29/21

Scale	Date	Drawn By	Checked By	Project No.	File No.
AS NOTED	OCTOBER 2020	ARR	DJB	0120-20-256	6021

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**521 N. 4TH AVENUE  
LAND DEVELOPMENT PLANS  
DAZZLING REALTY, LLC  
CITY OF ALTOONA, BLAIR COUNTY, PA**

**DETAILS**

**Drawing No.  
C-5.02**







**SCHEDULE OF GRASS SEED MIXTURES**

**SOD/Mixture 1:** (Furnish and place mature sod utilizing PennDOT Formula B, seed mixture in accordance with Publication 408, Section 804, latest edition) for use at all areas with slopes flatter than 2:1 requiring permanent lawn. Other fine lawn seed mixtures may be used for the sod if acceptable to architect. Furnish sod complying with TPI's "Specifications for Turfgrass Sod Materials".

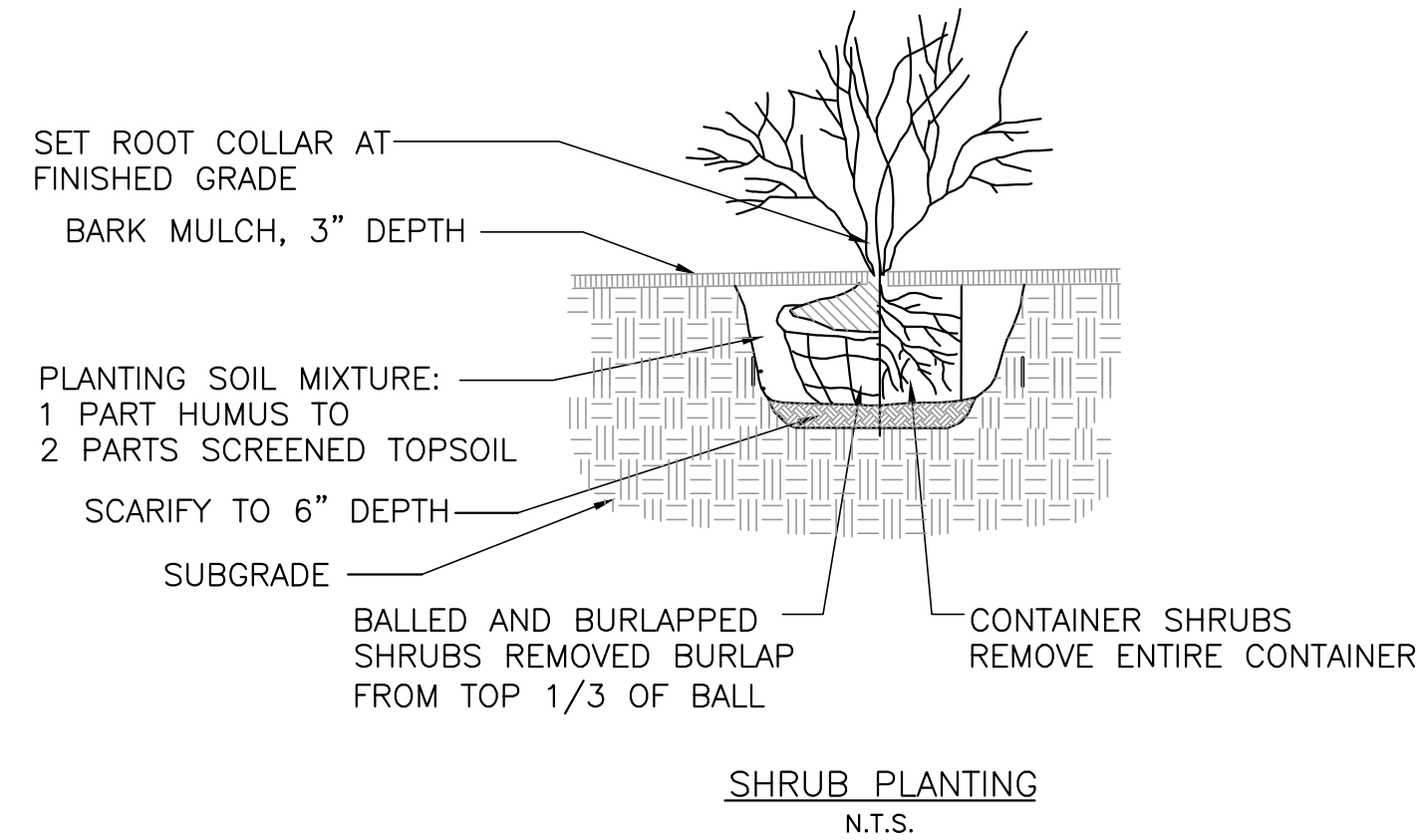
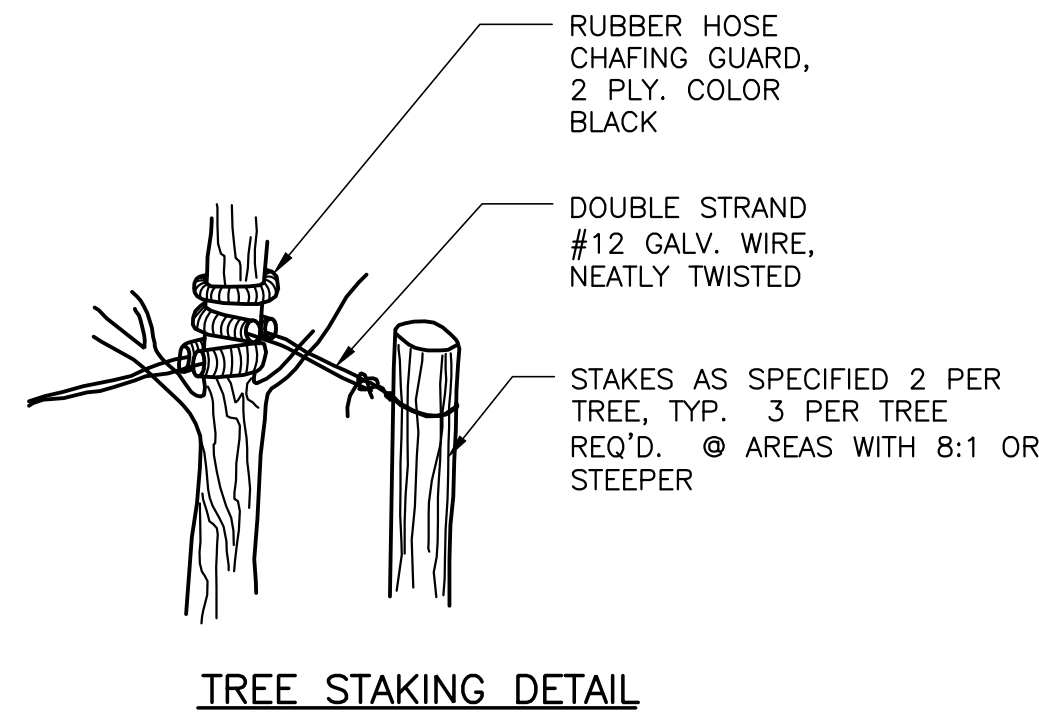
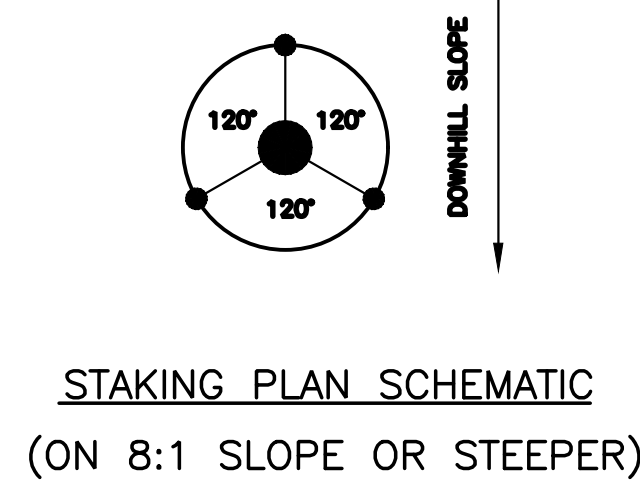
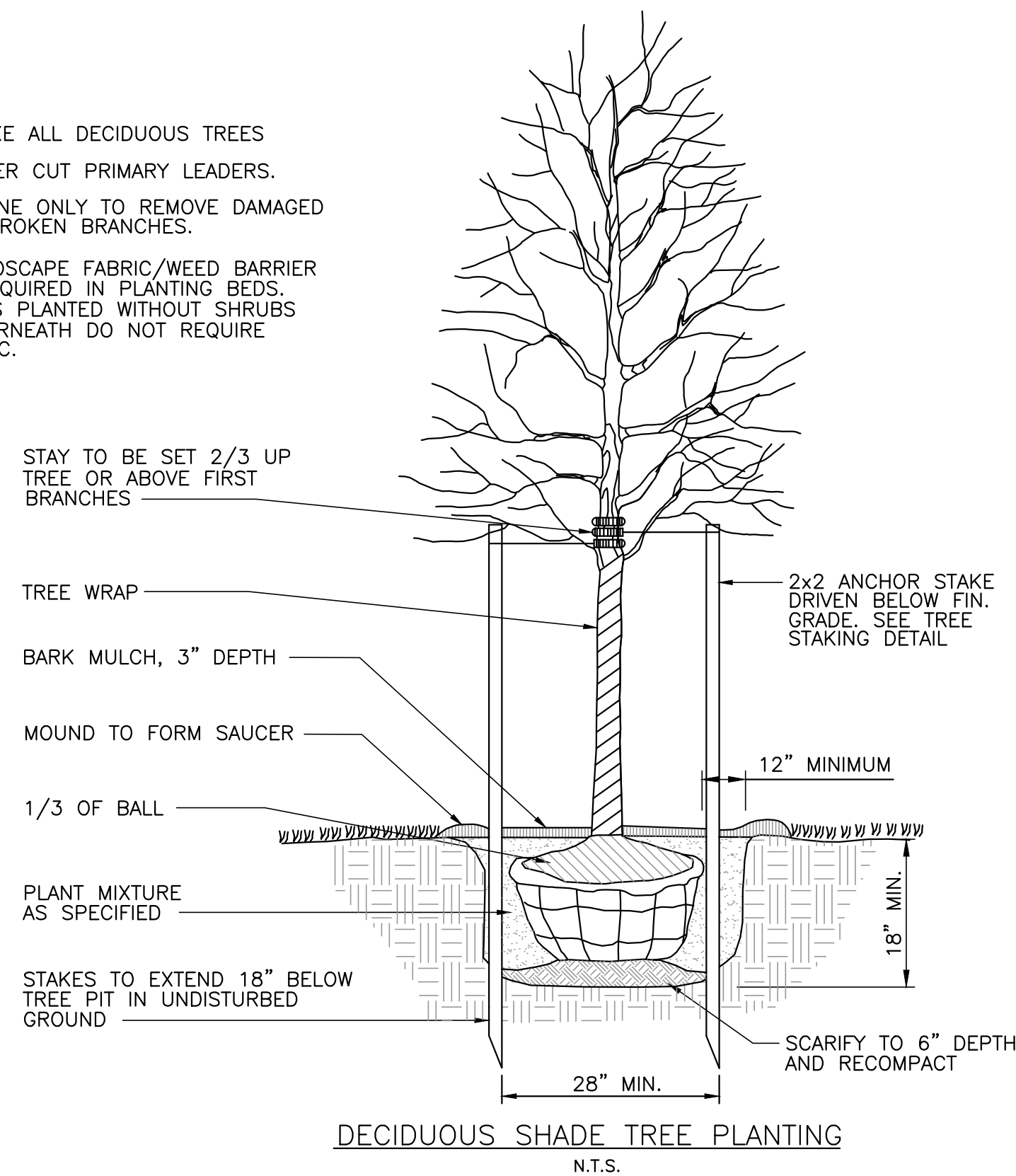
Proportion By Weight	Common Name	Botanical Name	Minimum % Germ. Pure	Max. % SdWeedSd.	Seed Rate Lbs./1000SY
20.0%	Perennial Ryegrass mixture. Combination of improved certified varieties with no one variety exceeding 50% of the ryegrass component	Lolium Perenne (variety "Lynn" is unacceptable)	90 98	0.15	4.5
30.0%	Creeping Red or Chewings Fescue	Festuca Rubra or Festuca Rubra Commutata	85 98	0.15	6.5
50.0%	Kentucky Bluegrass mixture. A combination of improved certified varieties with no one variety exceeding 25% of the bluegrass component	POA Pratensis	80 98	0.20	11.5

**Mixture 2:** (PennDOT Formula C, in accordance with Publication 408, Section 804, latest edition) Utilize on steep slopes unsuitable for regular maintenance.

Proportion By Weight	Common Name	Botanical Name	Minimum % Germ. Pure	Max. % SdWeedSd.	Seed Rate Lbs./1000SY
45.0%	Crownvetch	Coronilla varia	45 99	0.10	5.5
55%	Annual Ryegrass	Lolium multiflorum	60 95	0.10	6.5

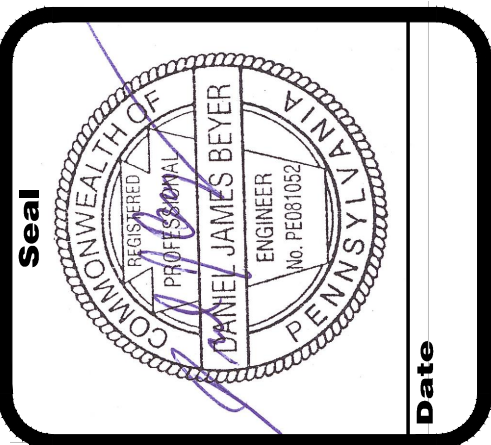
**NOTES:**

1. STAKE ALL DECIDUOUS TREES
2. NEVER CUT PRIMARY LEADERS.
3. PRUNE ONLY TO REMOVE DAMAGED OR BROKEN BRANCHES.
4. LANDSCAPE FABRIC/WEED BARRIER IS REQUIRED IN PLANTING BEDS. TREES PLANTED WITHOUT SHRUBS UNDERNEATH DO NOT REQUIRE FABRIC.



