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Altoona, PA 16601
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David B. Albright, Chair (29)
Lawrence Bilotto, Vice Chair (27)
Michael Haire, Secretary (28)
Drew Brennan (29)
Peter Folen (29)
Richard Haines (27)
Jesse Ickes (27)

ALTOONA CITY PLANNING COMMISSION

The Altoona City Planning Commission, created in March 1916, is composed of seven residents appointed by the Mayor with the approval of City Council. The Commission is responsible for developing and updating the Comprehensive Plan, reviewing proposals that affect the development of the City, and providing a public forum that encourages participation in guiding the future of the City.

Regular Meeting of Tuesday, August 5, 2025 at 3:00 PM
4th Floor City Hall Common Room

AGENDA

REGULAR MEETING

CALL TO ORDER

PUBLIC COMMENT

REGULAR BUSINESS

ADMINISTRATIVE ITEMS

1. Approval of Minutes – The Commission will consider the approval of minutes from its previous meeting of July 1, 2025 which is included in the packet.

SUBDIVISION AND LAND DEVELOPMENT

1. O'Farrell Coffee & Tanning – 2200 Pleasant Valley Blvd – On 5/9/25 the City of Altoona received a land development plan proposing to construct a new 3,564 SF building for a Coffee house on the first floor and tanning salon on the second. The site will include a sixteen (16) space parking lot. A total of nine (9) waivers are being requested. Your agenda packet includes the latest plans, narrative, waiver list, technical review, BCPC review, and developers' response. A recommended resolution for approval has been included.
2. Altoona Center for Oral & Maxillofacial Surgery – 901 Valley View Blvd – On 5/29/25 the City of Altoona received a land development plan proposing to construct a small 10-space parking lot behind the existing medical building. A total of nine (9) waivers are being requested. Your agenda packet includes the latest plans, narrative, waiver list, technical review, BCPC review, and developers' response. A recommended resolution for approval has been included.
3. Sheetz Store #14 Altoona Rebuild – 3315 Beale Avenue – On 6/30/25 the City of Altoona received a land development plan proposing to construct a new convenience store to replace the existing Sheetz store. A total of seven (7) waivers are being requested. Your agenda packet includes the latest plans, narrative, waiver list, technical review, and developers' response. A recommended resolution for approval has been included.

STAFF LEVEL REVIEWS - None

SPOT BLIGHT DECLARATIONS – The ACPC will consider the following properties as blighted.

2617 6th Avenue

Owner: LaQuitta Smith & Sherron Sewell
Address: 915 Manor House Drive
Upper Marlboro, MD 20774

Vacant property. Residential, substandard not suitable for rehabilitation; not suitable for human habitation. No contact with Owners. Multiple court hearings – no show and found guilty; warrant issued. Exterior, siding falling off. Foundation has visible cracks, Roof needs replaced. Windows some boarded, some missing. Interior unknown. Large tree in rear yard. Water and gas shut off. Electric meter still on. No outstanding taxes. Appropriate reuse of the property is residential in nature.

309 14th Street

Owner: Vicki L. Bergman & Kevin J. Long
Address: 309 14th Street
Altoona, PA 16602

Vacant property. Residential, substandard not suitable for rehabilitation; not suitable for human habitation. Exterior, siding damaged, missing and rotting. Foundation, water damage has section of foundation deteriorating. Roof, missing and damaged shingles, gutters, soffit and fascia falling off. Windows, multiple broken, damaged or missing. Interior, extremely deplorable conditions holes in walls, floors and roof. Multiple rooms filled with accumulations. Property was broken into and gutted of copper, holes in ceilings have leaked throughout. Demo notice was posted on 4/15/2025. No contact with Vicki since notice posted. Water is off, Electric and gas shut off on 5/29/2025. Outstanding Taxes 2023 - \$627.63; 2024 - \$609.63; Total of \$1,237.26. Appropriate reuse of the property is residential in nature.

INFORMATIONAL ITEMS

1. GAEDC Report - None
2. Blair County Planning Commission Report

COMMISSIONER FORUM

1. Motion to accept and recommend that Altoona City Council adopt the final drafts of the updated Zoning Ordinance and Subdivision and Land Development Ordinance as prepared by czb LLC.

QUESTIONS FROM MEDIA

ADJOURNMENT

MINUTES
ALTOONA CITY PLANNING COMMISSION
July 1, 2025

MEMBERS PRESENT

Dave Albright, Chairman
Larry Bilotto, Vice-Chairman
Michael Haire, Secretary
Drew Brennan
Peter Folen
Councilman Jesse Ickes
Richard Haines

GUESTS PRESENT

Ken Eastep – Dollar General Developer
Chad Stafford – Engineer, PrimeCore
Bill Kibler – Altoona Mirror

STAFF PRESENT

Chris McGuire – Altoona City Manager
Sabrina Appel-McMillen – Planning & Development Manager, Department of
Community Development
Rebecca Brown – Director, Department of Codes and Inspections
Rob Crossman – Engineering Department Supervisor
Diana White – Deputy Director/CDBG Manager, Community Development Department
Mackenzie Caron – Regional Planner, Blair Planning
Eric Luchansky – Director, Community Development Department
Josh Kaufman – Codes Supervisor/Blight Manager
Matthew Pacifico – Mayor, City of Altoona
Bette Fischer – Clerical III, Community Development Department

CALL TO ORDER

The Altoona City Planning Commission (ACPC) held its regular meeting on July 1, 2025, in the Common Room of Altoona City Hall, 1301 12th Street, Altoona, PA. Chairman David Albright called the meeting to order at 3:01 PM.

PUBLIC COMMENT

None

REGULAR BUSINESS

ADMINISTRATIVE ITEMS

1. Approval of Minutes – **A motion was made by Mr. Bilotto to approve the June 3, 2025 minutes as corrected. Councilman Ickes seconded the motion. Motion passed unanimously.**

SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS

PC3-DG Altoona LLC – 404 E. 25th Avenue – Mr. Chad Stafford of Prime Core Developer for Dollar General and Mr. Ken Eastep, Civil Engineer presented a land development plan proposing to construct a new 7,500 SF building for a Dollar General on the former site of a former Pizza Hut. The site will include a twenty-seven (27) space parking lot. A total of six (6) waivers are being requested.

Waiver Request No. 1:

640-64: Pedestrian facilities. A. Sidewalks (1). RE: Not to construct a third sidewalk along East 26th Avenue.

Waiver Request No. 2:

640-65: Landscaping D. Foundational Landscaping (5). RE: In lieu of installing low-level shrubbery along the Right Side and Rear Elevation Building faces; we are installing mature Arborvitae Evergreen Trees along the Right Side/McDonald's property side and we will preserve the mature hedgerow of Arborvitae trees along East 26th Avenue.

Waiver Request No. 3:

640-63: Parking and Vehicular Access. A. Vehicular Access (2). RE We are requesting the continued use of access drives from East 25th Avenue and Juniata Gap Road.

Waiver Request No. 4:

640-63: Parking and Vehicular Access B. (3) Parking facilities shall be set back from street right-of-way lines, property lines, and building foundations a minimum of five feet. RE: We are requesting the continued use of the existing parking spaces along/near the McDonald's property line to the north/northeast. The existing spaces are as close as two feet from the McDonald's parcel line.

Waiver Request No. 5:

640-65: Landscaping E. (3). Interior Landscaping. RE: We are requesting that we can construct a concrete apron or asphalt apron at the end or to separate apparent rows of parking spaces; in lieu of a "Landscaping Island".

Waiver Request No. 6:

640-67.B. Utilities and Drainage: Utility connections shall be underground. If underground connection is not feasible, the Commission may approve overhead connections to the rear of the property from the alley. RE: PC3-DG Altoona LLC is asking for the City of Altoona to allow that the existing power service to the former Pizza Hut remains as "overhead" electrical service and will continue to be planned with/by the Power Company for the Dollar General.

A motion was made by Mr. Bilotto to approve the resolution with the six (6) waivers with the caveat that, if the arborvitae shrubs are removed, the underground connections would be established at that time. Mr. Brennan seconded the motion. Motion passed unanimously.

STAFF LEVEL REVIEWS

None

SPOT BLIGHT DECLARATIONS

1907 11th Street

Owner: David H. and Elaine A. Johnson

Address: 1907 11th Street

Altoona, PA 16601

Exterior siding is falling off, insulbrick is deteriorated, structure is falling apart; stone foundation is crumbling and failing on all sides; roof is extremely poor condition, missing roof flashing; the soffit and fascia are rotted to the point where daylight can be seen through the corners of the roof; windows are old with some missing or broken; boxing is rotted off; interior has accumulations stacked throughout the house due to hoarding; there is an accessory building in the rear in poor condition. Property in severe disrepair, causing public nuisance and danger to neighbors. Daughter goes back and forth but lives in a separate apartment. Residential structure in substandard condition not suitable for rehabilitation. Property has been vacant since 2023. The department became aware of the situation from Blair Senior Services. Elderly individuals were removed from the home. Hoarding conditions evident. Raccoons living in the upstairs. Daughter refused to "give up" home and has rabbits in pens in the back of the property. Codes contacting appropriate parties to have them removed. Multiple hearings at MDJ for non-compliance. Per Blair County Tax Claim 6/30/2025: 2023 & 2024 taxes owed and the property will be put up for tax sale in September. The advertising fee of \$150 will be added if taxes are not paid on July 1, 2025. It is believed that water, gas and electric are shut off. The city will have the structure demolished and place a lien on the property for the cost of the service. Appropriate reuse for this property is residential in nature. **A motion was**

made by Mr. Bilotto to declare the property blighted. Mr. Brennan seconded the motion. Motion passed unanimously.

INFORMATIONAL ITEMS

- 1. GAEDC Report** – Mr. Bilotto and Ms. White gave a report on the meeting that was held. GAEDC has seven (7) façade projects on the books, two of which are being paid off this month. GAEDC is trying to work with the owner of the Gable's building in hopes of acquiring it to renovate with \$3.5 million in RCAP funds. A 3D Mural is being painted on the side of the new police building by Sarah Vogel. It is being painted in such a way that no one will be able to grasp what it is about until she is done.
- 2. Blair County Planning Commission Report** – Ms. Caron reported that the board has reviewed the city's new SALDO/Zoning Consolidated Plan and are very pleased with it and are excited to see the city moving in a forward direction. Mr. McFarland has taken a medical leave of absence for the month of July, so she and Sherry will be taking over his duties in his absence.

3. COMMISSIONERS FORUM

None

ADJOURNMENT

There being no further business the **meeting was adjourned at 3:48 PM.**

Signed: Michael Haire, Secretary



Keller Engineers, Inc
420 Allegheny Street
Hollidaysburg, PA 16648
Phone: (814) 696-7430
Fax: (814) 696-0150
keller-engineers.com

**PROJECT NARRATIVE
PARKING IMPROVEMENTS
ALTOONA CENTER FOR ORAL AND MAXILLOFACIAL SURGERY
PROJECT NUMBER 4305-1
MAY 2025**

Dr. Adam Goddard wishes to construct a small parking lot behind his existing medical building located at 901 Valley View Boulevard. The current proposal is to construct a 10-space parking lot with one-way circulation and access off South 9th Street behind the existing building.

New landscaping is being proposed in the islands of the parking lot. Sidewalks are proposed along Logan Boulevard, and an HOP from PennDOT is required for these walks since they are located within the state road right-of-way.

The owner is obtaining land from the neighbor behind the property in order to construct the parking lot, and a Lot Line Relocation Plan is enclosed. An opaque fence is being installed along the property line since there is no room for a vegetative buffer.

The project is disturbing less than 1 acre of land; therefore, an NPDES permit is not required. However, the plans will be sent to the Blair County Conservation District for E&S approval. The stormwater management approach for the project is to install underground pipe detention that will connect to existing piping. Refer to the Design Report for more information.

No new utility connections are needed for the project, since the utilities exist to the building, and only parking is proposed. Sewer planning is not needed because there is no increase in sewer flow with this project.

Several waivers are being requested from the City Subdivision and Land Development Ordinance (see enclosed list).

July 14, 2025

Ms. Sabrina McMillen
Planning & Development Manager
City of Altoona
Department of Planning & Community Development
1301 12th Street, Suite 400
Altoona, PA 16601

RE: Altoona Center for Oral & Maxillofacial Surgery
901 Valley View Blvd
Land Development Review

Dear Ms. McMillen:

At the request of the City of Altoona, we have completed our review of the land development plan for the above-referenced project. The following information was provided to our office on June 16, 2025 for review of a land development located at 901 Valley View Blvd in the City of Altoona, Blair County:

- Final Land Development Plans Parking Improvements for Altoona Center for Oral & Maxillofacial Surgery as prepared by Keller Engineers, 10 sheets, project no. 4305-1, dated 5/30/25
- Preliminary/Final Lot Line Relocation Plan between 901 Valley View Blvd., LLC and Paul F. & Julie A. Stoehr as prepared by Keller Engineers, 1 sheet, project no. 4305-1, dated 5/28/25
- PCSM Design Report Parking Improvements for Altoona Center for Oral and Maxillofacial Surgery as prepared by Keller Engineers, project no. 4305-1, dated May 2025
- Project Narrative, Adjacent Property Owners List, and Waiver Requests for Parking Improvements for Altoona Center for Oral and Maxillofacial Surgery dated May 2025; copy of Deed

The above information has been reviewed for conformance with Chapter 620 and Chapter 640 of the Code of Ordinances for the City of Altoona, Blair County, Pennsylvania. This review was completed for ordinance conformance only. We do not accept any liability for any potential design errors or oversights made by the design engineer. Members of the City of Altoona Planning Commission have the final decision regarding comments for the construction plans. The developer shall address the following comments and proceed with final plan preparation.