**GENERAL NOTES -- PLANTING**

1. THE CONTRACTOR IS TO FURNISH PLANTING SOIL FOR USE ON THIS PROJECT. PLANTING SOIL MIXTURE IS TO CONSIST OF 1 PART HUMUS TO 2 PARTS SCREENED TOPSOIL (FREE OF ROCKS, TWIGS, LEAVES, STONES LARGER THAN 3/8" IN ANY DIMENSION). ADDITIONALLY, THE LANDSCAPE CONTRACTOR IS TO MIX SOIL AMENDMENTS INTO THE PLANTING SOIL AS RECOMMENDED AFTER 3RD PARTY TESTING OF THE SOIL (PAID BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST OF THE OWNER). SOIL AMENDMENTS MAY CONSIST OF FERTILIZER, LIME, ETC. UNLESS OTHERWISE NOTED, PLACE PLANTING SOIL IN BEDS TO A DEPTH OF 12" MIN.
2. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPE-WRITTEN WARRANTY SIGNED BY AN AUTHORIZED REPRESENTATIVE. WARRANTY TREES AND SHRUBS FOR A PERIOD OF ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL. REMOVE AND REPLACE DEAD PLANT MATERIALS OR WHICH ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT MATERIAL WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF THE CONTRACTOR TO COMPLY WITH THE PROJECT REQUIREMENTS.
3. MAINTENANCE: UPON COMPLETION OF CONSTRUCTION AND THE EXPIRATION OF ANY APPLICABLE CONTRACTOR WARRANTY PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LONG-TERM MAINTENANCE OF THE LANDSCAPING IN GOOD CONDITION.
4. THE LANDSCAPE CONTRACTOR SHALL STAKEOUT PLANT LOCATIONS IN THE FIELD. THE ENGINEER OR HIS REPRESENTATIVE SHALL OBSERVE THESE LOCATIONS PRIOR TO COMMENCING PLANT PIT EXCAVATION. THE LANDSCAPE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUESTED BY THE ENGINEER.
5. THE LANDSCAPE CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD BARK MULCH TO A DEPTH OF 4" UNDER AND SURROUNDING ALL NEW LANDSCAPED MASS PLANTING AREAS (PLANTING BEDS) TO PROVIDE A UNIFORM AND CONTINUOUS SURFACE AND APPEARANCE BETWEEN AND AROUND ALL PLANT MATERIAL, BUILDING LINES, AND PAVED AREAS. IN GENERAL, THIS PERTAINS TO ALL PLANT MATERIAL THAT IS PLANTED CLOSER THAN SIX FEET (6') CENTER TO CENTER. IT IS THE INTENT OF THIS CONTRACT TO INSTALL LANDSCAPE MAT UNDER THE ENTIRE AREA OF SHREDDED BARK MULCH.
6. SEEDED AREAS THAT WASH OUT MUST BE FILLED WITH TOPSOIL AND GRADED AS NECESSARY AND THEN RESEEDED. SOME TYPE OF ANCHORING METHOD SHOULD THEN BE USED TO HOLD SEED AND MULCH IN PLACE; THIS IS ESPECIALLY IMPORTANT AROUND WATER COURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, AND ON SLOPES.
7. ALL AREAS NOT UTILIZED FOR STRUCTURES, DRIVEWAYS, PLANTING AREAS OR PARKING FACILITIES MUST BE SEEDED, SODDED OR OR LANDSCAPED WITHIN A REASONABLE TIME PERIOD.
8. ALL LAWN AREAS TO HAVE 6" TOPSOIL SEED AND MULCH. CONTRACTOR RESPONSIBLE FOR TWO LAWN CUTTINGS PRIOR TO LAWN MAINTENANCE TURNOVER TO OWNER.
9. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING.
11. ALL PLANTING AREAS TO BE FULLY MULCHED AND COVERED WITH 4" MIN DEPTH OF WOOD CHIPS AND/OR BARK OVER PROPERLY ANCHORED POROUS WEED BARRIER FABRIC SUCH AS AGRITEX MAT, TYPAR, OR EQUAL.
12. ALL AREAS NOTED "GRADE AND SEED", "GRADE AND SOD", "LAWN" AND "PLANTING AREA" WILL RECEIVE TOP SOIL AS INDICATED IN STANDARD SPECIFICATIONS.
13. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.



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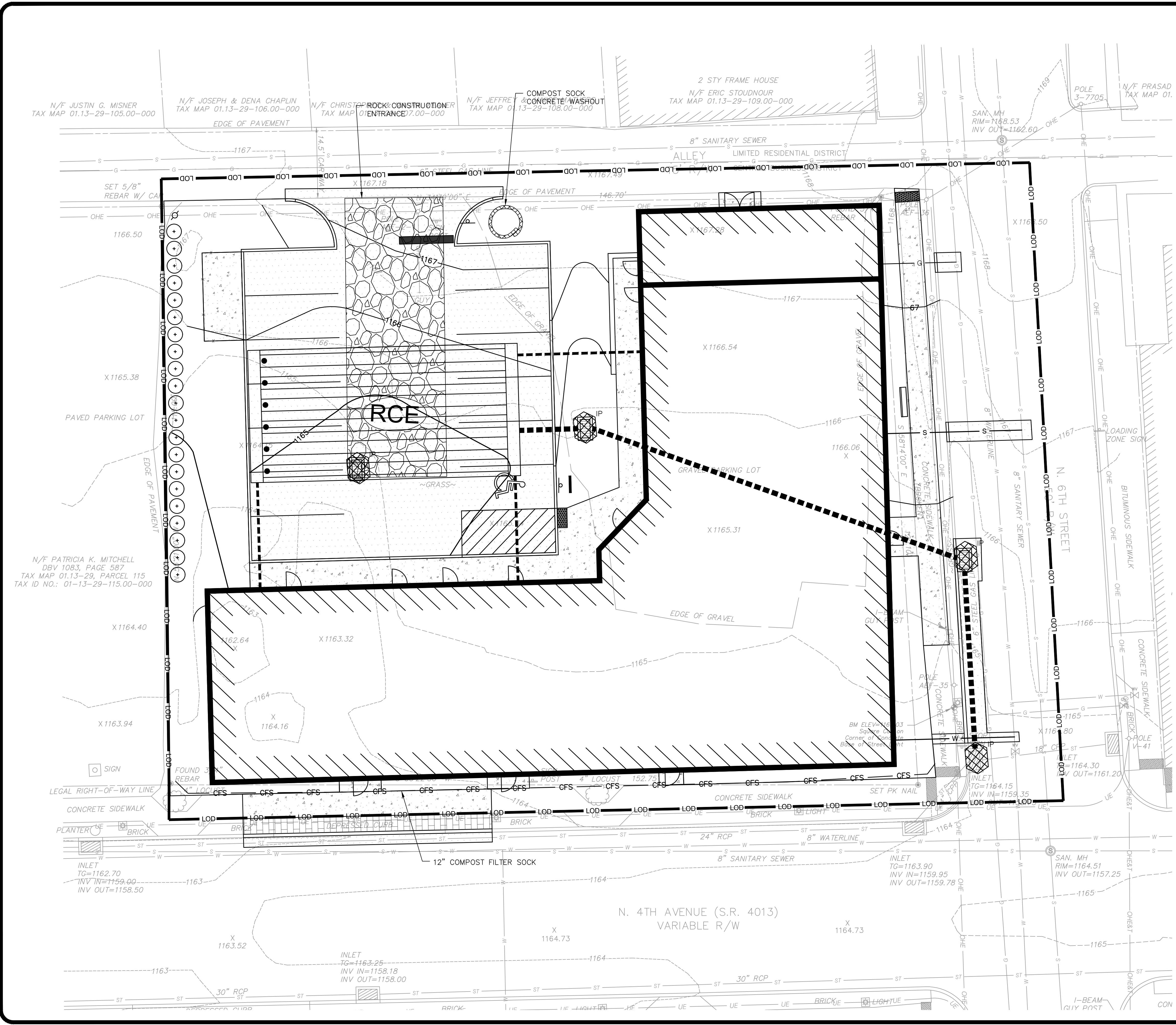
**521 N. 4TH AVENUE**  
**LAND DEVELOPMENT PLANS**  
**DAZZLING REALTY, LLC**  
 CITY OF ALTOONA, BLAIR COUNTY, PA  
**DETAILS**

**Drawing No.**  
**C-5.04**







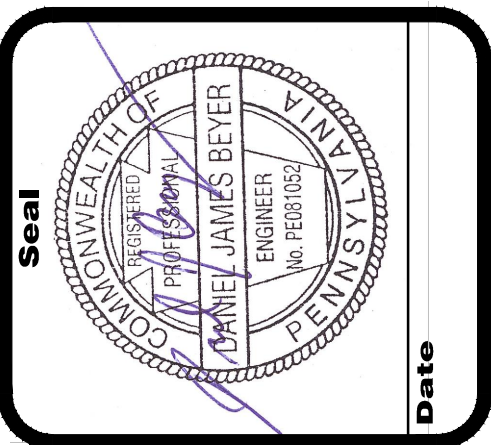


**LEGEND**

- EXISTING**
- RIGHT-OF-WAY LINE
  - PROPERTY LINE
  - SETBACK LINE
  - ADJOINING PROPERTY LINE
  - CONTOURS
  - ST --- STORM DRAIN INLET
  - W --- WATER LINE
  - ⊕ --- FIRE HYDRANT
  - S --- SANITARY SEWER LINE
  - ⊙ --- SANITARY SEWER MANHOLE
  - G --- NATURAL GAS LINE
  - E&T --- ELECTRIC & TELEPHONE
  - ⊕ --- UTILITY POLE
  - ⬤ --- LIGHTS
  - ⬤ --- SIGN
  - 🌳 --- TREES/SHRUBS
- PROPOSED**
- ✕ REMOVE
  - 6" CONCRETE CURB
  - CONCRETE SURFACE
  - BITUMINOUS PAVEMENT
  - GRAVEL SURFACE
  - CONTOURS
  - ⊕ --- STORM INLET
  - ⊙ --- STORM MANHOLE
  - ST --- STORM DRAIN
  - ② --- STORM STRUCTURE NUMBER
  - CFS --- COMPOST FILTER SOCK
  - LOD --- LIMIT OF DISTURBANCE
  - NPDES --- NPDES PERMIT BOUNDARY
  - UZB --- SOIL TYPE
  - EROSION CONTROL BLANKET

**NOTES:**

1. THE RECEIVING WATERS FOR THE PROJECT IS SPRING RUN (TSF,MF).
2. LIMIT OF DISTURBANCE = 0.60 ACRES
3. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROAD FREE OF ALL MUD FROM CONSTRUCTION AND DELIVERY VEHICLES. AFTER EACH VEHICLE LEAVES THE SITE, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS MUST BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE FOR DISPOSAL.



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**521 N. 4TH AVENUE  
LAND DEVELOPMENT PLANS  
DAZZLING REALTY, LLC  
CITY OF ALTOONA, BLAIR COUNTY, PA  
EROSION AND SEDIMENT  
CONTROL PLAN**

**Drawing No.  
C7.00**







**STAGING OF EARTHMOVING ACTIVITIES**

PLANNING, COORDINATION, OF CONSTRUCTION AND MINIMIZING THE AREA OF DISTURBANCE ARE KEY FACTORS IN REDUCING SEDIMENT POLLUTION. THE CONTRACTOR SHALL CONTACT THE BLAIR COUNTY CONSERVATION DISTRICT AT LEAST 10 DAYS PRIOR TO ANY CONSTRUCTION.

MINIMIZE THE DURATION OF EXPOSURE OF READILY ERODIBLE SOILS. CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED SO THAT EXCAVATION CAN, TO THE GREATEST EXTENT POSSIBLE, BE BACKFILLED AT THE CLOSE OF EACH WORKING DAY; WHEREBY ONLY A MINIMUM QUANTITY OF EXCAVATED MATERIAL WILL BE STOCKPILED AND SUBJECT TO LOSS.

RESTORATION WORK SHALL BE DONE AS THE PROJECT PROGRESSES AND NOT BE LEFT UNTIL THE END OF THE PROJECT. NO AREAS SHALL BE LEFT UNPROTECTED FOR A PERIOD OF MORE THAN 72 HOURS.

ALL AREAS ON WHICH FINAL GRADING IS COMPLETED AFTER OCTOBER 15TH MUST BE PROTECTED BY A WELL ANCHORED MULCH UNTIL SPRING WHEN EFFECTIVE SODDING CAN BE UNDERTAKEN.

AFTER PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY.

PERMANENT SITE STABILIZATION IS DEFINED AS A UNIFORM EROSION RESISTANT PERENNIAL VEGETATION ESTABLISHED TO THE POINT WHERE THE SURFACE SOIL IS CAPABLE OF RESISTING EROSION DURING RUNOFF EVENTS AND HAS UNIFORM COVERAGE OR DENSITY OF 70% ACROSS THE ENTIRE AREA.

ALL "CONSTRUCTED" ITEMS LISTED IN THE CONSTRUCTION SEQUENCE ARE TO BE COMPLETED PRIOR TO MOVING ON TO THE NEXT ITEM IN THE SEQUENCE UNLESS OTHERWISE NOTED.

**RECYCLING MEASURES**

THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO , EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIAL IS PREFERRED, RATHER THAN DISPOSAL.

ALL RECYCLABLE MATERIAL SHALL BE SEPARATED AND BE TAKEN TO AN APPROPRIATE RECYCLING FACILITY. ALL OTHER WASTE MATERIALS, EXCEPT EXCESS SOIL, SHALL BE DISPOSED OF OFF-SITE AT A LEGAL SANITARY LANDFILL. EXCESS SOIL WASTE AND BORROW AREAS SHALL RECEIVE PRIOR APPROVAL FROM THE CONSERVATION DISTRICT AND SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED.

NO BUILDING DEMOLITION WASTES SHALL BE USED OR PLACED AS FILL MATERIAL EITHER ON-SITE OR OFF-SITE. ALL BUILDING DEMOLITION WASTES SHALL BE PROPERLY DISPOSED OF OR RECYCLED AS DISCUSSED ABOVE.

OFFSITE DISPOSAL OF WASTE IN REGARD TO THE DEMOLITION PLAN ARE TO BE HANDLED IN THE FOLLOWING MANNER: THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 P.A. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM 'USED ASPHALT' DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

**GENERAL EROSION CONTROL NOTES**

THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE COUNTY CONSERVATION DISTRICT FOR ALL OFF-SITE BORROW AND WASTE AREAS.

EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.

AFTER THE CONSTRUCTION PHASE IS COMPLETE, SOD OR SEED THE AREAS THAT HAVE BEEN DISTURBED AS RAPIDLY AS POSSIBLE. ALL DISTURBED LAWN AREAS SHALL BE RESTORED WITH A MINIMUM 4" OF TOPSOIL AND SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE PLAN. IF THE COMPLETION OF THE CONSTRUCTION ACTIVITIES DOES NOT COINCIDE WITH A SEASON IN WHICH PERMANENT VEGETATION CAN BE STARTED, AN INTERIM OR TEMPORARY PROGRAM IS REQUIRED. THIS SHALL INCLUDE MULCHING OR TEMPORARY SEEDING IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE PLAN. IN ANY CASE, SEDIMENT AND EROSION CONTROLS SHALL BE INSTALLED PROMPTLY AND THEIR MAINTENANCE ASSURED. PERMANENT SOD AND SEEDING INSTALLATION SHALL BE DONE PRIOR TO OCTOBER 15.