General

1. All signature blocks are to be executed.
2. No changes can be made to the approved plans during construction without the approval of the City. After construction is complete provide record or as-built drawings to the city of all approved changes made during construction.
3. DPW has indicated that the City has lost all rights to the unopened alley adjacent to 901 Valley View Blvd and this will need to be formally vacated and acquired by 901 Valley View Blvd., LLC before any access road can be placed there. We can still go through the land development review process simultaneously with the unopened alley vacation process. Since the unopened alley is bordered on the other side by a different property owner, you will need to provide a letter from an attorney with a notarized signature from the other owner saying that 901 Valley View Blvd., LLC may vacate the full

width of the alley including the half that they have rights to OR have the neighbor vacate their half also and have an access agreement with them.

4. Please use City Street Restoration Detail within the right-of-way. Contact DPW with any questions.
5. Property is zoned R-S: Suburban Residential. The existing use does not appear to be an allowable use under the zoning code. This project has already been approved at the zoning hearing board.

Chapter 620 Stormwater Management, Erosion and Sediment Control

6. 620-1.B. Blair County Conservation District approval has been received.
7. 620-11.A(4a) Any developer, landowner and/or any person engaged in the alteration or development of land which may affect stormwater runoff characteristics shall implement such measures as are reasonably necessary ... Please address the following items:
 - Please clarify the pipe detention piping on the plan set by indicating the number of 40' 15" pipe runs on the Utility Plan (i.e. typ of 10). Additionally, please label them on the Utility Plan as perforated.
 - The pond report indicates that the outlet pipe is a 4' long 15" pipe at 0.25%, please label on the plan.
 - All downstream pipe on site appears to be 8". Please verify capacity.
 - Provide outlet structure detail on plan.
 - Provide width dimension of cutoff trench on the detail.
8. 620-12.A(2) Post development discharge rates shall not exceed the predevelopment discharge rates for the two-, five-, ten-, twenty-five-, fifty-, and one-hundred-year twenty-four-hour storms. Please add the 5-yr storm to the analysis.
9. 620-13.F(1) The developer or their engineer shall be responsible for providing as-built plans of all stormwater management (SWM) BMPs included in the approved SWM site plan in accordance with this section. Any changes proposed during construction must receive the approval of the City prior to implementation.
10. 620-15.A(1) Facilities, areas or structures used as stormwater management BMPs shall be enumerated as permanent real estate appurtenances and recorded as deed restrictions or conservation easements that run with the land. Any existing or proposed inlets, piping, ponds, raingardens, swales, etc. located within the site are considered stormwater facilities. These storm water facilities are private and maintenance of the storm water management facilities will be the responsibility of the owner.
 - A copy of the maintenance agreement signed by the owner should be included in both the plans and Stormwater management report.
 - The maintenance agreement on the plan and in the report should match. Please revise.
11. 620-15.B(1d) The engineer must meet with and provide the developer or owner with a copy of the operation and maintenance plan. The engineer is required to explain all required maintenance to the developer or owner as well as all associated requirements of this chapter (i.e., recordkeeping, contact information, submittal of records, etc.). Provide proof of such meeting or correspondence to the City.
12. 620-15.B(3a) Persons installing stormwater storage facilities shall be required to pay a specified amount to the municipal stormwater maintenance fund to help defray costs of periodic inspections and maintenance expenses. The long-term stormwater management inspection fee for a standard system is \$2,500.00 for a small system.
13. 620-16.A. The city Department of Public Works (DPW) requires a review fee. This fee is \$275.00. The consultant review fee will be in addition to the in-house reviews.

Chapter 640 Subdivision of Land and Land Developments

14. 640-57.H Provide proof of review and approval (for the Land Development Plan) from the County Planning Commission.

15. 640-58.I. On the plan cover sheet indicate that the City of Altoona signature block is for the Altoona City Planning Commission. Also provide the notes listed below relating to performance covenant and other land development plans on file...
16. 640-63.A(2) No access driveway shall be located within 50 feet of an intersection or as otherwise directed by the Planning Commission. The entrance to the existing parking lot (to remain) is within 50' of intersection. A waiver has been requested to allow this condition.
17. 640-63.A(3) No more than one bidirectional access driveway or two one-way access driveways shall be permitted for up to 150 feet of frontage. One additional bidirectional access driveway or two one-way access driveways may be installed for each additional full 150 feet of frontage.
 - Please show the property line bearings and distances on the plan.
 - It appears that there are 3 access points on S 9th Street. Please clarify the paved area between the parking aisles at the side door. If this is used as perpendicular parking it does not meet the SALDO. If it is a parallel pull off strictly used for patient pickup, please provide pavement markings and signage indicating this.
18. 640-63.A(10) State highway occupancy permits are required for access to a state highway. Provide proof of an existing or proposed permit for the drive at the unopened alley.
19. 640-63.A(10) City permits are required to access a City street. A Driveway permit will be required for all proposed driveways as well as any existing driveway with no permit on record. All driveways shall adhere to the City's driveway ordinance and current ADA standards. DPW has indicated that Code Appeals Board Approval will be needed for non-compliance with the following sections of the driveway ordinance:
 - 300-5 B.(6) In general, only one driveway per property or adjoining properties under the same ownership will be approved. Only properties with a frontage length of 100 linear feet or greater may be considered for a second driveway. In addition to frontage, consideration for a second driveway will also be dependent on property size, location, and site conditions. Approval of a second driveway will be on an individual basis and solely at the discretion of the City. A second driveway, if approved, will be subject to all applicable fees. No more than two driveways shall be provided to any one property or adjoining properties under the same ownership from a public right-of-way.
 - 300-5 B. (8) The following applies to the portion of the driveway that is located within a public right-of-way: All driveways within the right-of-way shall be a minimum distance of five feet from any side property line.
20. 640-63.B(3) Parking facilities shall be set back from street right-of-way lines, property lines, and building foundations a minimum of five feet. It appears a waiver is necessary for the new parking lot from the property line.
21. 640-63.C(3a) All stalls, except for parallel parking stalls, shall be 19 feet long. The existing lot spaces do not meet this length. A waiver has been requested to allow this condition.
22. 640-63.C(3a&b) Please dimension the proposed stalls in the new lot.
23. 640-63.C(7) Curbing shall be placed at the edges of all surfaced areas, including islands. Curbing shall be vertical around the perimeters of the parking facility but may be sloped around landscaped islands. There are portions of the existing lot without curbing. A waiver has been requested to allow this condition.
24. 640-64.A(1) Sidewalks shall be provided along the entire length of the property in accordance with this section. On a corner lot, the sidewalk shall be extended along the second street as well. The project is adding sidewalk along Valley View Blvd; however, it is not proposed along S 9th Street. A waiver is requested to not providing sidewalk along this side.

25. 640-64.A(2) All Sidewalks shall be constructed to provide adequate access to the physically disabled.
- Provide proof of PennDOT Highway Occupancy Permit for work within right-of-way.
26. 640-65.A(1) All land development proposals shall include street trees to be planted between the sidewalk and the curb. A waiver has been requested to this section stating that installing street trees along Valley View Boulevard would require removal of required parking screening shrubs and the utilities and pavement prevent street trees along A 9th Street.
27. 640-65.B. Requires a buffer yard to separate incompatible uses. A waiver is being requested to the east and south stating there is no existing buffer at the rear, there is insufficient room with the new parking lot, and the proposed fence against the neighbor to the east will shield the parking lot, and the proposed alley to the south will be shared with the adjacent party.
28. 640-65.C(4&7) Along the parking lot, trees and shrubs shall be planted so as to screen the parking facility from all surrounding streets and properties. The intent is to mitigate the impact of vehicle noise, lights, and fumes on adjacent land. Such vegetation shall be planted so as to provide a full screen within five years. Alternatives to plantings and berms can be considered by the Commission; however, they must meet the intent of this subsection and maintain some landscaped presence along the proposal. Plan proposes a fence along the east property line in lieu of landscaping.
29. 640-65.D(1) The required setback between parking facilities and buildings shall be landscaped to eliminate large expanses of barren wall. A waiver is being requested to not provide foundational landscaping along the east wall (new parking lot) stating existing utilities prevent shrub installation and the proposed fence will block any views from the east.
30. 640-65.E(3c) Within each island, there shall be one tree for each 18 feet of length. A waiver is requested to not provide in the islands of the existing parking lot stating that there is a sign in the south island and a tree in the north island will cause a sight distance issue.
31. 640-65.E(6) Lighting (if applicable) shall conform with this section.
32. 640-65.G. All dumpsters / recycling bins (if applicable) must be placed in accordance with this section.

Should you have any questions please do not hesitate to contact The EADS Group at (814) 944-5035 or sshoenfelt@eadsgroup.com.

Sincerely,

The EADS Group, Inc. (Altoona)



By: Stephanie C. Shoenfelt, P.E.

cc: Project File

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www.eadsgroup.com



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Hollidaysburg, PA 16648
Phone: 814.696.7430
Fax: 814.696.0150
www.keller-engineers.com

July 30, 2025

Ms. Sabrina Appel-McMillen
Planning & Development Manager
City of Altoona
1301 12th Street, Suite 400
Altoona, PA 16601

**RE: FINAL LAND DEVELOPMENT PLAN - PARKING IMPROVEMENTS
901 VALLEY VIEW BLVD. LLC / ALTOONA CENTER FOR ORAL AND MAXILLOFACIAL
SURGERY
CITY OF ALTOONA, BLAIR COUNTY**

Dear Ms. Appel-McMillen:

The following is offered in response to the land development review by Stephanie Shoenfelt received in a letter dated July 14, 2025. The responses relate point-by-point to the comments in the review letter.

General:

1. Signature blocks will be executed at approval.
2. No response necessary.
3. The alley vacation is in process.
4. There is no proposed disturbance of the City street.
5. Zoning approval was received unofficially on July 9, 2025.

Chapter 620:

6. No response necessary.
7. A. The number of pipe detention pipes has been added, and they have been labeled as perforated on the plan.
B. The pipe label has been added.
C. The downstream piping has existed for many years and appears to be handling the flow. Runoff rate is being matched or reduced as part of the project, so the capacity does not need to be analyzed.
D. The outlet structure detail has been provided.
E. The dimension has been added to the detail.
8. The 5-year storm analysis has been added to the report.
9. Understood.
10. A. Per an email exchange with Rob Crossman on 7/22/25, there is no agreement as mentioned in the comment. The required signature statement was on the cover sheet of the plans in the initial submission, and the maintenance plan was included in the report and plans on the initial submission. The requirements were met on the initial submission.
B. The maintenance plan in the report and on the plans have been rectified.
11. Enclosed please find an email to the client describing the maintenance requirements.
12. The inspection fee is enclosed.
13. The fee is enclosed.

Chapter 640:

14. The BCPC review is enclosed. They do not have approval authority.
15. The signature block has been revised.
16. No response necessary.
17. A. The bearings and distances have been provided on sheet 2.
B. The paved area along South 9th Street is used for patient pickup while they are unsteady after a procedure, and it is also used for delivery of medical gases since the fill port is on that side of the building. This space has existed for many years, but signage has been added to clarify the use of the space.
18. According to PennDOT, there is no existing HOP on this driveway. The HOP will be provided upon receipt.
19. The code appeal application will be submitted to Rebecca Brown.
20. A revised waiver request list is enclosed.
21. No response necessary.
22. The dimensions have been provided.
23. No response necessary.
24. No response necessary.
25. The HOP will be provided upon receipt. Approval is expected fairly soon.
26. No response necessary.
27. No response necessary.
28. No response necessary.
29. No response necessary.
30. No response necessary.
31. There is no lighting proposed.
32. There is no dumpster proposed.

Please contact me at 814-696-7430 or along@keller-engineers.com if you have any questions or would like additional information.

Sincerely,



Adam J. Long, RLA
Land Development Division

cc: file



Blair County Planning Commission
Altoona Metropolitan Planning Organization
Blair County Government Advisory Committee

Blair Planning

June 26, 2025

City of Altoona
ATTN: Sabrina McMillen
1301 12th Street, Suite 400
Altoona, PA 16601

Dear Sabrina:

The Blair County Planning Commission is in receipt of the Altoona Center for Oral and Maxillofacial Surgery, located at 901 Valley View Boulevard in the City of Altoona, for review under the provisions of the Pennsylvania Municipalities Planning Code and other relevant statutes. Attached, you will find additional comments and recommendations pertinent to the review of this proposal.

In summary, we find this proposal to be consistent with countywide planning efforts as presented in the *Alleghenies Ahead* Regional Comprehensive Plan, adopted July 31, 2018, which includes comprehensive planning for Blair County. Thank you for the opportunity to review and comment on this proposal. If you should have any questions, please feel free to contact me.