AFTER PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY. PERMANENT SITE STABILIZATION IS DEFINED AS UNIFORM EROSION RESISTANT PERENNIAL VEGETATION ESTABLISHED TO THE POINT WHERE THE SURFACE SOIL IS CAPABLE OF RESISTING EROSION DURING RUNOFF EVENTS AND HAS UNIFORM COVERAGE OR DENSITY OF 70% ACROSS THE ENTIRE AREA.

ALL EROSION AND SEDIMENTATION CONTROLS AND PRACTICES SHALL CONFORM TO THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENT PROTECTION CHAPTER 102--EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.

SOIL EROSION AND SEDIMENTATION WITHIN THE PROJECT LIMIT OF DISTURBANCE WILL BE TEMPORARILY CONTROLLED BY THE USE OF A INLET FILTER BAGS, COMPOST FILTER SOCKS AND TEMPORARY SEEDING (IF REQUIRED).

THE DISTURBED AREAS WITHIN THE SITE SHALL BE PERMANENTLY STABILIZED BY THE USE OF SOD, SEEDING OR STABILIZED SURFACING.

**SEEDING TABLE**

SPECIES	PURE LIVE SEED	SEED BY WEIGHT	SEEDING RATE (LB./AC.)	FERTILIZER TYPE	FERTILIZER RATE (LB./AC.)	LIMING RATE (TON/AC.)	MULCH TYPE	MULCH RATE (T./AC.)	ANCHOR MATERIAL	ANCHOR METHOD	ANCHOR MATERIAL RATE
TEMPORARY											
ANNUAL RYEGRASS	98%	N/A	50	10-10-10	450	1/4	STRAW	3	N/A	N/A	N/A
PERMANENT											
PERENNIAL RYEGRASS	98%	20%	102	10-20-20	680	2	STRAW	3	EMULSIFIED ASPHALT	SPRAY	150 GAL./AC.
CREeping RED FESCUE	98%	30%	102	10-20-20	680	2	STRAW	3	EMULSIFIED ASPHALT	SPRAY	150 GAL./AC.
KENTUCKY BLUEGRASS	98%	50%	102	10-20-20	680	2	STRAW	3	EMULSIFIED ASPHALT	SPRAY	150 GAL./AC.

\*\* ORGANIC EROSION CONTROL BLANKETS AS SPECIFIED IN THE NARRATIVE.

NOTES: SEASON SEEDING DATES FOR PERMANENT AND CHANNEL/STEEP SLOPE SEEDING IS MARCH 15-JUNE 1, AUGUST 1-OCTOBER 15

**EROSION AND SEDIMENT POLLUTION CONTROL MAINTENANCE SCHEDULE**

ALL SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE CHECKED FOR DAMAGE AND CLOGGING ON A WEEKLY BASIS AND AFTER EACH STORM. ALL FACILITIES THAT ARE DAMAGED, CLOGGED, OR CAN NO LONGER PERFORM IN THE MANNER FOR WHICH THEY WERE DESIGNED SHALL BE REPLACED IMMEDIATELY.

A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTD AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION. ANY PERMANENT SEEDED AREAS THAT BECOME ERODED SHALL HAVE THE TOPSOIL REPLACED AND THE GRASS RESOWN WITH NEW MULCH APPLIED. IF CULTIVATION OF A NEW LEGUME OR GRASS CROP IS NOT PRACTICAL IN THE ERODED AREA, THE CONTRACTOR SHALL INSTALL SOD.

IF THE VEGETATIVE COVER ESTABLISHED IS ALLOWED TO DETERIORATE AND BECOME INEFFECTIVE, A FERTILIZATION AND RESEEDING PROGRAM SHALL BE ESTABLISHED AND CARRIED OUT AS THE CONSTRUCTION PROCEEDS. AREAS WHERE FAILURES HAVE BEEN EXPERIENCED IN THE ESTABLISHMENT OF BOTH PERMANENT AND TEMPORARY VEGETATIVE PROTECTION SHALL BE PROMPTLY TREATED. THE RE-ESTABLISHMENT OF PERMANENT VEGETATIVE COVER SHALL BE INITIATED AS SOON AS POSSIBLE.

WHEN THE ACCUMULATION OF SEDIMENT IN THE CONTROL DEVICES REACHES 1/3 THE DEPTH OF THE DEVICE, THE SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN SUCH LOCATIONS AS DETERMINED BY THE CONTRACTOR AND APPROVED BY THE OWNER. THESE LOCATIONS SHALL BE SELECTED SUCH THAT THE SEDIMENT WILL NOT ERODE INTO THE CONSTRUCTION AREA OR ANY NATURAL WATERWAY.

ALL SEDIMENT AND EROSION FACILITIES MUST BE MAINTAINED IN OPERATING CONDITION UNTIL UPSTREAM AREAS ARE STABILIZED WITH FINAL

THE CONTRACTOR WILL IMPLEMENT THIS PLAN, INCLUDING CONSTRUCTION AND MAINTENANCE.

THE OWNER IS RESPONSIBLE TO INSURE THAT THE CONTRACTOR IS PERFORMING THE WORK AS DETAILED IN THIS PLAN.

EROSION FACTOR K INDICATES THE SUSCEPTIBILITY OF A SOIL TO SHEET AND RILL EROSION BY WATER. FACTOR K IS ONE OF THE FACTORS USED TO PREDICT THE AVERAGE ANNUAL RATE OF SOIL LOSS BY SHEET AND RILL EROSION IN TONS PER ACRE PER YEAR. THE ESTIMATES ARE BASED PRIMARILY ON PERCENTAGE OF SILT, SAND, AND ORGANIC MATTER AND ON SOIL STRUCTURE AND SATURATED HYDRAULIC CONDUCTIVITY (KSAT). VALUES OF K RANGE FROM 0.10 TO 0.28. OTHER FACTORS BEING EQUAL, THE HIGHER THE VALUE, THE MORE SUSCEPTIBLE THE SOIL IS TO SHEET AND RILL EROSION BY WATER.

EROSION FACTOR KF (ROCK FREE) INDICATES THE ERODIBILITY OF THE FINE-EARTH FRACTION, OR THE MATERIAL LESS THAN 2 MILLIMETERS IN SIZE. AS CAN BE SEEN IN THE APPENDIX SECTION C (SOIL DESCRIPTIONS AND LIMITATIONS) THE PROJECT SOIL INDICATES A KF (ROCK FREE) FACTOR OF 0.20-0.28 WHICH WOULD INDICATE A RELATIVELY LOW RISK OF EROSION.

EROSION FACTOR KW (WHOLE SOIL) INDICATES THE ERODIBILITY OF THE WHOLE SOIL. THE ESTIMATES ARE MODIFIED BY THE PRESENCE OF ROCK FRAGMENTS. AS CAN BE SEEN IN THE APPENDIX SECTION C (SOIL DESCRIPTIONS AND LIMITATIONS) THE PROJECT SOIL INDICATES A KW (WHOLE SOIL) FACTOR OF 0.10-0.24 WHICH WOULD ALSO INDICATE A RELATIVELY LOW RISK OF EROSION.

BASED UPON THE PROPOSED PROJECT SCOPE AND OUR REVIEW OF THE SOIL LIMITATIONS LISTED IN THE SOIL REPORTS, WE DO NOT ANTICIPATE ANY MAJOR ISSUES WITH THE SOILS EXISTING ON THE SITE. IF ANY SOIL LIMITATION ISSUES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL HALT CONSTRUCTION AND CONTACT THE ENGINEER PRIOR TO ANY ADDITIONAL EARTH MOVING ACTIVITIES.

BASED UPON SITE VISITS AND OUR REVIEW OF THE SOIL REPORTS, NO KNOWN NATURALLY OCCURRING GEOLOGIC FORMATION OR SOIL CONDITIONS THAT MAY HAVE THE POTENTIAL TO CAUSE POLLUTION DURING EARTH DISTURBANCE ACTIVITIES EXIST ON THE PROJECT SITE. IF ANY SUCH FORMATIONS OR SOILS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL HALT CONSTRUCTION AND CONTACT THE ENGINEER PRIOR TO ANY ADDITIONAL EARTH MOVING ACTIVITIES.

DURING CONSTRUCTION IF ANY SOIL LIMITATIONS (IE: BEDROCK, WATER TABLE DEPTH, HIGH ERODIBILITY, ETC.) ARE ENCOUNTERED THE CONTRACTOR SHOULD REFER TO THE DETAILED GEOTECHNICAL REPORT FOR GUIDANCE AND/OR CONSULT THE GEOTECHNICAL ENGINEER.

COMPOST FILTER SOCKS

1. FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL EVENT. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY.
2. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE SOCK FUNCTIONAL. IN ALL CASES, REMOVE DEPOSITS WHERE ACCUMULATIONS REACH 1/3 THE SOCK DIAMETER OR WHEN SEDIMENTS PROHIBIT FLOW THROUGH THE SOCK.

ROCK CONSTRUCTION ENTRANCE

1. ROCK CONSTRUCTION ENTRANCE WILL BE USED TO PREVENT SEDIMENT FROM ENTERING OR EXITING THE PROJECT SITE.
2. ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK.
3. AT THE END OF EACH WORK DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

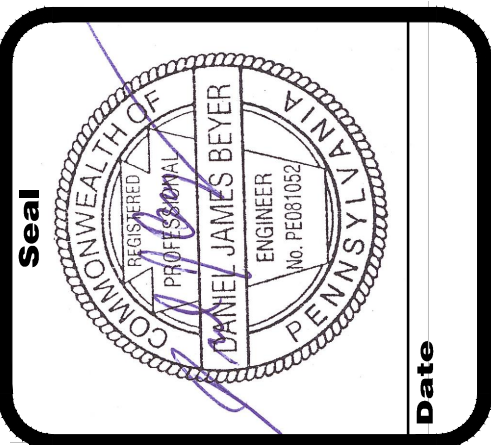
FILTER INLET PROTECTION

1. FILTER INLET PROTECTION WILL BE USED TO PREVENT SEDIMENT INFILTRATION INTO THE STORM SEWER SYSTEM AND STREAM CAUSED BY EXCAVATED MATERIAL.
2. AFTER EACH RAINFALL EVENT THE FILTER INLET PROTECTION SHOULD BE INSPECTED AND CLEANED AND REPLACED IF NECESSARY.

COMPOST SOCK CONCRETE WASHOUT

1. THE CONCRETE SOCK CONCRETE WASHOUT SHALL BE INSPECTED AT THE END OF EVERY CONCRETE POURING OPERATION. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY.
2. IN ALL CASES, REMOVE CONCRETE DEPOSITS WHERE ACCUMULATIONS REACH 1/3 THE SOCK DIAMETER OR WHEN CONCRETE/CEMENT DEPOSITS PROHIBIT FLOW THROUGH THE SOCK.

SOIL LIMITATIONS AND RESOLUTIONS	
LIMITATION	RESOLUTION
High Corrosivity to Concrete	Backfill all concrete structures with stone aggregate.
High Corrosivity to Uncoated Steel	Backfill all structural steel with stone aggregate.
Flooding	Excavations to be dewatered as necessary
Unstable Excavation Walls	Trench boxes and benching will be used to stabilize excavation walls.



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**521 N. 4TH AVENUE  
LAND DEVELOPMENT PLANS  
DAZZLING REALTY, LLC  
CITY OF ALTOONA, BLAIR COUNTY, PA  
EROSION AND SEDIMENT  
CONTROL DETAILS**

**Drawing No.  
C7.02**



**STANDARD E&S NOTES**

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
15. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
17. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES —6 TO 12 INCHES ON COMPACTED SOILS —PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
28. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
32. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
33. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
34. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED AS PER THE CONSTRUCTION DOCUMENTS.



No.	Sheet Revisions	Date
	REVISED PER CITY OF ALTOONA	1/29/21

Scale	AS NOTED
Date	OCTOBER 2020
Drawn By	ARR
Checked By	DJB
Project No.	0120-20-256
File No.	6021

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**521 N. 4TH AVENUE  
 LAND DEVELOPMENT PLANS  
 DAZZLING REALTY, LLC  
 CITY OF ALTOONA, BLAIR COUNTY, PA  
 EROSION AND SEDIMENT  
 CONTROL DETAILS**

**Drawing No.  
 C7.03**

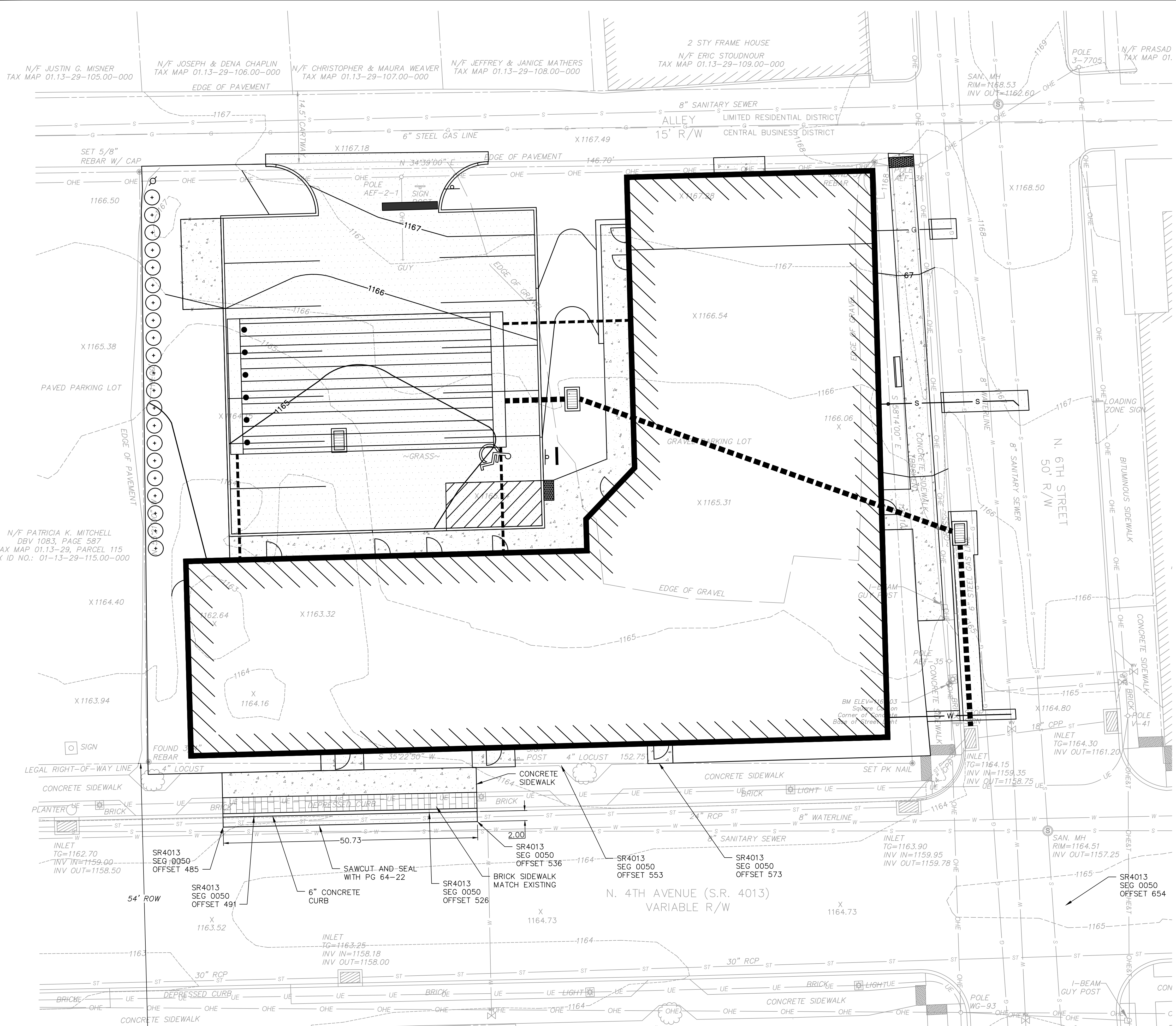












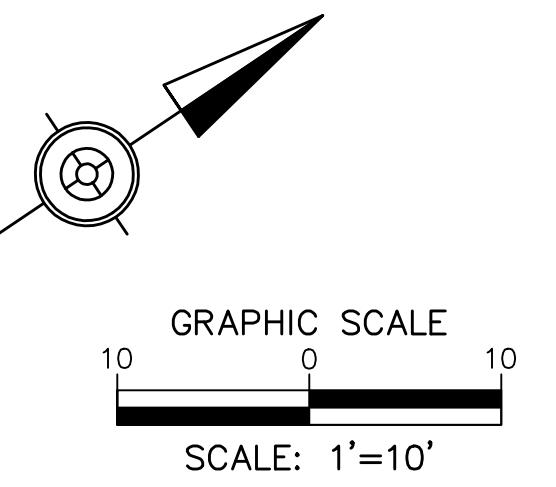
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 3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE AND 10 WORKING  
 DAYS IN DESIGN STAGE-STOP CALL

POCS SERIAL NUMBER 20200561249-000

**LIST OF UTILITIES**

- WATER SERVICE**  
 ALTOONA WATER AUTHORITY  
 832 20TH STREET  
 ALTOONA, PA, 16601  
 CONTACT: TIM MANLEY  
 EMAIL: TMANLEY@ALTOONAWATER.COM
- SANITARY SEWER**  
 ALTOONA WATER AUTHORITY  
 144 WESTERY TREATMENT PLANT RD  
 DUNCANSVILLE, PA 16635  
 CONTACT: MIKE BIANCONI  
 EMAIL: MBIANCONI@ALTOONAWATER.COM
- NATURAL GAS**  
 PEOPLES GAS COMPANY LLC  
 375 NORTH SHORE DRIVE  
 PITTSBURGH, PA 15212  
 CONTACT: MICHAEL DENNY  
 EMAIL: MICHAEL.DENNY@PEOPLES-GAS.COM
- ELECTRIC**  
 PENNSYLVANIA ELECTRIC CO  
 311 INDUSTRIAL PARK RD  
 JOHNSTOWN, PA 15904  
 CONTACT: KEITH GARDNER  
 EMAIL: KGARDNER@FIRSTENERGYCORP.COM
- CITY OF ALTOONA  
 1301 12TH STREET, SUITE 300  
 ALTOONA, PA. 16601  
 CONTACT: KEVIN BECHTEL  
 EMAIL: KBECHTEL@ALTOONAPA.GOV



No.	Sheet Revisions	Date
	REVISED PER CITY OF ALTOONA	1/29/21

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AS NOTED	OCTOBER 2020	ARR	DJB	0120-20-256	6021

**521 N. 4TH AVENUE  
 LAND DEVELOPMENT PLANS  
 DAZZLING REALTY, LLC**

**CITY OF ALTOONA, BLAIR COUNTY, PA**

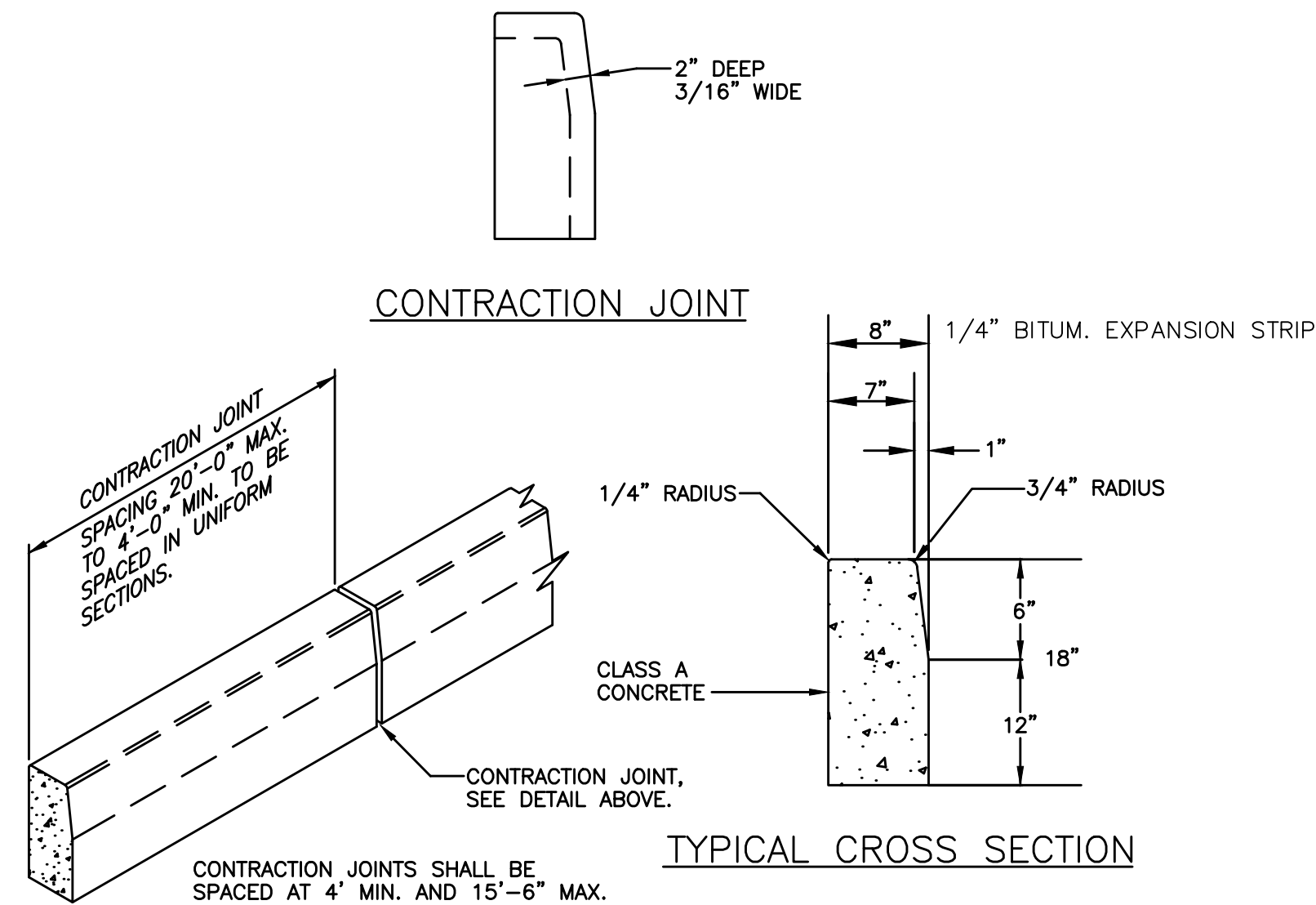
**HOP PLAN**

**Drawing No.  
 C9.00**

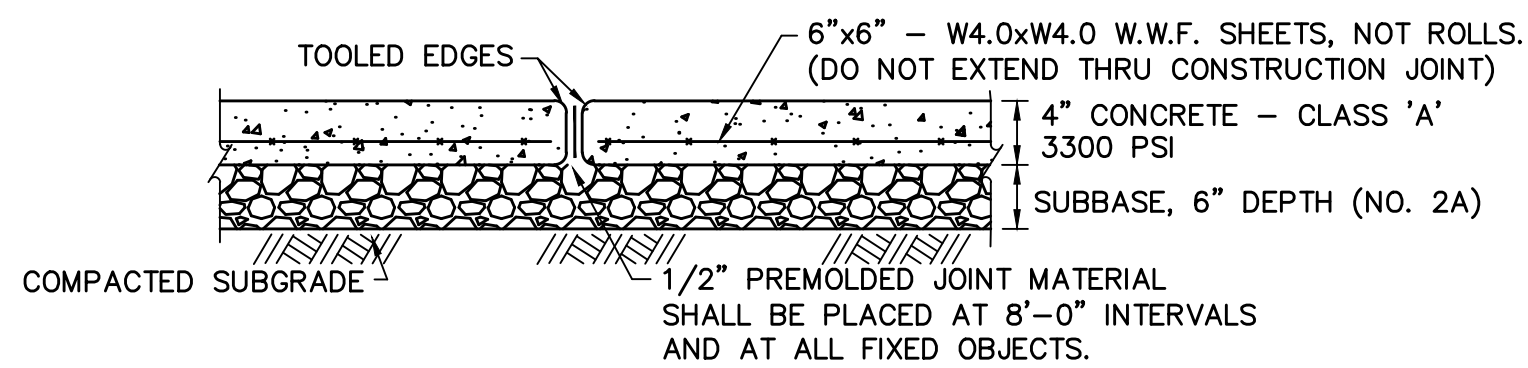
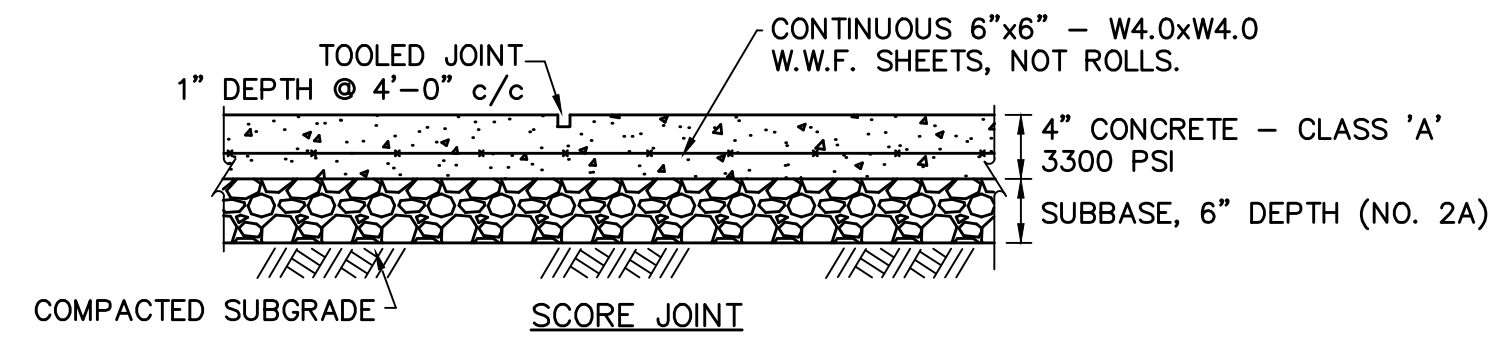








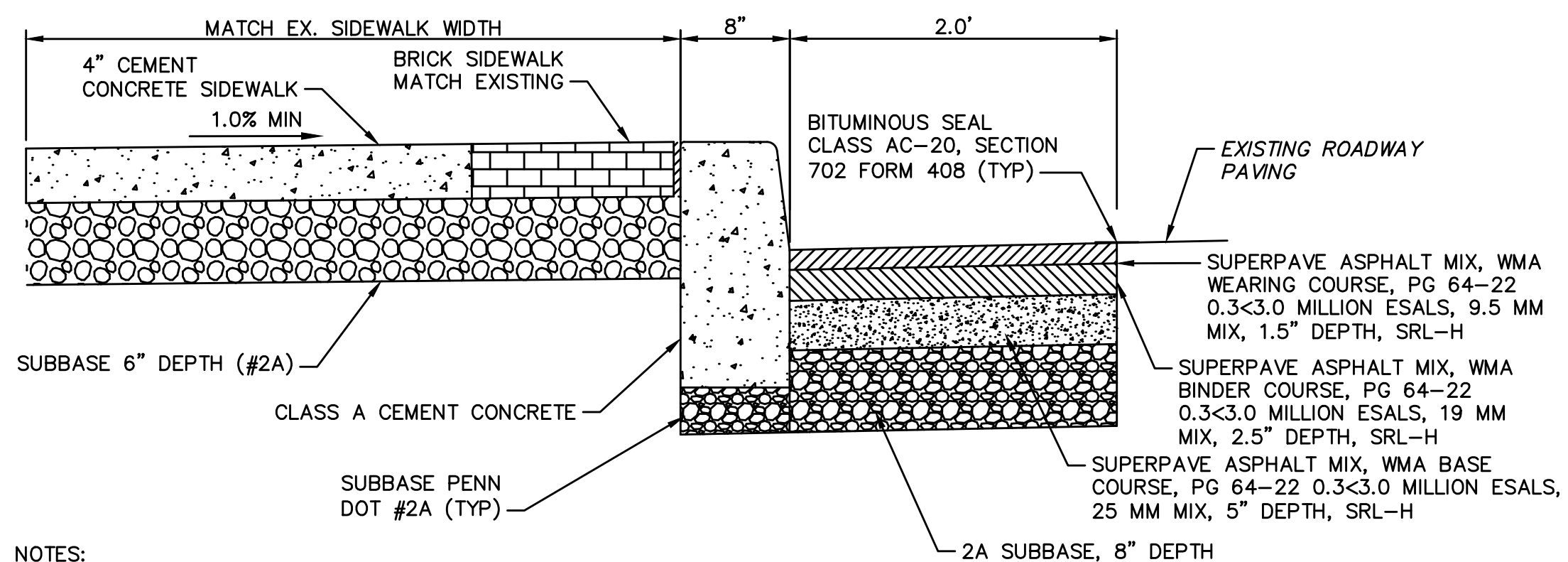
**6" CONCRETE CURB**  
 NO SCALE



**CONSTRUCTION JOINT**

NOTE:  
 WIRE FABRIC REINFORCEMENT SHALL BE LOCATED 1/3 OF TOTAL SLAB THICKNESS MEASURED FROM BOTTOM OF SLAB TO TOP OF FABRIC.