Sincerely,

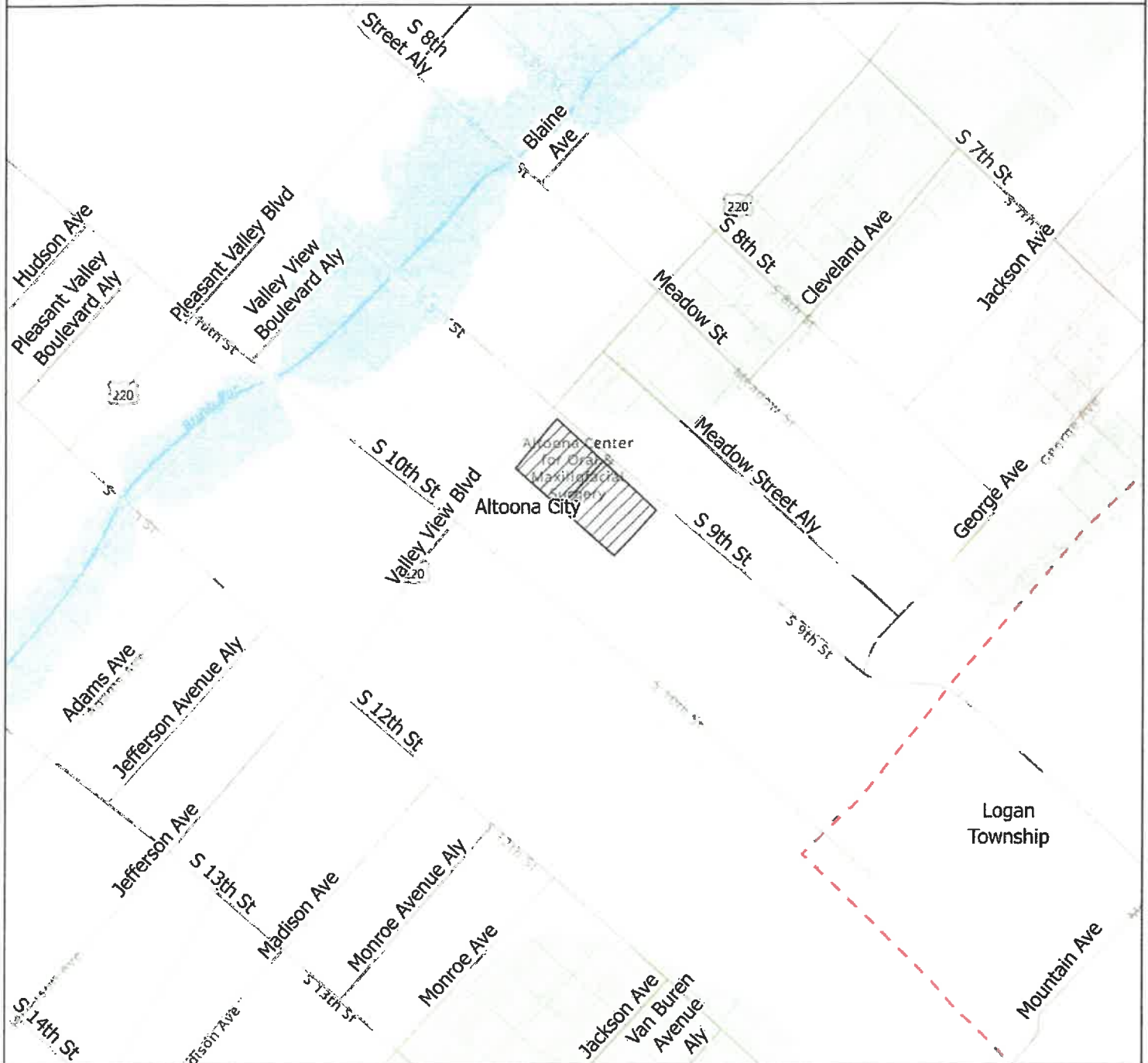
MacKenzie L. Caron
Regional Planner

c: Keller Engineers, Adam Long

Center for Oral & Maxillofacial Surgery



Reference Map



Legend

- Blair County Municipalities
- Altona Center for Oral & Maxillofacial Surgery Parcels
- Areas with Elevated Flood Risk
- Prime Farmland
- Steep Slopes
- Roads
- Blair County Parcels

0 0.05 0.1 Miles



PROPOSED LOT LINE RELOCATION AND FINAL DEVELOPMENT PLAN

June 20, 2025

Review submitted by SGC

PROJECT – Parking Improvements for Altoona Center for Oral & Maxillofacial Surgery

PLANS – Preliminary/Final Lot Line Relocation Plan dated 5-28-25 and

Final Development Plans dated 5/30/25

APPLICANT – Keller Engineers, Inc., for Dr. Adam Goddard

MUNICIPALITY – City of Altoona

PROPOSED DEVELOPMENT – The proposed parking lot expansion involves concurrent review of two types of permits.

The first permit is for a lot line relocation. This would transfer 5,460 square feet of land (0.125 acres) from Paul and Julie Stoehr to 901 Valley View Blvd, LLC, the owners of the surgery center. Adam Goddard per the relevant signature block, Adam Goddard is a member of the LLC.

The second permit is a final development plan to construct 10 additional parking spaces for the surgery center in the area to be transferred to it. The project also proposes addition of a sidewalk along the existing business frontage on Valley View Boulevard (SR 1001).

LOCATION – 901 Valley View Boulevard (surgery center) and 1101 South 9th Street (Stoehr property), situated in the eastern part of the City of Altoona.

SITE CHARACTERISTICS – The subject property is level. The surgery center has frontage on Valley View Boulevard. The Stoehr residence fronts South 9th Street, which becomes a residential area further from Valley View Boulevard. The land area proposed to transfer from Stoehr to 901 Valley View Blvd, LLC is a side yard with a garden plot.

Zoning for the subject site and nearby properties on the east side of Valley View Boulevard is R-S (Suburban Residential). The West side of Valley View Boulevard has C-HB (Highway Business) zoning and contains a mix of general commercial uses and older residences.

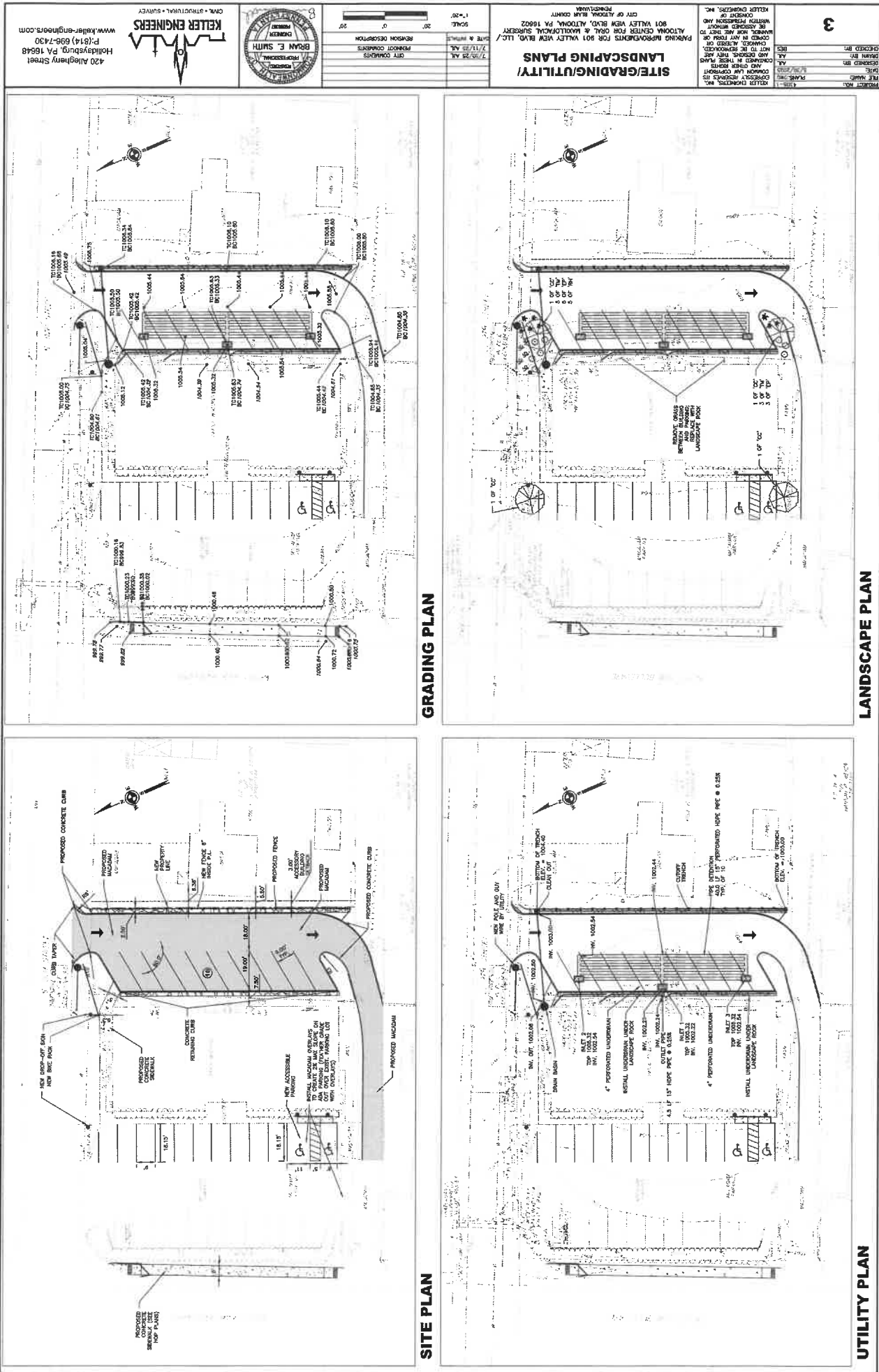
COMMENTS –

1. This review notes that the preliminary/final lot line relocation plan depicts existing building and building setbacks measured from the proposed lot lines. After the line moves, every existing building on the project site will be non-conforming relative to the current setback requirements. The only existing structure that currently meets setback requirements is one of three outbuildings on the Stoehr parcel.

- a. A casual review of aerial photos in this neighborhood shows that almost every parcel in the vicinity has buildings closer to the property lines than the standard setbacks provided for in the zoning code.
 - b. The project narrative also states that several “waivers are being requested from the City Subdivision and Land Development Ordinance (see enclosed list).” This list is not among the materials made available for review by the Blair County Planning Commission.
 - c. City of Altoona to determine appropriate actions and processing with respect to non-conforming setbacks and any other potential waiver or variance requests.
 - d. This review did not identify any other potential issues of concern with the lot line relocation plan.
2. The Final Development Plan shows the location of the existing surgery center building, current parking configuration on the west side of the building, proposed parking on the east side of the building, and other proposed features.
- a. There is no direct access to Valley View Boulevard. Instead, the current parking lot has access to South 9th Street and circulation via connection to an alley on the south side of the property.
 - b. Ingress to the proposed parking lot would be from a new access to South 9th Street. Egress would be through the alley. This portion of the alley is currently unopened. The plans show extension of travel surfacing from the new parking lot to the portion of the ally that already has appropriate surfacing for travel.
 - c. Stormwater infrastructure would include a new pipe detention system under the proposed new parking lot.
 - d. Altoona Zoning Code Section 800-47(C)(8) allows certain commercial uses in R-S zoning and provides for conditions of approval by a special exception granted from the Zoning Hearing Board. The materials made available for review do not include any information on whether the previous surgery center approval was special exception or if it is an older non-conforming use that pre-dates these provisions.
 - e. Zoning Section 800-47(Q) provides buffer yard and screening requirements in the R-S zone as follows:

“Where a nonresidential use is established either abutting or adjoining a residential use, a buffer yard not less than five feet in width shall be provided along the lot lines of the nonresidential use. In addition, the buffer yard shall be in compliance with any decision rendered by the Zoning Hearing Board under a variance or special exception or the Planning Commission under a land development review.”

- f. The final development plan proposes a 6' high fence along the inside of the new property line (Sheet 3, site plan detail). The project narrative explains that an “opaque fence is being installed along the property line since there is no room for a vegetative buffer.” This explanation and site design may be an alternative to the side yard requirement in Section 800-47(Q).
 - g. The project narrative also states that several “waivers are being requested from the City Subdivision and Land Development Ordinance (see enclosed list).” This list is not among the materials made available for review by the Blair County Planning Commission.
 - h. City of Altoona to determine appropriate actions and processing with respect to the side yard requirement and any other potential waiver or variance requests.
 - i. This review did not identify any other potential issues of concern with the final development plan.
- 3. PennDOT will require a new or revised Highway Occupancy Permit (HOP) for the proposed sidewalk in the SR 1001 right-of-way (plans provided on Sheet HOP1). PennDOT may also consider the proposed additional traffic using the alley access to SR 1001 during its review of the HOP application.
 - 4. Blair County Conservation District to review and approve the erosion and sediment control plan (details on Sheet ES1). This review has not identified anything about the proposed design that the Blair County Planning Commission should highlight for district review.
 - 5. This review has identified only municipality-level details that do not directly affect the Alleghenies Ahead comprehensive plan. If the applicant adequately addresses buffer yard and screening requirements and any potential non-conforming setback issues, the proposed lot line relocation and Final Development Plan should be able to proceed without undue adverse impact on the community and consistent with the Alleghenies Ahead comprehensive plan.