**CONCRETE SIDEWALK**  
 NO SCALE



NOTES:  
 1. ALL LONGITUDINAL JOINTS SHALL BE SEALED WITH PG 64-22.  
 2. BITUMINOUS TACK COAT MUST BE APPLIED BETWEEN EACH PAVEMENT LAYER AND ON VERTICAL EDGES.  
 3. 2A SUBBASE UNDER CURBING SHALL BE EXTENDED TO MEET BOTTOM OF 2A UNDER PAVEMENT.  
 4. EXISTING UNDERDRAIN SHALL BE REPLACED AS NECESSARY.

**TYPICAL SIDEWALK, CURB AND SR PAVING DETAIL**

NTS

**PATA 202-A**

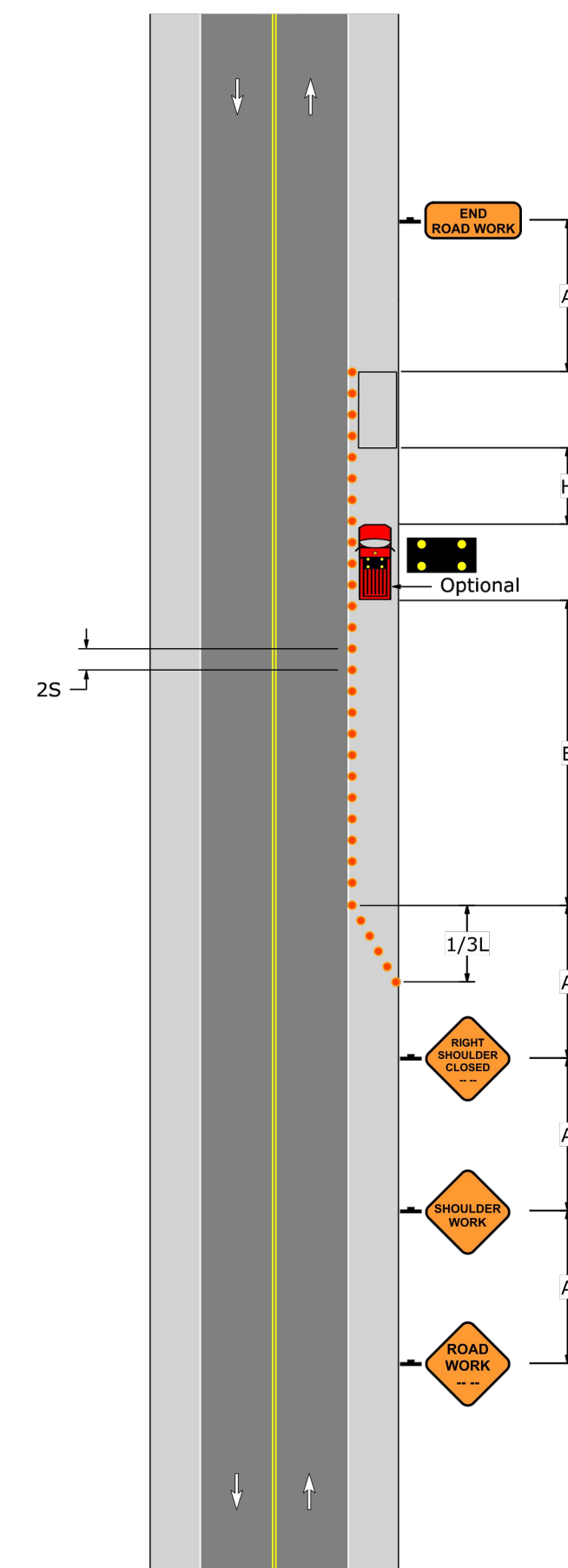
- TTC devices are not required if the work space is outside the highway right-of-way, behind barrier, more than 2' behind curb, or 15' or more from the edge of the roadway.
- When a shadow vehicle is not used, distance E is measured from the end of the taper to the beginning of the work space.

Signs			
W20-1	W21-5	W21-5BR	G20-2

Speed S (MPH)	Channelizing Devices Spacing 2S (Feet)	Sign Spacing A (Feet)		Buffer Space E (Feet)	Roll Ahead Space H (Feet)
		Urban	Rural		
25	50	100 - 200	500 - 800	155	150
30	60	100 - 200	500 - 800	200	150
35	70	100 - 200	500 - 800	250	150
40	80	350 - 500	500 - 800	305	150
45	90	350 - 500	500 - 800	360	150
50	100	350 - 500	500 - 800	425	250
55	110	350 - 500	500 - 800	495	250

Taper Lengths and Minimum Number of Channelizing Devices		
Speed S (MPH)	Shoulder Taper: 1/3L Length (Feet)	Minimum Number Of Devices
25	45	6
30	60	6
35	85	6
40	110	6
45	180	6
50	200	6
55	220	6

**PATA 202-A**



Scale

Date

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Project No. 0120-20-256

File No. 6021

Seal

PAUL JAMES BEYER  
 ENGINEER  
 No. FEBRUARY 1998

Date

Date	Revisions
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Date OCTOBER 2020

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Project No. 0120-20-256

File No. 6021

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**521 N. 4TH AVENUE**

**LAND DEVELOPMENT PLANS**

**DAZZLING REALTY, LLC**

**CITY OF ALTOONA, BLAIR COUNTY, PA**

**HOP NOTES**

Drawing No.

**C9.02**



**GENERAL NOTES - SECTION A  
GENERAL ITEMS**

A-1. NOT USED.

A-2. DISTANCES SHOWN IN THIS PUBLICATION ARE MINIMUM STANDARDS AND MAY BE INCREASED SLIGHTLY TO FIT FIELD CONDITIONS. DO NOT INCREASE DISTANCES LABELED AS A MAXIMUM DISTANCE. CHANNELIZING DEVICE SPACING INTERVALS SHOULD BE MAINTAINED AS SHOWN ON PATA DRAWINGS AND SPACING CHARTS.

A-3. IT IS ESSENTIAL TO SATISFY THE NEEDS AND CONTROL OF ALL HIGHWAY USERS (INCLUDING MOTORISTS, BICYCLISTS, PEDESTRIANS, AND PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990) TRAVELING THROUGH THE WORK ZONE. THIS ALSO APPLIES TO THE MANAGEMENT OF TRAFFIC INCIDENTS.

A-4. WHEN EXISTING PEDESTRIAN FACILITIES ARE DISRUPTED, CLOSED, OR RELOCATED, THE TEMPORARY FACILITIES SHALL BE DETECTABLE AND INCLUDE ACCESSIBILITY FEATURES CONSISTENT WITH THOSE PRESENT IN THE EXISTING FACILITY. SIDEWALK WIDTHS MUST BE 60" MINIMUM; HOWEVER THE WIDTH MAY BE REDUCED TO 48" IF 60"x60" PASSING AREAS ARE PROVIDED EVERY 200'. THE ACCESSIBLE PATH MUST BE 48" MINIMUM. BOTH PERMANENT AND TEMPORARY PEDESTRIAN FACILITIES MUST PROVIDE ACCESS TO PERSONS WITH DISABILITIES.

A-5. DO NOT PERFORM WORK OVER LANES OPEN TO LIVE TRAFFIC UNLESS EXPRESSLY AUTHORIZED BY THE DISTRICT TRAFFIC ENGINEER. WORK TAKING PLACE ON MAINTENANCE PLATFORMS, CATWALKS, OPEN BOOM TRUCKS, ETC., REQUIRES CLOSURE OF THE LANE OR LANES IMMEDIATELY BELOW. THIS RESTRICTION DOES NOT APPLY TO WORK WITHIN AN ENCLOSED ENVIRONMENT SUCH AS INSIDE A WALK-IN PERMANENT DYNAMIC MESSAGE SIGN.

A-6. ALL DETOURS INVOLVING STATE-DESIGNATED HIGHWAYS SHALL HAVE THE PRIOR APPROVAL OF PENNDOT. ALL DETOURS INVOLVING LOCAL HIGHWAYS SHALL HAVE THE PRIOR APPROVAL OF THE APPROPRIATE LOCAL AUTHORITIES.

A-7. TEMPORARY PAVEMENT MARKINGS ARE NOT REQUIRED FOR SHORT-TERM AND MOBILE OPERATIONS. WHEN TEMPORARY PAVEMENT MARKINGS ARE PLACED, ALL EXISTING PAVEMENT MARKINGS AND RAISED PAVEMENT MARKER LENSES THAT CONFLICT WITH THE TEMPORARY TRAFFIC PATTERN SHALL BE REMOVED. TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED WHEN THE PERMANENT MARKINGS ARE REINSTALLED.

A-8. ALL WORKERS ENGAGED IN OR ENTERING INTO ANY FIELD OPERATION INVOLVING MAINTENANCE, CONSTRUCTION, DESIGN, SURVEYING, INSPECTION, TRAFFIC STUDIES, ETC. AND/OR ARE EXPOSED TO MOVING VEHICLES AND REQUIRE TO WEAR HARD HATS MEETING ANSI TYPE I TYPE II REQUIREMENTS AND HIGH-VISIBILITY VESTS, T-SHIRTS OR SWEATSHIRTS WHICH MEET THE ANSI CLASS 2 OR 3 SAFETY GARMENT REQUIREMENTS. A RAINCOAT OR JACKET WHICH MEETS ANSI CLASS 2 OR 3 SAFETY GARMENT REQUIREMENTS MAY BE WORN DURING INCLEMENT WEATHER. FURTHERMORE:

- ALL VISITORS AND OTHERS PRESENT ON A WORK SITE IN AN OFFICIAL CAPACITY MUST COMPLY WITH THE REQUIREMENTS DETAILED ABOVE.

- PENNDOT EMPLOYEES SHALL REFER TO PUBLICATION 445, SAFETY POLICY MANUAL, AND ANY APPLICABLE PENNDOT MEMORANDA REGARDING PERSONAL PROTECTIVE EQUIPMENT (PPE) AND WORK ATTIRE.

- EMERGENCY AND INCIDENT RESPONDERS AND LAW ENFORCEMENT PERSONNEL WITHIN THE TEMPORARY TRAFFIC CONTROL (TTC) ZONE SHOULD WEAR HIGH-VISIBILITY PUBLIC SAFETY VESTS THAT MEET THE PERFORMANCE REQUIREMENTS OF THE ANSII/ISEA 207-2011 (SEE MUTCD, SECTION 1A.11), OR EQUIVALENT REVISIONS.

A-9. AUTHORIZED VEHICLES AS DEFINED IN TITLE 75, SECTION 102 (PENNSYLVANIA CONSOLIDATED STATUTES), ARE APPROVED TO BE EQUIPPED WITH FLASHING OR REVOLVING YELLOW WARNING LIGHTS. AUTHORIZED VEHICLES INCLUDE SHADOW VEHICLES, WORK VEHICLES, PRIVATE ESCORT VEHICLES, ETC. LIGHTS MUST BE ACTIVATED WHEN THE VEHICLE IS USED IN CONJUNCTION WITH AN ACTIVE OPERATION. WHITE FLASHING OR REVOLVING LIGHTS ARE ONLY AUTHORIZED TO BE MOUNTED ON EMERGENCY VEHICLES AS PER THE PENNSYLVANIA CODE, CHAPTER 173. EMERGENCY VEHICLES ARE THOSE OPERATED BY STATE AND LOCAL POLICE, FIRE DEPARTMENTS, ETC.

A-10. PARKING MAY BE PROHIBITED ALONG CONVENTIONAL HIGHWAYS IN CONJUNCTION WITH ROAD WORK. COORDINATE WITH LOCAL AUTHORITIES TO REQUEST TEMPORARY PARKING PROHIBITION SIGNING AND ENFORCEMENT. PARKING IS PROHIBITED BY STATUTE ON ALL LIMITED ACCESS HIGHWAYS INCLUDING ENTRANCE AND EXIT RAMPS.

A-11. FOR ALL CONSTRUCTION PROJECTS INVOLVING ROAD WORK, A TEMPORARY TRAFFIC CONTROL (TTC) PLAN MUST BE INCLUDED OR PATA DRAWINGS MUST BE REFERENCED TO ADDRESS TEMPORARY TRAFFIC CONTROL. EXISTING TRAFFIC SIGNALS WITHIN THE WORK ZONE AND ALONG DETOUR ROUTES, IF ANY, MAY REQUIRE PHASING AND/OR PHASING MODIFICATIONS TO ACCOMMODATE TEMPORARY TRAFFIC PATTERNS. THE PRIMARY CONTRACTOR IS RESPONSIBLE TO SUBMIT A LETTER TO THE DISTRICT TRAFFIC ENGINEER TO EITHER CONFIRM THAT EXISTING TRAFFIC SIGNAL TIMING IS ADEQUATE TO CONTROL TEMPORARY TRAFFIC PATTERNS WITHOUT A SIGNIFICANT DECREASE IN THE LEVEL OF SERVICE, OR THAT TRAFFIC SIGNAL TIMINGS WILL REQUIRE MODIFICATION TO MAINTAIN ACCEPTABLE LEVELS OF SERVICE. THIS LETTER SHALL BE RECEIVED PRIOR TO PLACING LANE RESTRICTIONS. A COPY OF THE CAPACITY ANALYSIS REPORT MAY BE REQUESTED BY THE DISTRICT TRAFFIC ENGINEER. THE CONTRACTOR IS REQUIRED TO ABIDE BY THE TEMPORARY SIGNAL PERMIT PROCESS PRIOR TO BEGINNING WORK IF SIGNAL MODIFICATIONS ARE RECOMMENDED BY THE DISTRICT TRAFFIC UNIT. REFER TO PUBLICATION 46, CHAPTER 12, AND PUBLICATION 149, CHAPTER 14.