3

PROJECT NO. 25-001

DATE: 7/17/25

DESIGNED BY: KELLER ENGINEERS, INC.

CHECKED BY: KELLER ENGINEERS, INC.

DATE: 7/17/25

PROJECT NO. 25-001

PLAN SHEET

DATE: 7/17/25

SCALE: 1" = 20'

CITY COMMENTS:

REGION DESCRIPTION:

REGION COMMENTS:

LANDSCAPE/UTILITY/

SITE/GRADING PLANS

PARKING IMPROVEMENTS FOR 801 VALLEY VIEW BLVD., LLC / ALTOONA CENTERS FOR PAUL & MICHELLE L. GREGORY

801 VALLEY VIEW BLVD., ALTOONA, PA 16602

CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA

KELLER ENGINEERS, INC.

CONTRACT NO. 25-001

PROJECT NO. 25-001

DATE: 7/17/25

DESIGNED BY: KELLER ENGINEERS, INC.

CHECKED BY: KELLER ENGINEERS, INC.

DATE: 7/17/25

PROJECT NO. 25-001

KELLER ENGINEERS

420 Allegheny Street

Hollidaysburg, PA 16648

P: (814) 696-7430

www.keller-engineers.com

Civil • Structural • Survey

[illegible]

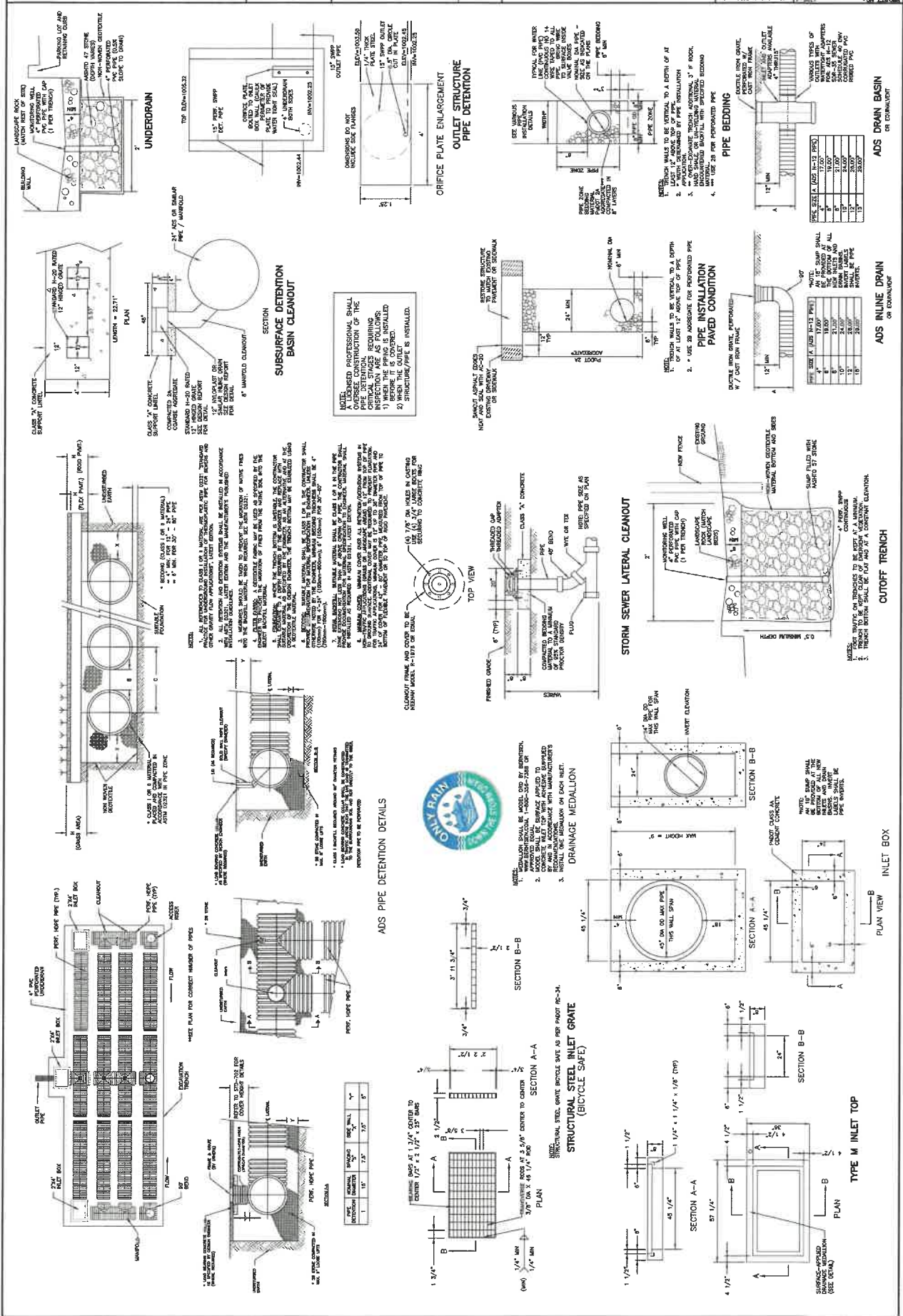
DETAILS

5

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED
DATE 5/30/2005 BY 60322
DECLASSIFIED BY: 60322
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DETAILS



PENNSYLVANIA STATE UTILITY ACT LIST

THESE DATE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. CONTRACTORS SHALL LOCATE, MARK, AND PROTECT ALL UTILITIES BEFORE CONSTRUCTION AND NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 800-441-4341. THE FOLLOWING UTILITIES ARE ON THE ONE CALL WEBSITE AS OF 12/15/2011.

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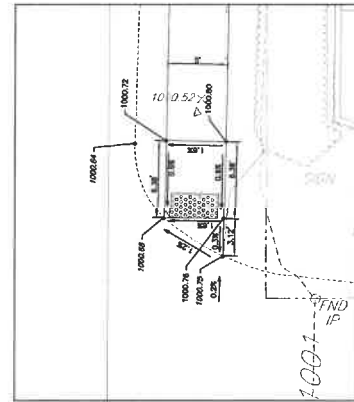
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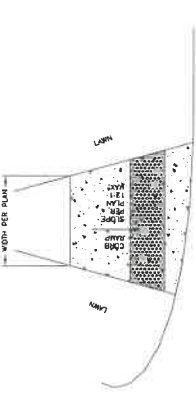
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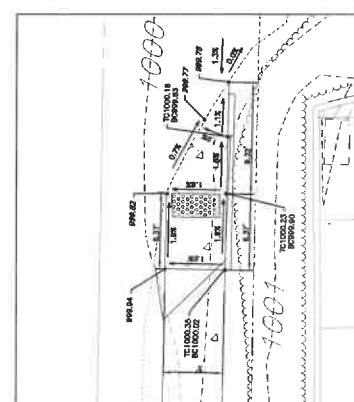
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SCALE: 1" = 5'



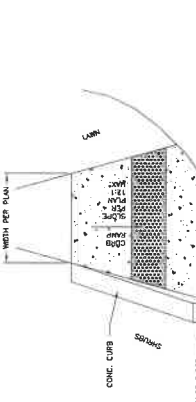
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SCALE: 1" = 5'



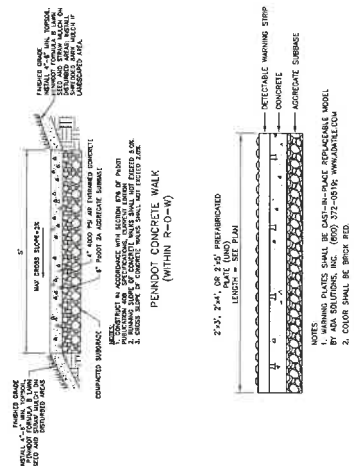
CURB RAMP ENLARGEMENT-OFFSET 1140

SCALE: 1" = 5'



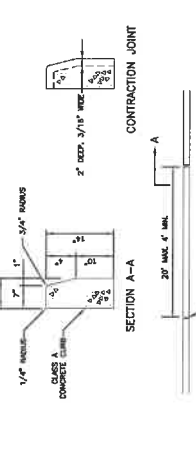
CURB RAMP ENLARGEMENT-OFFSET 1140

SCALE: 1" = 5'



CURB RAMP ENLARGEMENT-OFFSET 1140

SCALE: 1" = 5'



CURB RAMP ENLARGEMENT-OFFSET 1140

SCALE: 1" = 5'

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CIVIL & STRUCTURAL - SURVEY
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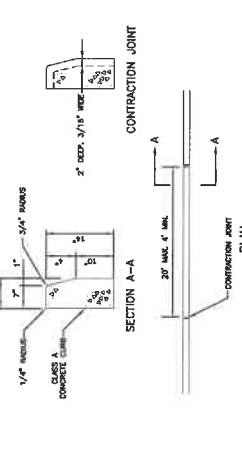
DATE & REVISION	REVISION DESCRIPTION
7/21/15	AL
7/21/15	AL
7/21/15	AL
7/21/15	AL
7/21/15	AL

HOP PLAN

PROPOSED IMPROVEMENTS FOR 901 VALLEY VIEW BLVD., ALTOONA, PA 16802
ALTOONA CROSSING FOR 901 VALLEY VIEW BLVD., ALTOONA, PA 16802
CITY OF ALTOONA, BLAIR COUNTY

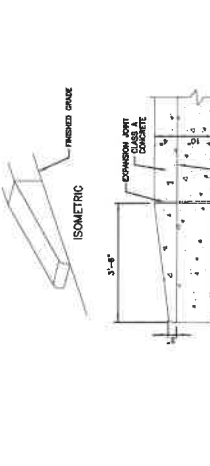
HOP3

PROJECT NO. 15-001
DATE: 7/21/15
DRAWN BY: AL
CHECKED BY: AL
DESIGNED BY: AL
PROJECT NO. 15-001



SECTION A-A

SCALE: 1" = 5'



ISOMETRIC

SCALE: 1" = 5'



VERTICAL CURB TAPER

SCALE: 1" = 5'



420 Allegheny Street
Hollidaysburg, PA 16648
Phone: 814.696.7430
Fax: 814.696.0150

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**WAIVER REQUESTS
PARKING IMPROVEMENTS
FOR ALTOONA CENTER FOR ORAL AND MAXILLOFACIAL SURGERY
CITY OF ALTOONA, BLAIR COUNTY, PENNSYLVANIA
PROJECT NO. 4305-1 MAY 2025 REVISED JULY 2025**

Section 640.63.A(2)– Request to allow existing driveway within 50' of intersection.

Justification: The condition is existing and has existed for many years.

Section 640.63.C(7)– Request to provide no curb on some of the parking.

Justification: The condition is existing and has existed for many years.

Section 640.63.C.3(a)– Request to allow the existing spaces to be shorter than 19'.

Justification: The condition is existing and has existed for many years.

Section 640.64.A.1– Request to not provide sidewalks along South 9th Street.

Justification: Due to the existing street condition, numerous utilities and utility poles, an existing paved service drive, grade conditions, and driveway locations, sidewalks are not possible on this property along this street. There are also no sidewalks on South 9th Street in which to connect.

Section 640.65.A.1– Request to not provide street trees along both streets.

Justification: Installing street trees along Logan Boulevard would require the removal of required parking screening shrubs, and there is insufficient room with the installation of the required sidewalks. There are numerous utilities, guy wires, and driveways that prevent the installation of street trees along South 9th Street.

Section 640.65.D.4– Request to allow no foundation landscaping along the east façade.

Justification: There are utilities and existing air conditioning units that will prevent shrub installation. The proposed fence will block any views from the east.

Section 640.65.B.8– Request to eliminate the required buffer against residential properties.

Justification: There is no buffer in the existing condition, and the building is existing, not proposed. A fence is being installed against the neighbor to the east. A paper alley exists to the south, and the neighbor to the south has provided approval to the applicant allowing paving of that paper alley since the pavement will benefit both parties.

Section 640.65.E.3.(c)– Request to not provide trees in the existing islands along Logan Boulevard.

Justification: There is a sign in the south island, and adding a tree in the north island will cause a sight distance issue.

Additional request added July 2025

Section 640.63.B.(3) – Request to have the parking lot less than 5' from the property line.

Justification: The lot is located 3' from the proposed property line because of existing air conditioning units and utilities behind the existing building. We also need to accommodate the accessory structure setback for the neighbor's garage. A solid fence is being proposed to handle any screening usually required in the 5' parking setback.

RESOLUTION 8-5-25-PAC25-03
A RESOLUTION APPROVING THE PARKING IMPROVEMENTS FOR
THE ALTOONA CENTER FOR ORAL & MAXILLOFACIAL SURGERY

WHEREAS an application for a land development project has been filed with the Altoona City Planning Commission (hereinafter "ACPC") by the Altoona Center for Oral & Maxillofacial Surgery. (hereinafter referred to as the "DEVELOPER"); and

WHEREAS, the DEVELOPER desires to construct a small parking lot behind his existing medical building located at 901 Valley View Blvd, Altoona, Pennsylvania; and

WHEREAS, staff has reviewed the LAND DEVELOPMENT PLAN, incorporated herein by this reference and filed with the ACPC by the Developer, and has found it to be in compliance, as a FINAL LAND DEVELOPMENT with all applicable provisions of the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has determined that this LAND DEVELOPMENT PLAN constitutes a FINAL LAND DEVELOPMENT PLAN in full compliance with the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has the power to APPROVE modifications to the City of Altoona's subdivision and land development requirements, and the Developer has requested the following waivers that are hereby approved by the ACPC:

1. §640-63A(2): No access driveway shall be located within 50 feet of an intersection or as otherwise directed by the Planning Commission.
The applicant is requesting a waiver to this section.
2. §640-63B(3): Parking facilities shall be set back from the street right-of-way lines, property lines, and building foundations a minimum of five feet
The applicant is requesting a waiver to this section.
3. §640-63C(7): Curbing shall be placed at the edges of all surfaced areas, including islands.
The applicant is requesting a waiver to this section for the existing parking lot.
4. §640-63C(3)(a): All stalls, except for parallel parking stalls, shall be 19 feet long.
The applicant is requesting a waiver to this section.
5. §640-64A(1): Sidewalks shall be provided along the entire length of the property. On a corner lot, the sidewalk shall be extended along the second street as well.
The applicant is requesting a waiver to not provide sidewalks along South 9th Street.
6. §640-65A(1): All land development proposals shall include street trees to be planted between the sidewalk and the curb.
The applicant is requesting a waiver to not provide street trees along both streets.
7. §640-65D(4): Foundational landscaping shall include low shrubbery at a ratio of at least one shrub for every five linear feet of wall and high shrub or tree for every 50 linear feet of wall.
The applicant is requesting a waiver to this section.
8. §640-65B(8): Five-foot minimum buffer yard required for all proposals.
The applicant is requesting a waiver to this section.
9. §640-65E(3)(c): Within each island, there shall be one tree for each 18 feet of length.
The applicant is requesting a waiver to this section.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Altoona, Blair County, Pennsylvania, that the application and plans, as filed by the DEVELOPER, are hereby approved subject to the following conditions:

1. The conditions of the plan must be accepted in writing by developer within 30 days of plan approval.
2. All required signatures must be obtained on the plan.
3. If required, financial security to cover the cost of all public improvements must be provided to the City.
4. A developer's agreement prepared by the ACPC must be executed by the Developer.
5. Stormwater Maintenance agreement signed by the owner shall be provided to the City.
6. Code Appeals Board Approval of the third driveway.
7. A copy of the RECORDED plan must be provided to the ACPC as soon as it is recorded.
8. All conditions must be met, fees paid, and the plan signed and recorded within the plan deadline.

RESOLVED by the Altoona City Planning Commission on August 5, 2025:

David B. Albright, Chairman

**COFFEE & TANNING SHOP
2200 PLEASANT VALLEY BLVD**

PROJECT NARRATIVE

Francis and Laura OFarrell are proposing to construct a 3,564 sf building at 2200 Pleasant Valley Blvd in the City of Altoona, Blair County. The building will contain a coffee house on the first floor and tanning beds on the second. Site work will involve construction of the building and associated parking, utility laterals, and stormwater management/conveyance facilities.

The project is located on two parcels of land (which will be merged into 1 lot) totaling 0.328 acres with approximately 0.459 acres being disturbed. The property is bordered on the north by S 22nd St, to the south by Olmes St, Pleasant Valley Blvd (SR 1001) to the east and residential homes to the west.

Access to the project is via a 2-way driveway onto S 22nd St and 2 exit only driveways onto Olmes St. Access to Pleasant Valley Blvd from S 22nd St is controlled by a signalized intersection and from Olmes St by a stop sign.

Existing water and sewer service laterals will be extended to the new building. The Altoona City Authority will provide water and sewer service.

To control the increase in rate, volume and water quality of runoff from the project area runoff will be conveyed to a subsurface infiltration bed. The stormwater management analysis was designed as per the City of Altoona Code of Ordinances.

Erosion control will be provided as per the Blair County Conservation District requirements.

Construction is anticipated to begin in the summer of 2025 and be completed several months thereafter.

The site is zoned C-HB, Highway Business.

May 15, 2025

Ms. Sabrina McMillen
Planning & Development Manager
City of Altoona
Department of Planning & Community Development
1301 12th Street, Suite 400
Altoona, PA 16601

RE: O'FARRELL COFFEE & TANNING SHOP
Land Development Review

Dear Ms. McMillen:

At the request of the City of Altoona, we have completed our review of the land development plan for the above-referenced project. The following information was provided to our office on 05/12/2025 for review of a land development located at 2200 Pleasant Valley Boulevard in the City of Altoona, Blair County:

- Plan of No Impact Subdivision prepared for Francis O'Farrell, Jr. & Laura O'Farrell as prepared by P. Joseph Lehman, Inc., 1 sheet, project no. 7393, dated 03/11/2025
- Final Land Development Plans for Coffee & Tanning Shop for Francis O'Farrell, Jr. & Laura O'Farrell as prepared by P. Joseph Lehman, Inc., 21 sheets, project no. 7393, dated 05.09.25
- Post Construction Stormwater Management Plan for Coffee & Tanning Shop for Frank O'Farrell as prepared by P. Joseph Lehman, Inc., dated May 9, 2025
- Erosion and Sediment Pollution Control Plan for Coffee & Tanning Shop for Frank O'Farrell as prepared by P. Joseph Lehman, Inc., dated May 9, 2025
- Transmittal Letter dated May 9, 2025; Application for Subdivision and/or Land Development; Driveway Permit Application; Traffic Study; Project Narrative; and Waiver Requests

The above information has been reviewed for conformance with Chapter 620 and Chapter 640 of the Code of Ordinances for the City of Altoona, Blair County, Pennsylvania. This review was completed for ordinance conformance only. We do not accept any liability for any potential design errors or oversights made by the design engineer. Members of the City of Altoona Planning Commission have the final decision regarding comments for the construction plans. The developer shall address the following comments and proceed with final plan preparation.

General

1. All signature blocks are to be executed.
2. No changes can be made to the approved plans during construction without the approval of the City. After construction is complete provide record or as-built drawings to the city of all approved changes made during construction.
3. Please expand the note on the parking lot detail to include that all asphalt joints within right of way shall be sawcut neat.
4. Please note street restoration within the City right-of-way can match parking lot pavement detail provided (where applicable).
5. Property is zoned C-HB, Highway Business. 800.54.Q states, "Where a nonresidential use is established either abutting or adjoining a residential use, a buffer yard not less than five feet in width

shall be provided along the lot lines of the nonresidential use. In addition, the buffer yard shall be in compliance with any decision rendered by the Zoning Hearing Board under a variance or special exception or the Planning Commission under a land development review." A waiver from the Planning Commission has been requested under the land development review.

Chapter 620 Stormwater Management, Erosion and Sediment Control

6. 620-1.B. Prior to the commencement of any improvement which involves an earthmoving disturbance greater than 5,000 square feet, all erosion and sedimentation control plans must be submitted by the applicant to, and approved by, the Blair County Conservation District. Please provide the approval letter when received.
7. 620-11.A(4k) Any stormwater facilities that is located on a state highway right-of-way or connected to stormwater facilities within the state right-of-way shall be subject to PennDOT approval and permitting.
8. 620-12.C Design criteria for collection/conveyance facilities. Please indicate the pipe material, size, slope on the plan.
9. 620-12.C(2h) Provide pre-cast or after-market medallions with wording such as "only rain in the drain," "drains to the stream," "stormwater only," "no dumping," etc.
10. 620-12.C(2l) Any connection to the City storm sewer system, whether to an inlet, manhole, or direct connection must be approved by the City of Altoona. Fee for tapping/inspection of an existing inlet/manhole/pipe is \$250. Contractor should contact the public works office, 949-2446, 24 hours in advance of the work being done.
11. 620-13.F(1) Any changes proposed during construction must receive the approval of the City prior to implementation.
12. 620-13.F(2) Please acknowledge that DPW is to be supplied with documentation of all inspections.
13. 620-15.A(1) Facilities, areas or structures used as stormwater management BMPs shall be enumerated as permanent real estate appurtenances and recorded as deed restrictions or conservation easements that run with the land. Any existing or proposed inlets, piping, ponds, raingardens, swales, etc. located within the site are considered stormwater facilities. These storm water facilities are private and maintenance of the storm water management facilities will be the responsibility of the owner.
 - The engineer has provided the owner with a copy of the approved maintenance plan/agreement and explain its requirements. The owner will need to sign the signature block.
14. 620-15.B(1c) The owner shall keep on file with the City of Altoona the name, address and telephone number of the person or company responsible for operation and maintenance activities. In the event of a change, new information will be submitted by the owner to the City of Altoona within 10 working days of the change.
15. 620-15.B(3a) Persons installing stormwater storage facilities shall be required to pay a specified amount to the municipal stormwater maintenance fund to help defray costs of periodic inspections and maintenance expenses. The long-term stormwater management inspection fee for a standard system is \$3,000.00.
16. 620-16.A. The city Department of Public Works (DPW) requires a review fee. This fee is \$275.00. The consultant review fee will be in addition to the in-house reviews.

Chapter 640 Subdivision of Land and Land Developments

Article VI Standard Subdivisions:

17. 640-29.E. List all owners of land abutting the proposal and directly across any streets, watercourses, or railroads. For corner properties, this shall include the land diagonally across the intersection as well.
18. 640-29.H. Provide proof of review and approval (for the Lot Consolidation Plan) from the County Planning Commission.
19. 640-33.E(1) All driveways shall enter streets at safe locations. No driveway shall enter a public street within 50 feet of an intersection. A waiver is being requested stating that due to the narrow width of

the lot and the residential properties at the rear, the driveways were placed as far from the intersection as possible while still maintaining functionality of the lot. This identical waiver is being requested to Article X 640-63.A(2) below.

20. 640-36. Monumentation shall be set in accordance with this section.

Article X Land Developments

21. 640-57.H Provide proof of review and approval (for the Land Development Plan) from the County Planning Commission.
22. 640-57.L. Sewage facilities planning module permit application was received by the city. PADEP approval is needed prior to final approval.
23. 640-58.B(4) Indicate / identify all the abutting properties including those directly across any streets and diagonally across intersections.
24. 640-62.B Buildings should be sited toward the front of the lot, as close to the setback line as practical. Parking shall not be placed in front of the building. A waiver is being requested stating that due to the residential district behind the lot, parking was placed towards the front of the building.
25. 640-63.A(2) No access driveway shall be located within 50 feet of an intersection or as otherwise directed by the Planning Commission. A waiver is being requested stating that due to the narrow width of the lot and the residential properties at the rear, the driveways were placed as far from the intersection as possible while still maintaining functionality of the lot.
26. 640-63.A(4) No bidirectional access driveway shall be wider than 24 feet or narrower than 16 feet at the point where such a driveway crosses the street or alley right-of-way line. The width may be increased to 35 feet if the access driveway is to be utilized heavily by truck traffic. The access to S 22nd Street appears to exceed 24'.
27. 640-63.A(5) No one-way access driveway shall be wider than 18 feet or narrower than 10 feet at the point where such a driveway crosses the street or alley right-of-way line. A waiver has been requested stating that the one-way exit driveway at the southeastern corner of the property is 19.8' to allow vehicular turning movements from the drive thru lane to the exit driveway.
28. 640-63.A(6) The minimum curb radius on an access driveway at the street or alley shall be 10 feet. A waiver has been requested stating that the driveway, in front of the building, at Olmes Street is exit only; the eastern radius does not affect turning movements; and the driveway, behind the building, is the maximum radius to fit site conditions/layout within the property.
29. 640-63.A(10) City permits are required to access a City street. A Driveway permit will be required for all proposed driveways as well as any existing driveway with no permit on record. All driveways shall adhere to the City's driveway ordinance and current ADA standards. There are two driveways within the project. The permit fees have been paid.
30. 640-63.B(3) Parking facilities shall be set back from street right-of-way lines, property lines, and building foundations a minimum of five feet. A waiver is being requested for the two parking spaces in the NW corner and one in the NE. More detail provided in request.
31. 640-63.C(7) Curbing shall be placed at the edges of all surfaced areas, including islands. Curbing shall be vertical around the perimeters of the parking facility but may be sloped around landscaped islands. A waiver has been requested stating that traffic is being controlled by landscaping and stormwater through grading to drain towards the surface edges to promote groundwater recharge. Curbing is provided on the interior side of drive thru and at street edges.
- Staff does not support the waiver of curbing but has no objection to curb cuts as needed.
 - Please provide additional spot elevations along the S 22nd Street and Olmes Street showing where the full depth curve reveal along the sidewalk.
32. 640-63.I(3) A face-to-face setup shall be used for all drive-through facilities to eliminate speaker noise. Alternatives may be considered by the Planning Commission where it can be shown that transactions will not be heard at the lot line at any time of day or night. A waiver has been requested stating that a solid vinyl fence and landscaping will help shield speaker noise; in addition an AI speaker system will