A-12. MOBILE OPERATIONS (PATA 300 AND 600 SERIES) THAT OCCUPY A TRAVEL LANE SHALL PROCEED IN THE DIRECTION OF NORMAL TRAFFIC FLOW. MOBILE OPERATIONS TAKING PLACE OFF OF THE ROADWAY SHALL PROCEED IN THE SAME DIRECTION AS THE NEAREST LANE OF TRAFFIC FLOW.

**GENERAL NOTES - SECTION B  
FLAGGERS AND FLAGGING OPERATIONS**

B-1. ALL FLAGGERS AT A MINIMUM SHALL HAVE TRAINING AS PER THE MOST CURRENT VERSION OF PUBLICATION 408, SECTION 901.3(V), FLAGGER TRAINING. BECAUSE FLAGGERS ARE RESPONSIBLE FOR PUBLIC SAFETY AND MAKE THE GREATEST CONTACT WITH THE PUBLIC, IT IS ESSENTIAL TO PRACTICE SAFE TRAFFIC CONTROL AND PUBLIC CONTACT TECHNIQUES. FLAGGERS MUST DEMONSTRATE THE FOLLOWING ABILITIES:

- RECEIVE AND COMMUNICATE SPECIFIC INSTRUCTIONS CLEARLY, FIRMLY, AND COURTEOUSLY.
- MOVE AND MANEUVER QUICKLY IN ORDER TO AVOID DANGER FROM ERRANT VEHICLES. THIS MEANS A FLAGGER SHALL NOT BE IN A SITTING POSITION AND NO VEHICLES SHALL BE PARKED NEAR THE FLAGGING STATION.
- CONTROL SIGNALING DEVICES (SUCH AS STOP/SLOW PADDLES AND FLAGS) IN ORDER TO PROVIDE CLEAR AND POSITIVE GUIDANCE TO DRIVERS APPROACHING A TEMPORARY TRAFFIC CONTROL ZONE.
- MAINTAIN SITUATIONAL AWARENESS, PROTECT THE WORK CREW, AND PROVIDE GUIDANCE AND DIRECTION TO THE TRAVELING PUBLIC.

B-2. FLAGGERS MUST BE CLEARLY VISIBLE TO TRAFFIC FOR A MINIMUM DISTANCE OF E. THIS DISTANCE IS BASED UPON THE SPEED LIMIT AND IS FOUND ON THE APPLICABLE PATA NOTES PAGE.

B-3. FLAGGERS MUST BE AWARE OF THE PUBLIC IMAGE THEY PROJECT AT ALL TIMES. BEHAVIOR THAT COULD BE CONSTRUED AS UNPROFESSIONAL, SUCH AS UTILIZING CELL PHONES FOR PERSONAL CONVERSATIONS, TEXTING, ETC., IS PROHIBITED WHILE PERFORMING FLAGGING DUTIES. FLAGGERS ACTIVELY PERFORMING TRAFFIC CONTROL DUTIES SHALL NOT PARTICIPATE IN WORK NOT DIRECTLY RELATED TO TRAFFIC CONTROL.

B-4. ADDITIONAL FLAGGERS SHALL BE UTILIZED TO MAINTAIN CONTROL OF TRAFFIC AT ALL SIDE ROADS, DRIVEWAYS, ETC. THAT INTERSECT THE WORK ZONE BETWEEN THE FLAGGER LOCATIONS. IF NECESSARY, PROVIDE ADDITIONAL FLAGGERS TO PROPERLY CONTROL ALL MOVEMENTS WITHIN AN INTERSECTION.

B-5. WHEN MULTIPLE FLAGGERS ARE USED, THEY SHALL BE IN COMMUNICATION WITH EACH OTHER AT ALL TIMES.

B-6. EXCEPT IN EMERGENCY SITUATIONS, EACH FLAGGER STATION SHALL BE ILLUMINATED AT NIGHT WITH A PORTABLE OVERHEAD LIGHTING SOURCE THAT PROVIDES AN AVERAGE LUMINANCE OF 5 FOOT CANDLES COVERING AN AREA OF 2,500 SQUARE FEET (APPROXIMATELY 50'X50' OR 28' RADIUS). THIS MAY BE ACHIEVED WITH LIGHTS OF 30,000 TO 40,000 LUMENS. THE LIGHTING SOURCE SHALL HAVE A MINIMUM COLOR TEMPERATURE OF 3,000 DEGREES AND A MAXIMUM OF 4,000 DEGREES. POSITION THE LIGHT SO FLAGGERS CAN BE SEEN AND NOT CAUSE EXCESSIVE GLARE TO MOTORISTS.

B-7. WHEN A HIGHWAY-RAIL GRADE CROSSING EXISTS WITHIN THE WORK ZONE, OR IT IS ANTICIPATED THAT QUEUES RESULTING FROM THE LANE CLOSURE MIGHT EXTEND THROUGH A HIGHWAY-RAIL GRADE CROSSING, PROVISIONS SHALL BE MADE TO ELIMINATE CONFLICTS, WHICH MAY REQUIRE PLACING A FLAGGER AT THE CROSSING. COORDINATION WITH THE RAILROAD IS REQUIRED.

B-8. IT IS RECOMMENDED THAT FLAGGERS STOP TRAFFIC FOR AS LITTLE TIME AS POSSIBLE.

B-9. THE STOP/SLOW PADDLE IS THE PRIMARY TRAFFIC CONTROL DEVICE USED BY FLAGGERS. THE STOP/SLOW PADDLE:

- SHALL BE HELD UNDER CONTROL OF THE FLAGGER AT ALL TIMES. DO NOT SUPPORT THE PADDLE BY INSERTING THE SHAFT INTO A CHANNELIZING DEVICE, CART, OR OTHER DEVICE WHICH IS NOT LISTED IN PUBLICATION 35 BULLETIN 15 AS AN APPROVED PADDLE SUPPORT DEVICE.
- SHALL DISPLAY AN 18" MINIMUM STOP SIGN ON ONE FACE AND A DIAMOND SHAPED SLOW SIGN ON THE OPPOSITE FACE, BOTH OF WHICH SHALL BE RETROREFLECTIVE.
- SHALL BE ATTACHED TO A SHAFT THAT HAS A MINIMUM LENGTH OF 72".

B-10. A RED FLAG SHALL BE USED AT INTERSECTIONS WHERE A SINGLE FLAGGER CONTROLS TRAFFIC APPROACHING FROM MORE THAN ONE DIRECTION. A RED FLAG MAY ALSO BE USED IN EMERGENCY SITUATIONS WHEN A STOP/SLOW PADDLE IS NOT AVAILABLE. IT IS UNACCEPTABLE TO CONTROL TRAFFIC WITH AN ORANGE FLAG THAT IS NORMALLY USED TO SUPPLEMENT WARNING SIGNS. RED FLAGS:

- SHALL BE SOLID RED IN COLOR WITH NO STRIPES OR PATTERNS.
- SHALL HAVE A MINIMUM SIZE OF 24" SQUARE.
- SHALL BE SECURELY FASTENED TO A STAFF THAT HAS A LENGTH OF APPROXIMATELY 36".
- SHALL BE WEIGHTED ON THE FREE EDGE SO THE FLAG WILL HANG VERTICALLY, EVEN IN HIGH WINDS.
- SHALL BE RETROREFLECTIVE WHEN USED DURING NIGHTTIME OPERATIONS.
- SHALL NOT BE WAVED AS A NOTICE FOR DRIVERS TO PROCEED.

B-11. FLAGGERS MAY BE REQUIRED TO CONTROL TRAFFIC AT SIGNALIZED INTERSECTIONS WHEN EXISTING SIGNAL TIMING; PHASING IS NOT ADEQUATE TO CONTROL TRAFFIC IN WORK ZONES. TRAFFIC SIGNALS ARE OWNED, OPERATED, AND MAINTAINED BY THE LOCAL MUNICIPALITY IN WHICH THEY ARE LOCATED AND ARE PROGRAMMED TO OPERATE AUTOMATICALLY IN ACCORDANCE WITH TRAFFIC SIGNAL PERMITS ISSUED BY THE DEPARTMENT. DO NOT CONTROL TRAFFIC AT A SIGNALIZED INTERSECTION WITH A RED FLAG WHILE THE SIGNAL IS FUNCTIONING IN STANDARD GREEN-YELLOW-RED OPERATION. MUNICIPAL OFFICIALS AND/OR THE LOCAL POLICE DEPARTMENT SHALL BE CONTACTED TO PLACE THE SIGNAL IN FLASH MODE OR MANUAL CONTROL MODE. REQUESTS SHALL BE MADE IN ADVANCE AS COORDINATION OF RESOURCES MAY BE NECESSARY. LOCAL OFFICIALS MAY OPT TO HAVE POLICE MANUALLY CONTROL THE SIGNAL OR REQUIRE EFFORTS FROM THE MUNICIPAL SIGNAL CONTRACTOR. DO NOT OPEN A TRAFFIC SIGNAL CONTROL CABINET DOOR PRIOR TO RECEIVING APPROVAL FROM LOCAL AUTHORITIES. FLAGGING OPERATIONS MAY BEGIN WHEN THE SIGNAL IS PLACED IN FLASH MODE. IN LOCATIONS WHERE MULTIPLE SIGNALIZED INTERSECTIONS ARE LOCATED CLOSE TOGETHER, IT MAY BE NECESSARY TO PLACE MULTIPLE TRAFFIC SIGNALS IN FLASH MODE TO CONTROL TRAFFIC FLOW THROUGH THE WORK ZONE. USE ADDITIONAL FLAGGERS AS NECESSARY TO CONTROL TRAFFIC THROUGH EACH INTERSECTION. RETURN TRAFFIC SIGNAL OPERATION TO AUTOMATIC CONTROL IN ACCORDANCE WITH THE SIGNAL PERMIT IMMEDIATELY UPON CONCLUSION OF WORK.

**GENERAL NOTES - SECTION C  
TRAFFIC CONTROL DEVICES - CHANNELIZING DEVICES**

C-1. CONES SHALL ONLY BE USED DURING SHORT-TERM OPERATIONS. ALL CHANNELIZING DEVICES SHALL BE RETROREFLECTIVE WHEN USED DURING NIGHTTIME OPERATIONS.

C-2. DIRECTION INDICATOR BARRICADES MAY BE USED FOR ALL TAPERS APPROACHING A WORK ZONE. UTILIZATION IS RECOMMENDED ON TAPERS APPROACHING WORK ZONES ON FREEWAYS AND EXPRESSWAYS.

C-3. CHANNELIZING DEVICES MAY BE SUBSTITUTED FOR TEMPORARY LONGITUDINAL EDGE LINE PAVEMENT MARKINGS SHOWN ON ANY PATA 200 OR 500 SERIES DRAWING. IF CHANNELIZING DEVICES ARE USED IN PLACE OF LONGITUDINAL EDGE LINES, THEY SHALL BE SPACED AT A DISTANCE (IN FEET) EQUAL TO THE REGULATORY SPEED LIMIT; FOR EXAMPLE A 45 MPH SPEED LIMIT REQUIRES 45' SPACING. CHANNELIZING DEVICES CANNOT BE SUBSTITUTED FOR TAPER EDGE LINE PAVEMENT MARKINGS.

C-4. CHANNELIZING DEVICES PLACED ALONG A CONVENTIONAL HIGHWAY CENTERLINE SHOULD BE PLACED ON THE SAME SIDE OF THE DOUBLE YELLOW LINE AS THE WORK SPACE, THEREBY REDUCING THE IMPACT TO MOTORISTS TRAVELING ON THE OPPOSITE SIDE OF THE ROADWAY. WHEN THE TYPE OF WORK REQUIRES DEVICES TO BE PLACED ON OR ALONG THE OPPOSITE SIDE OF A CENTERLINE OR LANE LINE, ENSURE THAT MINIMUM LANE WIDTH OF 10' IS PROVIDED.

C-5. TAPERS WITHIN A LANE SHALL UTILIZE A MINIMUM OF 6 CHANNELIZING DEVICES, HOWEVER, MORE MAY BE REQUIRED BASED UPON THE REGULATORY SPEED LIMIT AND LANE WIDTH. SHOULDER TAPERS CONSISTING OF 6 CHANNELIZING DEVICES ARE REQUIRED WHEN CLOSING PAVED SHOULDERS THAT HAVE A WIDTH OF 8' OR MORE. SHOULDER TAPERS ARE OPTIONAL WHEN CLOSING UNPAVED SHOULDERS OR THOSE LESS THAN 8' IN WIDTH.

C-6. BARRICADES AND VERTICAL PANELS WITH STRIPES SHALL HAVE ALTERNATING ORANGE AND WHITE RETROREFLECTIVE STRIPES SLOPING DOWNWARD AT AN ANGLE OF 45 DEGREES IN THE DIRECTION VEHICULAR TRAFFIC IS TO PASS.

C-7. CHANNELIZING DEVICES USED TO FORM A TAPER OR LONGITUDINAL LINE MUST BE ALL OF A SINGLE TYPE AND IDENTICAL IN SIZE AND APPEARANCE. FOR EXAMPLE, CONES, DRUMS, BARRICADES, AND VERTICAL PANELS MAY NOT BE INTERMIXED WITHIN THE SAME TAPER OR LONGITUDINAL LINE, HOWEVER, THE TYPE OF DEVICE USED IN A TAPER MAY DIFFER FROM THE TYPE OF DEVICE USED IN A LONGITUDINAL LINE.

C-8. TRAILER MOUNTED EQUIPMENT SUCH AS SPEED DISPLAY TRAILERS, PORTABLE CHANGEABLE MESSAGE SIGNS, ETC. LOCATED ON THE SHOULDER OR WITHIN THE CLEAR ZONE MUST BE DELINEATED WITH CHANNELIZING DEVICES. DRUMS ARE THE MOST PREFERRED CHANNELIZER FOR DELINEATION BECAUSE THEY ARE HIGHLY VISIBLE, HAVE GOOD TARGET VALUE, GIVE THE APPEARANCE OF BEING FORMIDABLE OBSTACLES AND, THEREFORE, COMMAND THE RESPECT OF ROAD USERS. ALSO, DRUMS ARE GENERALLY USED IN SITUATIONS WHERE THEY WILL REMAIN IN PLACE FOR A PROLONGED PERIOD OF TIME. IF THE TRAILER IS LOCATED BEHIND BARRIER THEN DELINEATION IS NOT REQUIRED. REFER TO PATA 009 FOR FURTHER GUIDANCE.