- help control decibel levels; the two residential neighboring properties behind have garage structures close to the property line that offer an additional buffer to the homes.
33. 640-64.A(2) All Sidewalks shall be constructed to provide adequate access to the physically disabled.
 - On the ADA ramps within the right-of-way, please provide slopes in addition to elevations.
 - Provide proof of PennDOT Highway Occupancy Permit for work within right-of-way of Pleasant Valley Blvd.
 - DWS in the Right-of-Way to be Brick Red Composite. Please add a note to the detail.
 34. 640-65.A(2) Throughout the City, one tree shall be planted along the street for every 50 feet of street frontage, equidistantly if possible.
 35. 640-65.A(5e) Trees shall have temporary labels attached so inspectors can determine compliance with the approved plan.
 36. 640-65.B(5) No parking, structures, dumpsters, light standards shall be permitted in a buffer yard. A waiver has been requested stating a 7' high vinyl fence and landscaping will be provided along the rear property line to provide a buffer.
 37. 640-65.C(4) Along the parking lot, trees and shrubs shall be planted so as to screen the parking facility from all surrounding streets and properties. The intent is to mitigate the impact of vehicle noise, lights, and fumes on adjacent land. Such vegetation shall be planted so as to provide a full screen within five years. The city requires bushes planted at 3' on center.
 38. 640-65.D(3-5) The foundational landscaping requirements may be waived where a sidewalk runs along the wall and architectural features have been added to the wall which visually enhances its presence. Simple striping and signing shall not qualify for this waiver. Foundational landscaping shall include low shrubbery at a ratio of at least one shrub for every five linear feet of wall and high shrub or tree for every 50 linear feet of wall. Foundational landscaping may be waived if the proposal includes yard trees throughout the site that serve the same screening purposes as foundational plantings. Such a waiver may be applied only where such yard trees serve the noted function. It appears a waiver may be desired. Staff has no objection based on the landscaping plan submitted should this waiver be requested.
 39. 640-65.E(3a) Islands shall be six feet wide. A waiver has been requested stating to maximize the buffer areas around the parking lot, the island width at the drive thru entrance has been reduced.
 40. 640-65.E(5) Signs shall be kept to the minimum necessary for safe and efficient traffic operation. DPW has indicated to add stop signs at all exit points.
 41. 640-65.E(6) Lighting shall conform with this section including height, cut-off fixture, etc. It appears exterior parking lot lighting is not proposed.
 42. 640-65.H. All landscaping and improvements that are specifically required by this section shall be maintained and must be replaced if the required vegetation is damaged, diseased, cut, or dies. This is to be noted on the plan.

Should you have any questions please do not hesitate to contact The EADS Group at (814) 944-5035 or sshoenfelt@eadsgroup.com.

Sincerely,
The EADS Group, Inc. (Altoona)



By: Stephanie C. Shoenfelt, P.E.

cc: Project File

R:\0283 City of Altoona\19478 City of Altoona\Phase 94 - Task Order 88 - Plan Reviews 2025\O-Farrell Coffee & Tanning Shop\250513 Review
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www.eadsgroup.com



Blair Planning

Blair County Planning Commission
Altoona Metropolitan Planning Organization
Blair County Government Advisory Committee

June 26, 2025

City of Altoona
ATTN: Sabrina McMillen
1301 12th Street, Suite 400
Altoona, PA 16601

Dear Sabrina:

The Blair County Planning Commission is in receipt of the South Beach Tanning Salon LD, located at 2200 Pleasant Valley Boulevard in the City of Altoona, for review under the provisions of the Pennsylvania Municipalities Planning Code and other relevant statutes. Attached, you will find additional comments and recommendations pertinent to the review of this proposal.

In summary, we find this proposal to be consistent with countywide planning efforts as presented in the *Alleghenies Ahead* Regional Comprehensive Plan, adopted July 31, 2018, which includes comprehensive planning for Blair County. Thank you for the opportunity to review and comment on this proposal. If you should have any questions, please feel free to contact me.

Sincerely,

MacKenzie L. Caron
Regional Planner

c: P. Joseph Lehman, Inc., Ken Szala

PROPOSED SUBDIVISION AND FINAL DEVELOPMENT PLAN

June 20, 2025

Review submitted by SGC

PROJECT – South Beach Tanning & Coffee Shop

PLANS – No Impact Subdivision Plan dated March 11, 2025, and

Final Development Plans for Coffee & Tanning Shop dated May 9, 2025

APPLICANT – P. Joseph Lehman, Inc., for Francis Ofarrell, Jr., and Laura Ofarrell

MUNICIPALITY – City of Altoona

PROPOSED DEVELOPMENT – The proposed development includes concurrent review of two types of permits.

The first permit is a no impact subdivision. This would consolidate two parcels under common ownership to remove the internal lot line and associated setbacks. Current parcel numbers are 01.06-39..-066.00-000 and 01.06-39..-067.00-000. The total area involved is 0.328 acres. Zoning for this site is Commercial Highway Business (C-HB).

The second permit is a Final Development Plan for a 2-story building. This would have a coffee shop on the first floor and a tanning salon on the second floor. The proposed building footprint is 1,782 square feet. The total building area would be 3,564 square feet. Sixteen parking stalls are proposed. The coffee drive-through would provide stacking space for seven vehicles. Development would also include addition of sidewalks in the adjacent rights-of-way.

LOCATION – 2200 Pleasant Valley Boulevard (SR 1001). In the eastern part of the City of Altoona.

SITE CHARACTERISTICS – The subject property is vacant, flat, and located on the west side of Pleasant Valley Blvd. Ground cover is gravel, weeds, and a concrete slab from a long-gone prior use. South 22nd Street is the northern border for the site. Olmes Street is the southern border. An established residential neighborhood abuts the sites western property line. This residential area has Residential Single Household (R-SH) zoning.

The opposite (east) side of Pleasant Valley Boulevard is a vacant property with C-HB zoning. Adjacent uses on the west side of Pleasant Valley Boulevard include a tire store/auto repair shop to the north of South 22nd Street and a car wash to the south of Olmes Street. These nearby auto-oriented uses have R-SH zoning, making the nearby businesses non-conforming uses.

COMMENTS –

1. The No-Impact Subdivision Plan includes a complete site layout, parcel information, signature blocks, and utility list. This review has not identified any issues with the subdivision plan.
2. The Final Development Plan appears to propose uses, parking, building setbacks, access and other features in general compliance with the City of Altoona zoning requirements. The next comment addresses a possible exception.
3. Zoning Section 800-54(Q) provides requirements for buffer yards and screening in the C-HB zone as follows:

“Where a nonresidential use is established either abutting or adjoining a residential use, a buffer yard not less than five feet in width shall be provided along the lot lines of the nonresidential use. In addition, the buffer yard shall be in compliance with any decision rendered by the Zoning Hearing Board under a variance or special exception or the Planning Commission under a land development review.”

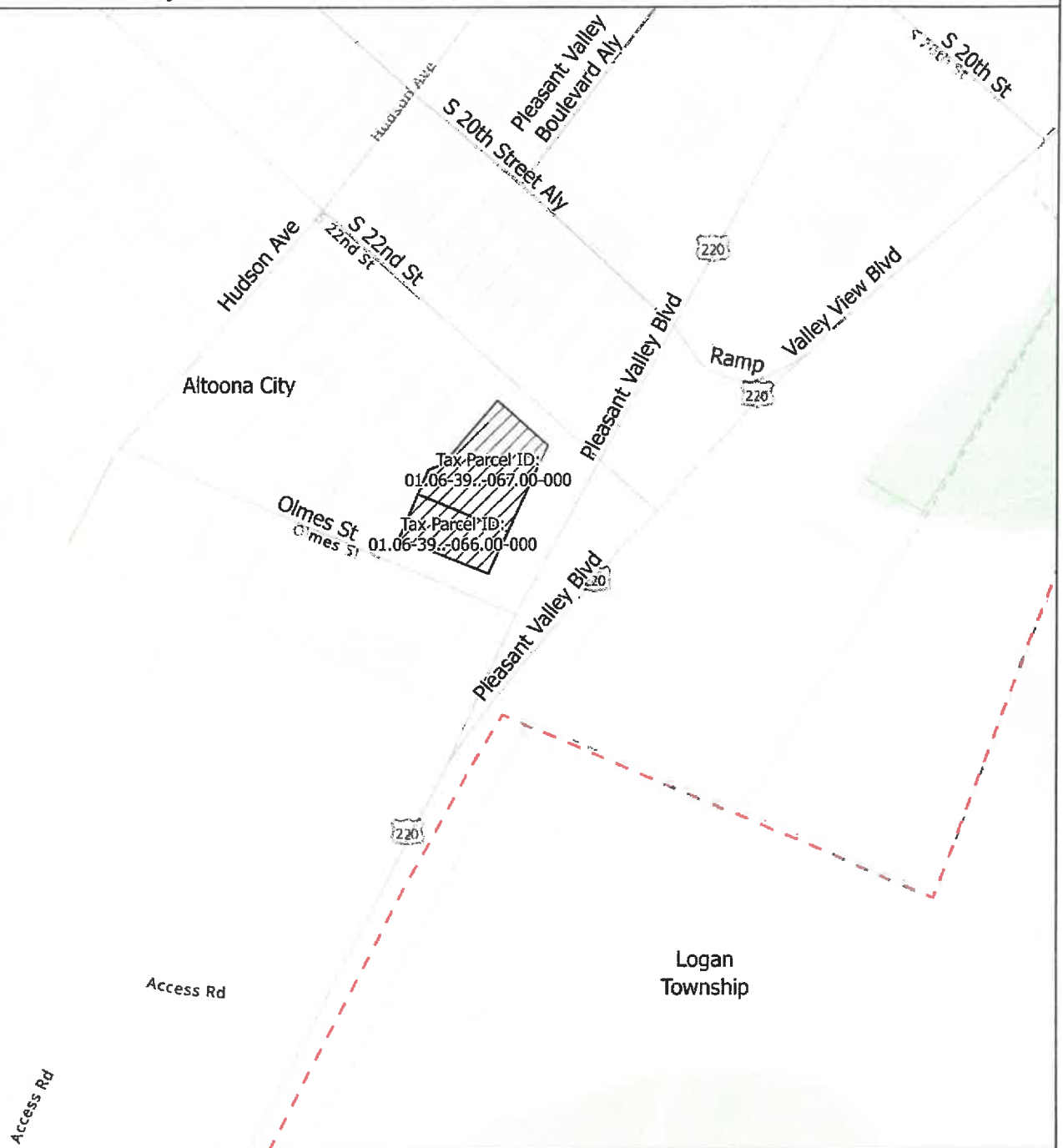
- a. The final development plans propose a 7’ high solid vinyl fence along the adjoining property lines with two abutting residential properties to the west (see the landscaping plan on Sheet 9 of 21). One purpose of this fence may be to mitigate the negative impacts of vehicle headlights in the drive-through queuing lane that would otherwise aim directly at the house located at 710 Olmes Street.
- b. The plans propose landscaping along the interior of the fence on the adjoining lot lines. In other words, this landscaping would be visible from the project site but most not visible to the adjacent residences. Proposed plantings along this line include sea green juniper (an evergreen shrub) less than 7 feet tall and eastern redbud (a deciduous tree) that may grow above the fence height.
- c. Most of the proposed landscaping area along the abutting residential properties is wider than the five feet called for in Section 800-54(Q). However, the proposed width is less than five feet in the location of the proposed junipers.
- d. Section 800-54(Q) contemplates a variance or other modification process to its buffer yard and screening requirements. The Zoning Hearing Board may render a decision on variances.
- e. Section 800-15(B)(2) provides submittal requirements that an applicant must comply with as part of an application for a variance. Applicants must describe their variance

request in a written project narrative. Project narratives are typically stand-alone documents, but discussion the relevant information is sometimes on the project plans.

- f. No separate project narrative was provided for review. This review did not find anything on the project plans contemplating a variance or other modification related to buffer yard requirements in Section 800-54(Q).
 - g. This review recommends that the City of Altoona review the materials it has received for compliance with buffer yard provisions and respond as appropriate. The City may already have the information it needs. The city might also need to highlight the issue to the applicant and request changes. Changes could include: (1) additional information such as a narrative describing a variance proposal to be added to the project application materials, or (2) an adjustment to the project design that complies with Section 800-54(Q), or (3) another solution to show compliance with applicable zoning standards.
 - h. It has been brought to the attention of the Blair Planning Commission that the proposed site is a former gas station. Additional site remediation may be required – we recommend consulting with DEP in order to ensure no negative unforeseen consequences occur as a result of this proposal.
4. This review has identified a potential municipality-level issue that does not directly affect the Alleghenies Ahead comprehensive plan. If the applicant adequately addresses buffer yard and screening requirements, the proposed No-Impact Subdivision (lot consolidation) and Final Development Plan should be able to proceed without undue adverse impact to the community and consistent with the Alleghenies Ahead comprehensive plan.