**GENERAL NOTES - SECTION D  
TRAFFIC CONTROL DEVICES - SIGNS AND WARNING LIGHTS**

D-1. WARNING SIGNS FOR TEMPORARY TRAFFIC CONTROL SHALL HAVE ORANGE BACKGROUND AND BLACK BORDER/LEGEND. WARNING SIGNS FOR INCIDENT MANAGEMENT AREAS SHALL HAVE PINK BACKGROUND WITH BLACK BORDER/LEGEND. ORANGE WARNING SIGNS MAY BE USED IN INCIDENT MANAGEMENT AREAS IF PINK SIGNS ARE NOT AVAILABLE.

D-2. SIGN SHEETING SHALL BE OF AN APPROVED TYPE AND LISTED IN PUBLICATION 35 (BULLETIN 15). SIGNS MANUFACTURED WITH A MESH OR TRANSPARENT QUALITY ARE PROHIBITED. REFER TO THE 2011 TRAFFIC SIGN RETROREFLECTIVE SHEETING IDENTIFICATION GUIDE IN APPENDIX B OF THIS PUBLICATION OR PUBLICATION 46, EXHIBITS 2-3 AND 2-4, FOR RETRO-REFLECTIVE MATERIAL AND LEVEL INFORMATION. SIGNS BEARING TYPE VII THROUGH XI RETRO-REFLECTIVE MATERIAL ARE CONSIDERED EQUIVALENT AND INTERCHANGEABLE.

D-3. WHEN TRAFFIC CONTROL SIGNS ARE PLACED IN A TEMPORARY TRAFFIC CONTROL AREA, ALL PERMANENT SIGNS THAT PROVIDE A CONFLICTING MESSAGE SHALL BE COVERED OR REMOVED. SEE PUBLICATION 408, SECTION 901.3(A), FOR DETAILS ON COVERING SIGNS.

D-4. WHEN A FLAGGER AHEAD (W20-7) SIGN IS DISPLAYED, A FLAGGER MUST BE PRESENT. COVER OR REMOVE THIS SIGN IMMEDIATELY UPON CONCLUSION OF FLAGGING DUTIES.

D-5. WHEN WORK IS SUSPENDED, REMOVE ALL TEMPORARY TRAFFIC CONTROL DEVICES FROM THE ROADWAY AND COVER WARNING SIGNS OR TURN SIGNS FROM THE VIEW OF TRAFFIC WHILE REMAINING IN THE UPRIGHT POSITION.

D-6. DO NOT MOUNT TEMPORARY TRAFFIC CONTROL WARNING SIGNS ONTO EXISTING SIGN INSTALLATIONS UNLESS THE PERMANENT SIGN HAS BEEN REMOVED FROM THE POST. WITH THE EXCEPTION OF SUPPLEMENTAL ADVISORY SPEED OR DISTANCE PLAQUES, DO NOT MOUNT MULTIPLE WARNING SIGNS ON THE SAME POST. THIS COULD RESULT IN MOUNTING HEIGHTS BELOW THE MINIMUM STANDARD. DRIVERS NEED ADEQUATE TIME TO READ, COMPREHEND, AND REACT TO EACH SIGN AND POSTING MULTIPLE SIGNS ON THE SAME POST MAY PROVIDE TOO MUCH INFORMATION FOR SOME DRIVERS TO PROCESS SAFELY. TEMPORARY TRAFFIC CONTROL DEVICES SHALL NOT BE ATTACHED TO UTILITY POLES OR OTHER STRUCTURES UNLESS THE OWNER GRANTS WRITTEN PERMISSION AND THE SIGNS CAN BE PROPERLY POSITIONED TO CONVEY THEIR MESSAGE EFFECTIVELY.

D-7. SIGN SIZES AND SIZE REQUIREMENTS BASED UPON TYPE OF HIGHWAY CAN BE FOUND IN APPENDIX A. REFER TO PUBLICATION 236 HANDBOOK OF APPROVED SIGNS FOR ADDITIONAL AND MOST CURRENT INFORMATION.

D-8. DO NOT PLACE SIGN SUPPORTS ON SIDEWALKS, BICYCLE FACILITIES, OR AREAS DESIGNATED FOR PEDESTRIAN OR BICYCLE TRAFFIC UNLESS THERE ARE NO SUITABLE ALTERNATIVE LOCATIONS; AN EXCEPTION IS MADE FOR SIGNS RELATED TO SIDEWALK AND/OR BICYCLE FACILITY CLOSURES WHICH ARE DIRECTED TOWARDS PEDESTRIANS AND BICYCLISTS. IF SIGN SUPPORTS ARE PLACED ON SIDEWALKS, AN ACCESSIBLE PATH OF 48" MINIMUM WIDTH SHALL BE PROVIDED. THIS ACCESSIBLE PATH MUST REMAIN FREE FROM SIGNS, SIGN SUPPORTS, HORIZONTAL PANELS, TYPE III BARRICADE RAILS, MATERIAL STORAGE, ETC. REFER TO PATA 010 FOR FURTHER GUIDANCE.

D-9. INSTALL ADDITIONAL SIGNING IN ADVANCE OF THE ROAD WORK (W20-1) SIGN WHERE TRAFFIC APPROACHING THE WORK ZONE IS QUEUED BEYOND ALL ADVANCE WARNING SIGNS. ADDITIONAL SIGNS MAY INCLUDE THE BE PREPARED TO STOP (W3-4) SIGN, LANE CLOSED (W20-5) SERIES SIGNS, PORTABLE CHANGEABLE MESSAGE SIGNS (PCMS), OR OTHER STANDARD SIGNS AS APPROPRIATE.

D-10. AS A GENERAL RULE, SIGNS SHALL BE LOCATED ON THE RIGHT-HAND SIDE OF THE ROADWAY. ON DIVIDED HIGHWAYS AND ONE-WAY HIGHWAYS WHERE IT IS PHYSICALLY POSSIBLE, SIGNS SHOULD ALSO BE PLACED ON THE LEFT-HAND SIDE OF THE ROADWAY.

D-11. ATTACH RED TYPE B FLASHING LIGHTS TO ALL STOP SIGNS WHICH ARE INSTALLED ON A TEMPORARY BASIS; ATTACH YELLOW TYPE B FLASHING LIGHTS TO ALL TEMPORARY YIELD SIGNS.

D-12. STANDARD ORANGE FLAGS OR YELLOW FLASHING WARNING LIGHTS MAY BE USED IN CONJUNCTION WITH WARNING SIGNS. PRACTICE CONSISTENCY IN APPLICATION OF SUPPLEMENTAL FLAGS AND/OR LIGHTS. A SINGLE LIGHT OR UP TO THREE FLAGS MAY BE ATTACHED TO A TEMPORARY WARNING SIGN. EACH WARNING SIGN INSTALLATION IN A WORK ZONE SHALL HAVE THE SAME NUMBER OF FLAGS OR LIGHTS. DO NOT BLOCK THE SIGN FACE WITH FLAGS OR LIGHTS. WHITE FLASHING LIGHTS ARE RESERVED FOR USAGE WITH THE ACTIVE WORK ZONE WHEN FLASHING (W21-19) SIGN OF ACT 229 AND IN CONJUNCTION WITH STOP/ SLOW PADDLES. REFER TO PUBLICATION 46, CHAPTER 6.10, AND THE MUTCD, SECTION 6F.83, FOR GUIDANCE ON FLASHING LIGHTS.

D-13. SIGNS SPECIFIC TO AN OPERATION (SUCH AS MOWING OR UTILITY WORK) MAY BE USED AS AN ALTERNATIVE TO THE ROAD WORK AHEAD (W20-1) OR ROAD WORK NEXT XX MILES (G20-1) SIGNS WHERE APPROPRIATE. FURTHERMORE THE ROAD WORK NEXT XX MILES (G20-1) SIGN MAY BE USED IN LIEU OF THE ROAD WORK AHEAD (W20-1) SIGN ON ANY CONSTRUCTION OR MAINTENANCE JOB TWO MILES OR MORE IN LENGTH, WHERE TRAFFIC IS MAINTAINED THROUGH THE JOB.

D-14. DO NOT UTILIZE PORTABLE SIGN SUPPORTS ON LONG TERM OPERATIONS WHERE THE SIGN WILL BE DISPLAYED FOR MORE THAN 3 CONSECUTIVE DAYS.

D-15. WHEN DISTANCES ARE POSTED ON TEMPORARY TRAFFIC CONTROL SIGNS WITH A MILES' UNIT OF MEASURE, DISPLAY THE DISTANCE IN TERMS OF WHOLE MILES OR FRACTIONS WITH DENOMINATORS OF 2, 4, AND 8 (FOR EXAMPLE, 1/2 MILE, 1/4 MILE, 3/8 MILE, ETC.) THE USE OF DECIMALS FOR THIS PURPOSE IS PROHIBITED.

D-16. STATIONARY WARNING SIGNS MAY BE OMITTED FOR MOBILE OPERATIONS IF WARNING SIGNS ARE MOUNTED ON WORK VEHICLES, SHADOW VEHICLES, OR TRAILERS THAT MOVE ALONG WITH THE OPERATION.

**GENERAL NOTES - SECTION E  
TRAFFIC CONTROL DEVICES - PORTABLE CHANGEABLE MESSAGE SIGNS**

E-1. PCMS MESSAGE TEXT INCLUDED WITH APPROVED TRAFFIC CONTROL PLANS SHALL BE DISPLAYED EXACTLY AS SHOWN. IF MESSAGES ARE NOT PROVIDED OR OTHER MESSAGES ARE DESIRED, USE THE CRITERIA ESTABLISHED IN THE MUTCD, SECTION 2L05, TO CREATE THE DESIRED MESSAGE AND CONTACT THE DISTRICT TRAFFIC UNIT, DISTRICT TRAFFIC MANAGEMENT CENTER (DTMC) OR REGIONAL TRAFFIC MANAGEMENT CENTER (RTMC) TO REQUEST APPROVAL PRIOR TO POSTING. ONCE A MESSAGE HAS BEEN APPROVED, REQUESTERS MAY RETAIN IT AND MAINTAIN A LOG OF PREVIOUSLY APPROVED MESSAGES FOR FUTURE POSTINGS. THE LOG SHOULD CONTAIN THE MESSAGE TEXT, REQUESTED DATE, APPROVED DATE, AND NAME OF APPROVER. ALTERATION OF A PREVIOUSLY APPROVED MESSAGE IS CONSIDERED A NEW MESSAGE AND REQUIRES APPROVAL. THIS IS TO ENSURE CONSISTENCY WITH PCMS MESSAGE CONTENT, PHASE TIMING, AND APPEARANCE. PCMS BOARDS ARE AN IMPORTANT RESOURCE AND THEIR EFFECTIVENESS IS DEPENDENT UPON MANY FACTORS INCLUDING PROPER INSTALLATION, ACCURATE MESSAGE CONTENT, AND PANEL DISPLAYS. IMPROPER MESSAGES OR INCORRECT MESSAGE CONTENT WILL ERODE MOTORIST CONFIDENCE IN PCMS MESSAGES. REFER TO THE MUTCD, SECTIONS 2L AND 6F.60, FOR MORE INFORMATION ON PCMS MESSAGE STRUCTURE.

E-2. PCMS DEPLOYED ALONG THE ROADWAY SHOULD BE PLACED BEHIND BARRIER, IF PRACTICAL. WHERE BARRIER IS NOT AVAILABLE, PCMS SHOULD BE PLACED OFF THE SHOULDER AND OUTSIDE THE CLEAR ZONE. IF THERE ARE NO OPTIONS OTHER THAN TO PLACE A PCMS ON THE SHOULDER THEN IT SHALL BE PLACED AS FAR AS PRACTICAL FROM THE EDGE LINE WITH THE TRAILER HITCH FACING AWAY FROM ONCOMING TRAFFIC. DELINEATION (DRUMS ARE PREFERRED) IS REQUIRED WHEN THE PCMS IS PLACED WITHIN THE CLEAR ZONE AND NOT BEHIND BARRIER. REFER TO PATA 009 FOR FURTHER GUIDANCE.

E-3. PCMS MAY BE PLACED ON THE LEFT OR RIGHT SIDE OF THE ROADWAY. WHEN MULTIPLE PCMS ARE PLACED IN THE SAME DIRECTION OF TRAVEL, PLACE THEM ON THE SAME SIDE OF THE ROADWAY; SEPARATED FROM EACH OTHER BY A DISTANCE OF AT LEAST 1000' ON FREEWAYS AND EXPRESSWAYS AND AT LEAST 500' ON OTHER HIGHWAYS. PCMS SHOULD NOT BE LOCATED WITHIN AN INTERCHANGE EXCEPT FOR TOLL PLAZAS AND MANAGED LANES.

**GENERAL NOTES - SECTION F  
TRAFFIC CONTROL SETUP AND REMOVAL**

F-1. TEMPORARY TRAFFIC CONTROL ZONES ARE TO BE SET UP BY UTILIZING THE FOLLOWING:

- PATA DRAWING WITHOUT MODIFICATIONS.
- MUTCD TYPICAL APPLICATION WITHOUT MODIFICATIONS.
- PATA DRAWING WITH APPROVED MODIFICATIONS.
- CUSTOMIZED TEMPORARY TRAFFIC CONTROL PLANS CREATED SPECIFICALLY AND APPROVED FOR THE WORK AREA.

FURTHERMORE, THE PATA DRAWINGS SHALL BE UTILIZED IN LIEU OF A MUTCD TYPICAL APPLICATION WHEN ROADWAY CONDITIONS ARE SIMILAR (FOR EXAMPLE, PATA 306 AND PATA 603 WOULD HAVE PRECEDENCE OVER MUTCD TA-35 FOR A MOBILE OPERATION ON A MULTI-LANE HIGHWAY).

F-2. GUIDELINES FOR INSTALLATION AND REMOVAL OF TRAFFIC CONTROL SETUPS:

- UTILIZE PATA 007A WHEN SETTING UP AND REMOVING TEMPORARY TRAFFIC CONTROL SIGNS AND DEVICES ON A FREEWAY OR EXPRESSWAY WHEN THERE WILL BE NO ROADWAY ENCROACHMENT.
- UTILIZE PATA 007B WHEN SETTING UP AND REMOVING TEMPORARY TRAFFIC CONTROL SIGNS AND DEVICES ON A FREEWAY OR EXPRESSWAY WHEN A VEHICLE WILL OCCUPY A TRAVEL LANE.

- INSTALL SIGNS BEGINNING WITH THE FIRST SIGN MOTORISTS WILL PASS WHEN ENTERING THE ADVANCE WARNING AREA AND CONTINUE PLACING SIGNS DOWNSTREAM ON THE SAME SIDE OF THE ROADWAY UNTIL COMPLETE. COVER, REMOVE, OR MODIFY EXISTING SIGNS WITH CONFLICTING MESSAGES IN CONJUNCTION WITH TEMPORARY SIGN PLACEMENT. REFER TO PUBLICATION 408, SECTION 901.3(A), FOR DETAILS ON COVERING SIGNS.