South Beach Tanning

Reference Map



Legend

- South Beach Tanning Parcels
- Blair County Municipalities
- Roads
- Prime Farmland
- Blair County Parcels

0 0.025 0.05 Miles



July 23, 2025

7393

COFFEE & TANNING SHOP
REVIEW RESPONSE

Ms. Sabrina McMillen, Planning & Development Manager
City of Altoona
Department of Planning & Community Development
1301 12th Street, Suite 400
Altoona, PA 16601

Dear Ms. McMillen:

Enclosed are two (2) sets of revised plans for the above-mentioned project. This submission is in response to the City Engineer's review letter dated May 15, 2025. The comments have been addressed as follows:

General

1. Signature blocks will be executed once all technical reviews are completed.
2. Notes acknowledging these items are listed under the general notes on sheet 2.
3. The parking lot paving detail note on sheet 10 has been revised.
4. The parking lot paving detail title has been revised to reference City Street Restoration also.
5. So noted that a waiver has been requested for the buffer yard.

Chapter 620 Stormwater Management, Erosion and Sediment Control

6. Approval from the Blair County Conservation District will be forwarded when received.
7. So noted stormwater facilities in state right of way will need permitted by PennDOT. (The City has indicated that they will make this application to PennDOT.)
8. A pipe schedule is located on sheet 5 which details pipe material, size and slopes.
9. The inlet detail on sheet 12 has been revised.
10. So noted there is a tapping fee for connection to existing storm sewer systems. A note has been added to sheet 5 for contacting public works.
11. Note 8 has been added to sheet 5.
12. It is acknowledged that DPW is to be supplied with documentation of all inspections.
13. Enclosed is the executed copy of the maintenance plan/agreement.
14. So noted the owner shall keep on file with the City the name, address and telephone number of the entity responsible for operation and maintenance activities.
15. The long-term stormwater management inspection fee will be forwarded under another cover letter.
16. The DPW and consultant review fees will be forwarded under another cover letter.

cont.

City of Altoona

July 23, 2025

Chapter 640 Subdivision of Land and Land Developments

Article VI Standard Subdivisions:

17. The property owner across the intersection is shown on sheet 3 of the land development plan and the lot merger plan.
18. Enclosed is a copy of the review letter from the County Planning Commission.
19. So noted that a waiver is requested for the location of the driveways.
20. Monumentation of all corners has been provided.

Article X Land Developments:

21. Enclosed is a copy of the review letter from the County Planning Commission.
22. So noted that PADEP approval is needed for sewage planning. (All documents were submitted to the City on May, 14, 2025.)
23. The property owner across the intersection is shown on sheet 3.
24. So noted that a waiver was requested for the building location.
25. So noted that a waiver was requested for the driveway location.
26. The radius on the driveway has been revised, the width of the driveway is 24'.
27. So noted that a waiver was requested for the driveway width.
28. So noted that a waiver has been requested for the driveway radii.
29. So noted that driveway permits are required and permit fees have been paid.
30. So noted that a waiver has been requested for the parking stall setback.
31. Curbing has been added to the parking lot and additional spot elevations along the side streets have been added.
32. So noted that a waiver has been requested for the drive thru speaker.
33. Sidewalk:
 - Slopes have been added to the ADA ramps on sheet 20A.
 - Enclosed is a copy of the email confirmation from PennDOT's epermitting system.
 - A note has been added to the DWS detail on sheet 11.
34. Street trees have been added along the frontage.
35. Note 3 has been added to sheet 9.
36. So noted a waiver has been requested for the fence and parking along the rear buffer.
37. Landscaping has been revised to be 3' on center.
38. The developer like to request a waiver to the foundational landscaping due to the drive thru nature of the business. Landscaping has been proposed elsewhere around the site to compensate.
39. So noted that a waiver was requested for the island width.
40. Stop signs have been added to all exit points.
41. Correct, as per note 2 on sheet 8, no overhead light fixtures are proposed.
42. Note 4 has been added to sheet 9.

cont.

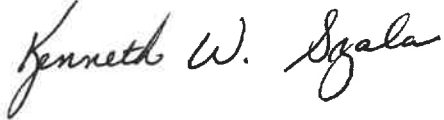
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City of Altoona

July 23, 2025

Don't hesitate to call me if there are any questions. The telephone number is 814-341-4703.

Sincerely,

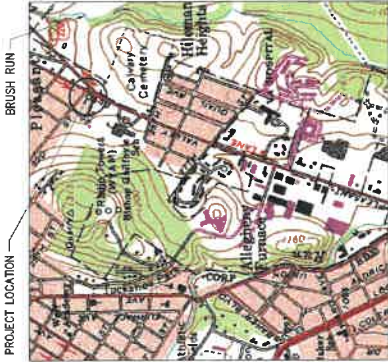
A handwritten signature in black ink that reads "Kenneth W. Szala". The signature is written in a cursive, flowing style.

Kenneth W. Szala, P.E.
Land Development/Building Systems Director

Enclosures

KWS/eah

cc: Stephanie Shoenfelt (sshoenfelt@eadsgroup.com) with enclosures
Frank O'Farrell



FINAL LAND DEVELOPMENT PLANS
FOR
COFFEE & TANNING SHOP

FOR
FRANCIS OFARRELL, JR &
LAURA OFARRELL

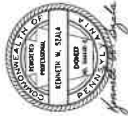
IN
CITY OF ALTOONA, BLAIR COUNTY
PENNSYLVANIA

MAY 9, 2025
REVISED JULY 14, 2025



P. JOSEPH LEHMAN, INC.
CONSULTING ENGINEERS

POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648
(814) 695-7500 www.LEHMANENGINEERS.com



ALTOONA CITY PLANNING COMMISSION
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: _____

BLAIR COUNTY PLANNING COMMISSION

REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

DATE: _____

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487

SUBJECT TO A PERFORMANCE COVENANT DATED _____ WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.
OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE CITY ENGINEER, BLAIR COUNTY, PENNSYLVANIA, AND THE ALTOONA PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

ENGINEER'S CERTIFICATION

I, P. Joseph Lehman, ON THIS DATE MAY 9, 2025, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 620 OF THE CITY OF ALTOONA CODED ORDINANCES, AS AMENDED (ORDINANCE NO. 5864).

OWNER'S STORMWATER CERTIFICATION

ON THIS THE _____ DAY OF _____, 2025, THE OWNER IS RESPONSIBLE FOR THE PERPETUAL OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE OWNER ACKNOWLEDGES THE STORMWATER MANAGEMENT SYSTEM IS TO BE A PERMANENT FEATURE OF THE LAND AND SHALL NOT BE REMOVED OR REVISED. THE STORMWATER PLAN IS APPROVED BY THE CITY.

OWNER(S) FRANCIS OFARRELL, JR & LAURA OFARRELL

OWNER'S CERTIFICATION

ON THIS THE _____ DAY OF _____, 2025, THE UNDERSIGNED OWNERS PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT THEY WERE THE OWNERS OF THE PROPERTY DESCRIBED IN THE STORMWATER MANAGEMENT SITE PLAN AND LAND DEVELOPMENT PLANS, THE SAME TO BE RECORDED AS SUCH, ACCORDING TO THE LAW.

OWNER(S) FRANCIS OFARRELL, JR & LAURA OFARRELL

WITNESS MY HAND AND SEAL THIS DATE _____

NOTARY PUBLIC _____

COMMISSION EXPIRES _____

LIST OF PUBLIC UTILITIES

ALL MATERIALS, WORKMANSHIP AND METHODS OF WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE MOST CURRENT EDITIONS OF THE AISC STEEL CONSTRUCTION MANUAL, THE ACI CONCRETE BUILDING CODE, THE AASHTO STANDARD SPECIFICATIONS AND PRECAST/PRESTRESSING PRACTICE FOR CONCRETE, AND THE AASHTO STANDARD SPECIFICATIONS FOR BRIDGE CONSTRUCTION, ALL AS ADOPTED AND AMENDMENTS THEREOF BY THE CITY OF CHICAGO, ILLINOIS, AND THE CITY OF CHICAGO, ILLINOIS, DEPARTMENT OF PUBLIC WORKS, DIVISION OF ENGINEERING, AND THE CITY OF CHICAGO, ILLINOIS, DEPARTMENT OF PUBLIC WORKS, DIVISION OF CONSTRUCTION.

FIVE (5) FIVE-DIGIT STATE PAID PUBLIC WORKS PROGRAM FUNDING (PA00021202)

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL ELEVATIONS AND DIMENSIONAL INFORMATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER.

BENCHMARK: SEE PLANS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING BENCHMARK ELEVATIONS PRIOR TO THE START OF ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL REPLACE ANY MISSING SURVEY MARKERS PRIOR TO THE START OF CONSTRUCTION.

PROPOSED FADINGS INDICATED BY VERTICAL LETTERING.

EXISTING FACILITIES INDICATED BY *SLANTED* LETTERING.

P. JOSEPH LEHMAN (P.E.) MUST BE CONSULTED PRIOR TO FIELD ADJUSTMENTS DURING CONSTRUCTION. P.E. WILL NOT ACCEPT RESPONSIBILITY FOR ANY CONDITIONS, WHICH DEVIATE FROM THOSE DEPICTED ON THESE PLANS. P.E. WILL NOT BE RESPONSIBLE FOR THE IMPLEMENTATION OF THESE PLANS IF NOT NOTIFIED OF ANY CHANGES DURING CONSTRUCTION.

DO NOT SCALE DRAWINGS. CONTRACTOR TO USE ELECTRONIC FILE TO DETERMINE STAKEOUT LOCATIONS AND DISTANCES.

FOR CONSTRUCTION PURPOSES.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION AND CONTACTING ALL UNDERGROUND UTILITIES PRIOR TO THE START OF ANY AND ALL EXCAVATION IN ACCORDANCE WITH ACT 187.

AS PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 4201500144D DATED MARCH 2, 2012, THE PROPOSED SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA.

IT IS RECOMMENDED THAT AN INSPECTOR BE RETAINED TO PROVIDE OBSERVATION AND TESTING OF CONSTRUCTION ACTIVITIES RELATED TO THE DESIGN ELEMENTS PROVIDED IN THESE PLANS. THE ENGINEER OF RECORD WILL NOT ACCEPT RESPONSIBILITY FOR THE PERFORMANCE OF THESE PLAN DESIGNS IF AN INDEPENDENT THIRD PARTY INSPECTOR OR P. JOSEPH LEHMAN IS NOT ENGAGED TO PROVIDE CONSTRUCTION OBSERVATION AND TESTING FOR THIS PROJECT.

THESE PLANS MUST BE READ IN THEIR ENTIRETY TO OBTAIN A MORE COMPLETE UNDERSTANDING OF THE INFORMATION PROVIDED AND TO AID IN ANY DECISIONS MADE OR ACTIONS TAKEN BASED ON THESE PLANS.

ALL ELECTRIC, TELEPHONE, CABLE AND GAS LINES SHALL BE PLACED UNDERGROUND UNLESS OTHERWISE NOTED.

THERE ARE NO LANDS TO BE OFFERED FOR DEDICATION TO THE CITY.

THERE ARE NO WETLANDS LOCATED WITHIN THE PROJECT AREA.

SEE THE FOLLOWING SUBMITTING DOCUMENTATION FOR ADDITIONAL INFORMATION.

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN PREPARED BY P. JOSEPH LEHMAN, INC.
DATED 05/09/2025.

CONTRACTOR TO PROVIDE PROPER SIGNING FOR TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE DISABILITIES ACT, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), AND THE ADA ACCESSIBILITY GUIDELINES (AG).

THIS IS THE PROPERTY CONTRACTOR IS TO PROVIDE RECORD OR AS-BUILT DRAWINGS TO THE CITY OF ALL APPROVED CHANGES MADE DURING CONSTRUCTION.

REVIEWS

INDEX	
DESCRIPTION	SHEET
TITLE SHEET	1
GENERAL NOTES	2

EXISTING CONDITIONS PLAN	3
SITE PLAN	4
GRADING & DRAINAGE PLAN	5
SPOT ELEVATION PLAN	6

EROSION & SEDIMENT CONTROL PLAN	7
UTILITY PLAN	8
LANDSCAPING PLAN	9
DETAILS	10-30

THE FOLLO	HOW TO	21
TRUCK TURNING MOVEMENTS		

The seal of the National Institute of Standards and Technology (NIST) is located in the top right corner of the document. It features a circular design with the words "NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY" around the perimeter. In the center, there is a shield with various symbols, including a balance scale and a gear. The seal is partially obscured by the text "NIST" and "NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY".

2. A LISTING OF UTILITIES IS PROVIDED. THE FOLLOWING UTILITIES ARE PRESENT IN THE

ALTOONA
N BECHTEL
STREET, SUITE 300
PA 16801
2212

WATER AUTHORITY
OPER DIVISION
STON WILSON
BILITY TREATMENT PLANT RD
A 18835
6595

WATER AUTHORITY
GION
MCPHEE
STREET
PA. 16801
3877

ES. NATURAL GAS CO.
LOU
ELLWOOD AVENUE
A 18601
582

PENNSYLVANIA ONE-CALL SYSTEM, INC.
PHONE NO. 1-800-242-1776
DESIGN SERIAL NO. 20250353143

SUBJECT TO A PERFORMANCE COVENANT,
RUNNING WITH THE LAND, TO BE DULY RECORDED
THE OWNER OF RECORD.