- FLAGGERS MAY BEGIN CONTROLLING TRAFFIC AFTER PLACEMENT OF ALL ADVANCE WARNING SIGNS.

- CHANNELIZING DEVICES SHALL BE INSTALLED IN THE DIRECTION OF TRAVEL. A SHADOW VEHICLE MAY BE PLACED BETWEEN APPROACHING TRAFFIC AND THE WORKERS WHO ARE INSTALLING CHANNELIZING DEVICES. AFTER CHANNELIZING DEVICES ARE INSTALLED, THE VEHICLE MAY MOVED AND WORK MAY BEGIN.

- IMMEDIATELY UPON COMPLETION OF WORK, REMOVE TRAFFIC CONTROL DEVICES IN THE REVERSE IN WHICH THEY WERE INSTALLED. APPLICABLE TRAFFIC CONTROL ZONE COMPONENTS SHOULD BE ADDRESSED IN THE FOLLOWING ORDER:
  - 1) TERMINATION AREA
  - 2) ACTIVITY AREA
  - 3) TRANSITION AREA
  - 4) ANY FLAGGER STATIONS
  - 5) ADVANCE WARNING AREA.

F-3. SHADOW VEHICLE AND IMPACT ATTENUATOR INFORMATION CAN BE FOUND IN PUBLICATION 46, SECTION 6.11. IN CONJUNCTION WITH ANY TEMPORARY TRAFFIC CONTROL ZONE, SHADOW VEHICLES:

- ARE MANDATORY WITH A TRUCK MOUNTED ATTENUATOR FOR WORK ON EXPRESSWAYS, FREEWAYS, AND RAMPS.
- ARE OPTIONAL FOR WORK ON ALL OTHER HIGHWAYS (UNLESS LABELED AS MANDATORY ON THE PATA).

- SHALL BE EQUIPPED WITH FLASHING, OSCILLATING, OR REVOLVING YELLOW LIGHTS. THESE ARE TO BE ACTIVE ON ALL SHADOW VEHICLES AND MUST BE VISIBLE FROM ANY DIRECTION (360° VISIBILITY). HAZARD WARNING LIGHTS AND TURN SIGNALS ARE NOT CONSIDERED FLASHING LIGHTS FOR THIS PURPOSE.
- SHALL NOT BE INVOLVED IN THE OPERATION AS A WORK VEHICLE.
- SHALL NOT BE LOCATED WITHIN THE BUFFER SPACE.

- SHALL BE USED IN PAIRS (SEPARATED BY A MINIMUM DISTANCE OF A) FOR BRIDGE INSPECTION TEAMS WHILE WORKING ON FREEWAYS OR EXPRESSWAYS (UNLESS OTHERWISE APPROVED BY THE DISTRICT TRAFFIC ENGINEER).

- MAY BE MOBILE IF THEY ARE KEPT BETWEEN 125' AND 200' FROM WORKERS OR NEAREST WORK VEHICLE IN A CONTINUOUSLY MOVING OPERATION. THIS DISTANCE MAY BE INCREASED TO 1000' FOR PAVING OPERATIONS.
- MAY BE USED IN EMERGENCY SITUATIONS TO PROTECT CONCRETE BARRIER BLUNT ENDS. DISTRICT TRAFFIC ENGINEER APPROVAL IS REQUIRED IF SHADOW VEHICLE WILL BE IN PLACE LONGER THAN THREE DAYS.

F-4. AN OPTIONAL THREE CONE ADVANCE SETUP MAY BE USED TO ALERT ONCOMING TRAFFIC TO A FLAGGER LOCATION. IF USED, THE CONE LOCATED NEAREST TO THE FLAGGER SHOULD BE PLACED ON THE ROADWAY CENTERLINE DIRECTLY ACROSS FROM THE FLAGGER SYMBOL (W20-7) SIGN. PLACE TWO ADDITIONAL CONES UPSTREAM EQUALLY SPACED AT A DISTANCE OF 10' TO 50'. IF ADDITIONAL CONES ARE DESIRED, ONE MAY BE PLACED ON THE ROADWAY CENTERLINE DIRECTLY ACROSS FROM ADVANCE WARNING SIGNS. REFER TO PATA 002 FOR FURTHER GUIDANCE.

F-5. CONSIDER USING TEMPORARY LONGITUDINAL BARRIER TO PROTECT WORKERS IN ALL MULTI-LANE WORK ZONES IF THE SPEED LIMIT IS 45 MPH OR GREATER, WORKERS ARE PRESENT WITHIN ONE LANE WIDTH OF AN ACTIVE LANE, AND A LANE OR SHOULDER IS CLOSED CONTINUOUSLY FOR MORE THAN THREE DAYS. REFER TO PUBLICATION 72M, ROADWAY CONSTRUCTION STANDARDS, FOR BARRIER INSTALLATION DETAILS.

F-6. PAVED SHOULDERS MAY BE USED FOR TRAFFIC IF THEY ARE STRUCTURALLY SOUND, HAVE SUFFICIENT WIDTH AND DEPTH TO SAFELY SUPPORT TRAFFIC, AND ARE FREE OF DEBRIS. SHOULDERS THAT WILL BE USED FOR TRAFFIC IN CONJUNCTION WITH LONG-TERM OPERATIONS MAY REQUIRE EXTRA ATTENTION, SUCH AS:

- MILL AND FILL EXISTING EDGE LINE AND SHOULDER RUMBLE STRIPS.
- ERADICATE AND PAINT NEW WHITE EDGE LINES.
- REVIEW THE CONDITION AND ELEVATION OF INLET GRATES. TACK-WELD GRATE INLETS TO FRAMES.
- REFER TO PUBLICATION 13M, DESIGN MANUAL PART 2, FOR CROSS SLOPE INFORMATION.

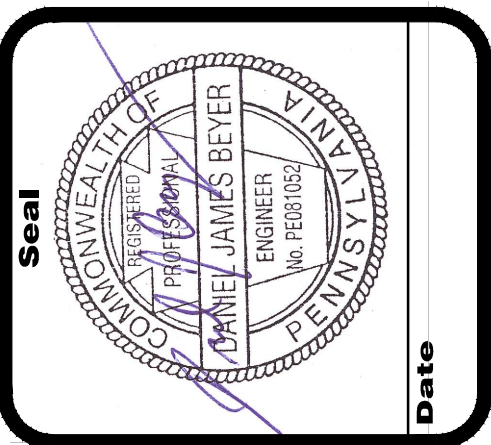
**GENERAL NOTES - SECTION G  
EQUIPMENT, VEHICLE, AND MATERIAL STORAGE**

G-1. THE BUFFER SPACE SHALL BE KEPT FREE FROM WORK ACTIVITY AND STORAGE OF EQUIPMENT, VEHICLES, OR MATERIAL.

G-2. EQUIPMENT, VEHICLES, AND MATERIAL SHALL BE STORED A MINIMUM OF 30 FEET FROM THE EDGE OF THE NEAREST OPEN TRAVEL LANE, OR THEY SHALL BE ADEQUATELY STORED BEHIND A LONGITUDINAL BARRIER. IF THESE CRITERIA CANNOT BE MET, THAN STORE THESE ITEMS AS FAR AS PRACTICAL FROM THE NEAREST ROADWAY EDGE AND BEHIND BARRICADES, DRUMS, OR OTHER PROTECTIVE DEVICES. PUBLICATION 13M, DESIGN MANUAL 2, CHAPTER 12, TABLE 2.3, PRESENTS MINIMUM UNOBSTRUCTED DISTANCES THAT SHALL BE MAINTAINED BEHIND VARIOUS GUIDERAIL SYSTEMS.

G-3. IF SITE CONDITIONS PREVENT EQUIPMENT, VEHICLES, AND MATERIAL FROM BEING STORED AS INDICATED IN THE PREVIOUS NOTE OR IF THESE ITEMS ARE STAGED FOR USE IN AN OPERATION, THEN BARRICADES, DRUMS, OR OTHER PROTECTIVE DEVICES SHALL BE PLACED AROUND THESE ITEMS.

G-4. WORKER'S VEHICLES PARKED IN A WORK ZONE SHALL BE PLACED IN SUCH A MANNER THAT DOES NOT COMPROMISE THE SAFETY OF WORKERS, PEDESTRIANS, OR THE TRAVELING PUBLIC. PARKING BEHIND BARRIER IS MOST PREFERRED. IF BARRIER DOES NOT EXIST THEN POSITION VEHICLES OUTSIDE OF THE CLEAR ZONE, IF POSSIBLE.



No.	Sheet Revisions	Date
	REVISED PER CITY OF ALTOONA	1/29/21

Scale	Date	Drawn By	Checked By	Project No.	File No.
AS NOTED	OCTOBER 2020	ARR	DJB	0120-20-256	6021

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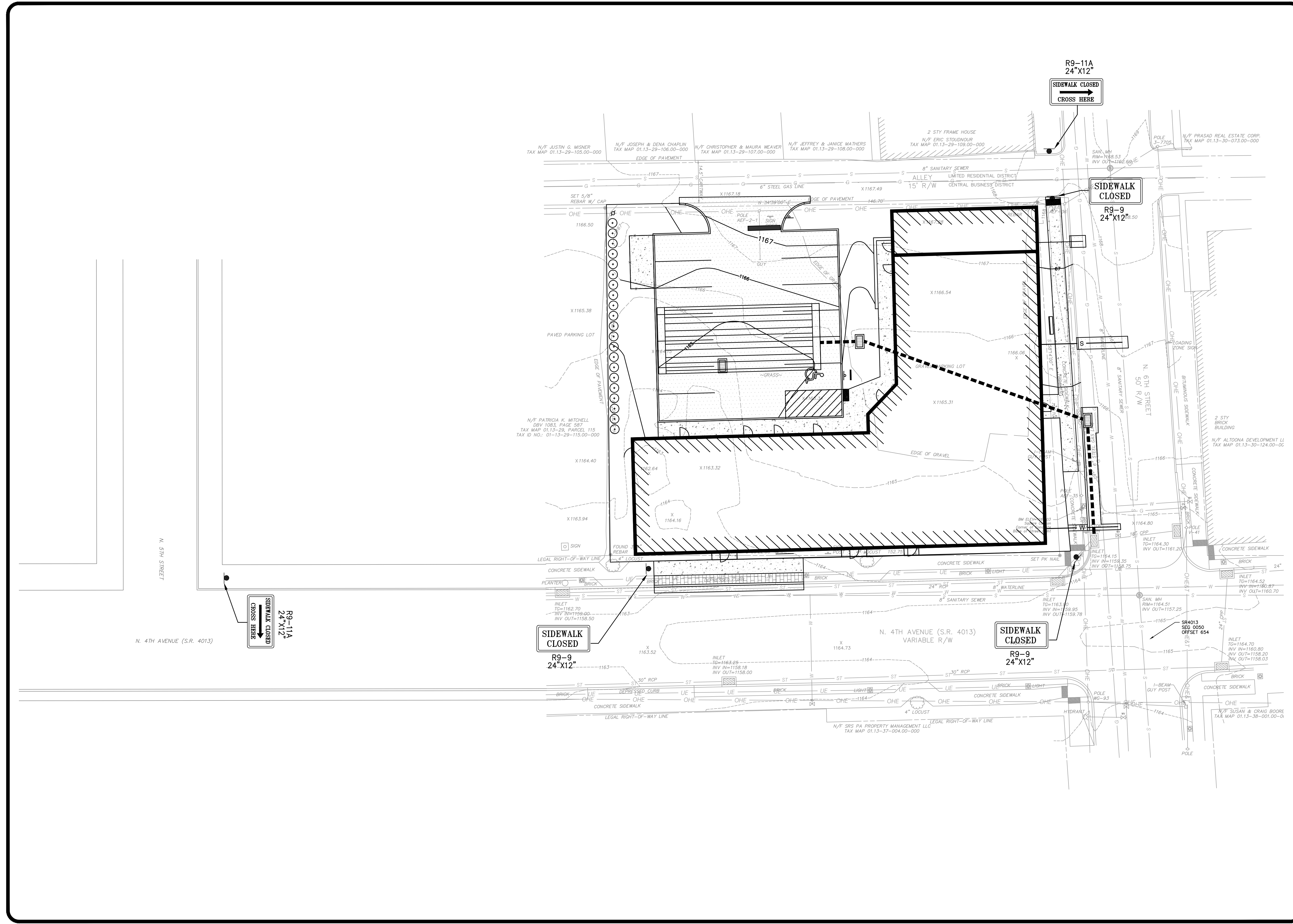
**521 N. 4TH AVENUE  
LAND DEVELOPMENT PLANS  
DAZZLING REALTY, LLC**

**CITY OF ALTOONA, BLAIR COUNTY, PA**

**HOP NOTES**

**Drawing No.**  
**C9.03**





Seal

Date

Sheet Revisions	Date
REVISED PER CITY OF ALTOONA	1/29/21

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AS NOTED	OCTOBER 2020	ARR	DJB	0120-20-256	6021

**521 N. 4TH AVENUE  
LAND DEVELOPMENT PLANS  
DAZZLING REALTY, LLC  
CITY OF ALTOONA, BLAIR COUNTY, PA  
PEDESTRIAN DETOUR  
PLAN**

Drawing No.  
**C9.04**

September 6, 2023

Ms. Rebecca Brown  
Director  
City of Altoona  
Department of Codes and Inspections  
1301 12<sup>th</sup> Street, Suite 103  
Altoona, PA 16601

RE: Dazzling Realty, LLC.  
Land Development Review

Dear Ms. Brown:

Dazzling Realty, LLC., is requesting a waiver of the Subdivision of Land & Land Development Section 640-65.B(8). The constructed building is a Class 3 (Offices, small retail, & store front business) use and the adjacent property is a Class 1 (Detached single house residence). As per Section 640-65.B(8), the buffer yard between the two classes must be 10'.

Dazzling Realty, LLC., is proposing to move the dumpster pad access from the internal parking lot to access from the alley. The off-street parking needed would cause the dumpster access to be potentially blocked by two of the required parking stalls. The dumpster pad will be screened by a 6' high fence with privacy slats. The access to the dumpster pad will be two swinging gates with privacy slats. There will be no extra impervious area created by moving the dumpster pad.

Should you have any questions please do not hesitate to contact The EADS Group at (814) 944-5035 or [tbeiswenger@eadsgroup.com](mailto:tbeiswenger@eadsgroup.com).

Sincerely,  
*The EADS Group, Inc.* (Altoona)



By: Todd D. Beiswenger

cc: Project File

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