OTHER PLANS APPLICABLE TO THIS LAND
THE CITY OF ALTOONA CODE ENFORCEMENT
PUBLIC WORKS DEPARTMENT, AND COMMUN

ALTOONA CITY PLANNING

LAND DEVELOPMENT APPROVED UNDER THE

DATE: _____

BLAIR COUNTY PLANNING

4487
REVIEWED BY THE BLAIR COUNTY PLANNING

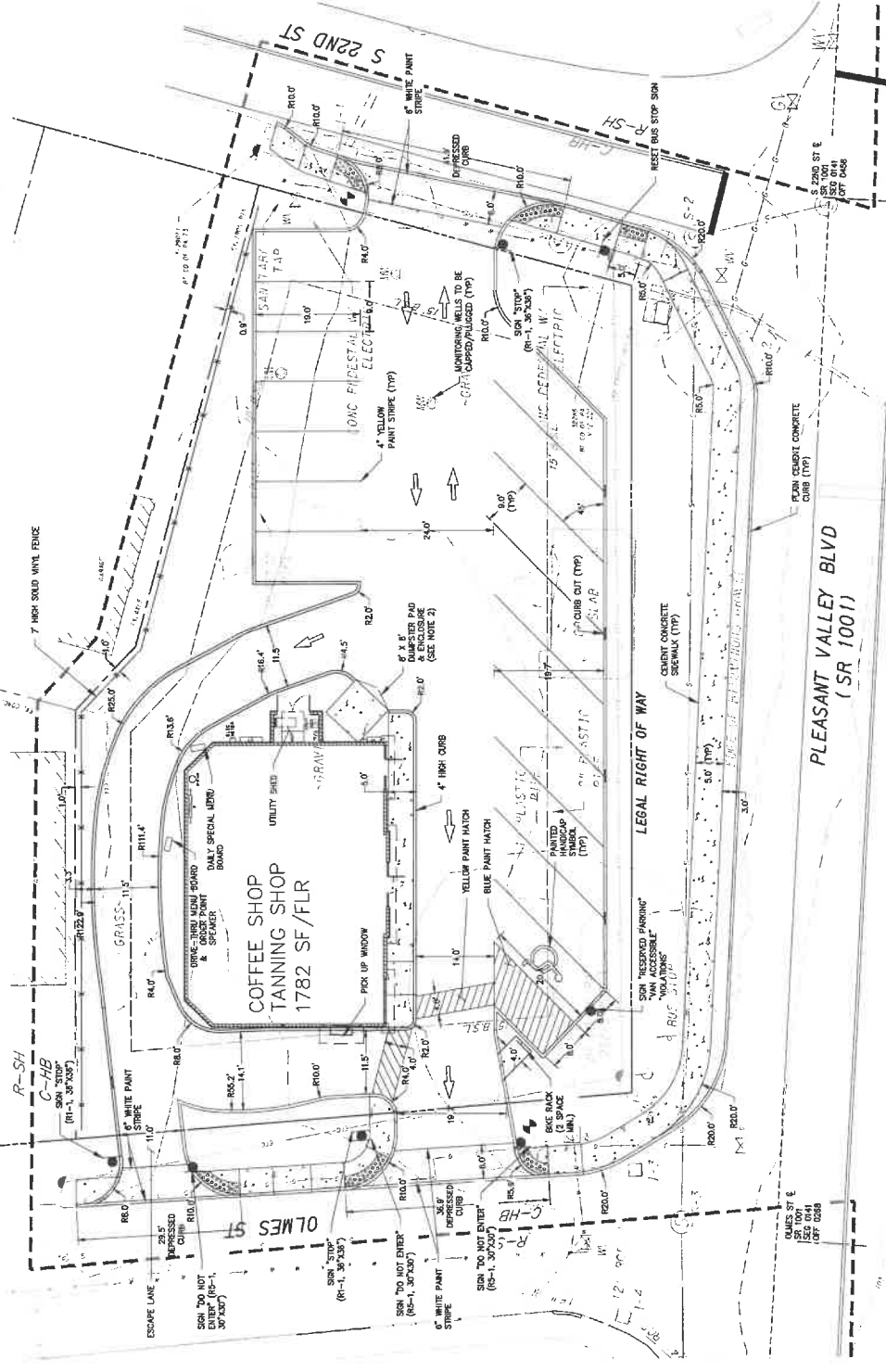
REVISION	COFFE
PLANNED REVIEW LT 05.27.25	BLAIR

GENE			

LEGEND

- EXISTING CONTOUR LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROXIMATE ADJACENT LINE
- BUILDING SETBACK LINE (A.S.L.)
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORMWATER LINE
- EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- ZONING DISTRICT BOUNDARY
- STABLE-BUSINESS
- SINGLE-ROSEHOLD
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING MONITORING WELL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- EXISTING CITY ANCHOR
- EXISTING LIGHT
- EXISTING SIGN
- 100% PIPELINE FOUND (AS NOTED)
- SUB-REAR SET (UNLESS OTHERWISE NOTED)
- TEMPORARY BENCH MARK
- CONTROL POINT
- PROPOSED CEMENT CONCRETE SIDEWALK
- PROPOSED PAVING LOT PAVING
- TRAFFIC FLOW (FOR INFORMATION ONLY)

TEMPORARY BENCH MARK
 TBM #1, REBAR W/ CAP
 ELEV: 101.350'
 N: 424483.6780"
 E: 1789326.4440"
 TBM #2, UAS NAIL
 ELEV: 109.921'
 N: 424548.1250"
 E: 1789370.7500"



SUBJECT TO A PERFORMANCE COVENANT, DATED _____, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.
 OTHER PLANS APPROXIMATE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE ALTOONA CITY PLANNING COMMISSION, AND COMMUNITY DEVELOPMENT DEPARTMENT.

ALTOONA CITY PLANNING COMMISSION
 LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: _____

BLAIR COUNTY PLANNING COMMISSION
 REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

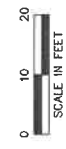
DATE: _____

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487



PJOSEPH LEHMAN, INC.
 CONSULTING ENGINEERS
 POST OFFICE BOX 419, HOLLANDSBURG, PA 16848
 (814) 686-7333
 WWW.LEHMANENGINEERS.COM

PROJECT NO. 7393 DATE: 05/09/25



NOTE(S):

1. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
2. DUMPSTER ENCLOSURE TO BE A 6' HIGH SOLID FENCE WITH GATE.
3. SEE SHEET 21 FOR ADDITION CURB RAMP DIMENSIONS.

DATE	NO.	REVISION
07/14/25	1	ISSUED FOR PERMIT REVIEW

COFFEE & TANNING SHOP
 CITY OF ALTOONA
 BLAIR COUNTY, PENNSYLVANIA

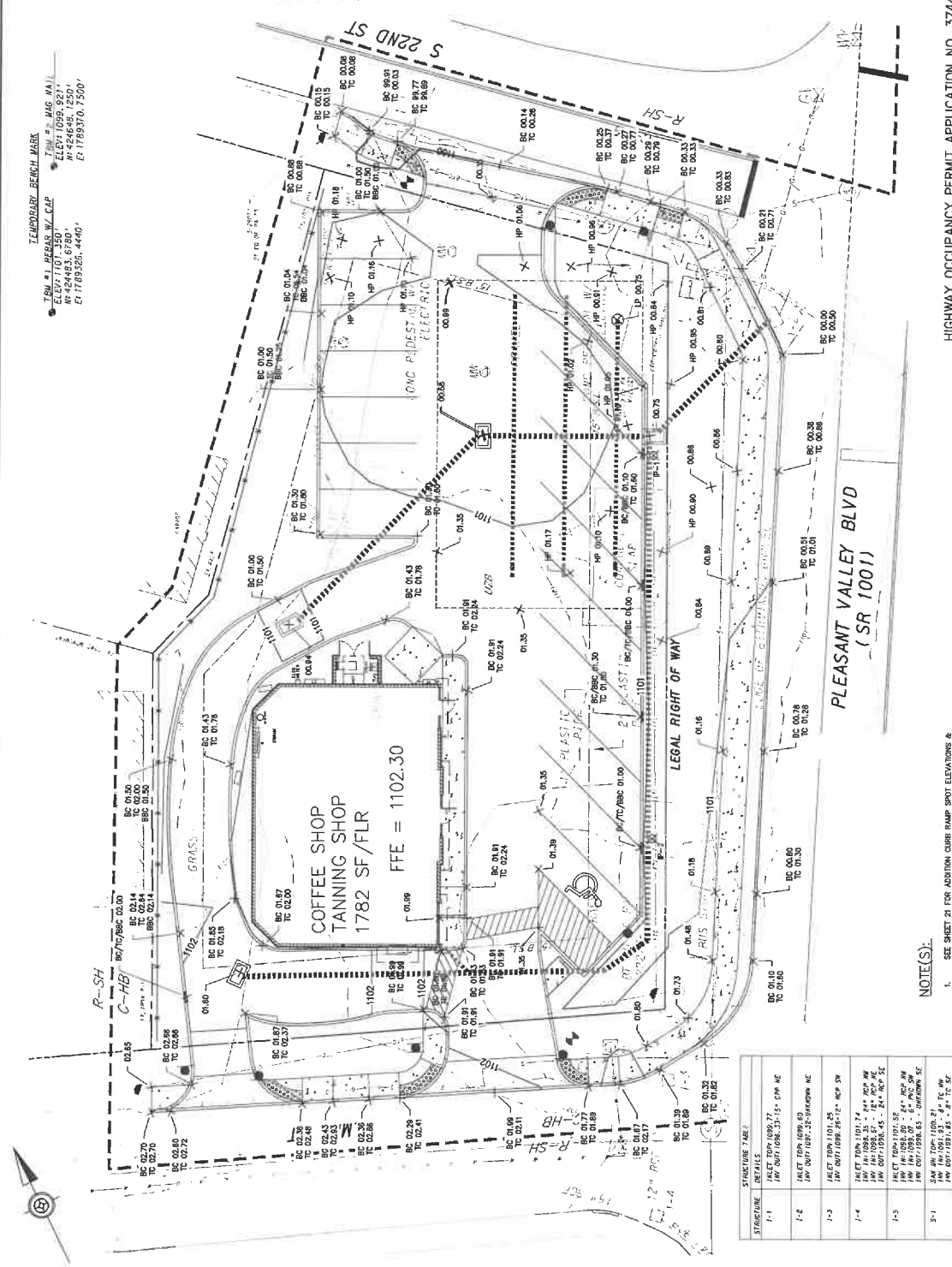
SITE PLAN

SHEET
 4 OF 21

LEGEND

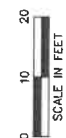
- EXISTING CONTOUR LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROXIMATE ADJACENT LINE
- BUILDING SETBACK LINE (A.S.L.)
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORMWATER LINE
- EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- ZONING BOUNDARY
- CLASH
- R-SH
- R-SW
- EXISTING FINE INFILTRANT
- EXISTING GUT ANCHOR
- EXISTING LIGHT
- EXISTING SIGN
- EXISTING GAS VALVE
- EXISTING MONITORING WELL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- PROPOSED CEMENT CONCRETE SIDEWALK
- PROPOSED PARKING LOT PAVING
- PROPOSED CONTOUR LINE
- PROPOSED STORM SEWER
- PROPOSED INLET
- ELEVATION = 1102.50
- TOP OF CURB ELEVATION
- TOP OF SIDEWALK ELEVATION
- TOP OF DRIVE ELEVATION
- LOW POINT ELEVATION

TEMPORARY BENCH MARK
 TBM #1 REBAR W/ CAP
 ELEV: 1107.350'
 N 4246481, E550'
 E 1769326, 4440'



NOTE(S):
 1. SEE SHEET 21 FOR ADDITIONAL CURB RAMP SPOT ELEVATIONS & SLOPES.

STRUCTURE	DETAILS
1-1	JACKET TOP 1095.71' - 5' PM NE
1-2	JACKET TOP 1095.63' - 5' PM NE
1-3	JACKET TOP 1101.25' - 5' PM SW
1-4	JACKET TOP 1101.74' - 5' PM SW
1-5	JACKET TOP 1100.55' - 5' PM SW
5-1	SW AN TOP 1101.12' - 5' PM SW
5-2	SW AN TOP 1100.35' - 5' PM SW
5-3	SW AN TOP 1101.12' - 5' PM SW



PJOSEPH LEHMAN, INC.
 CONSULTING ENGINEERS
 POST OFFICE BOX 418, HOLLIDAYSBURG, PA 16648
 TEL: 692-7500, WWW.LEHMANENGINEERS.COM

DATE: 05/09/25
 PROJECT NO.: 7393

DATE: 07/22/25
 REVISION: 1
 07/22/25
 07/22/25

COFFEE & TANNING SHOP
 CITY OF ALTOONA
 BLAIR COUNTY, PENNSYLVANIA
 SPOT ELEVATION
 PLAN
 SHEET 6 OF 21

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487

BLAIR COUNTY PLANNING COMMISSION
 REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

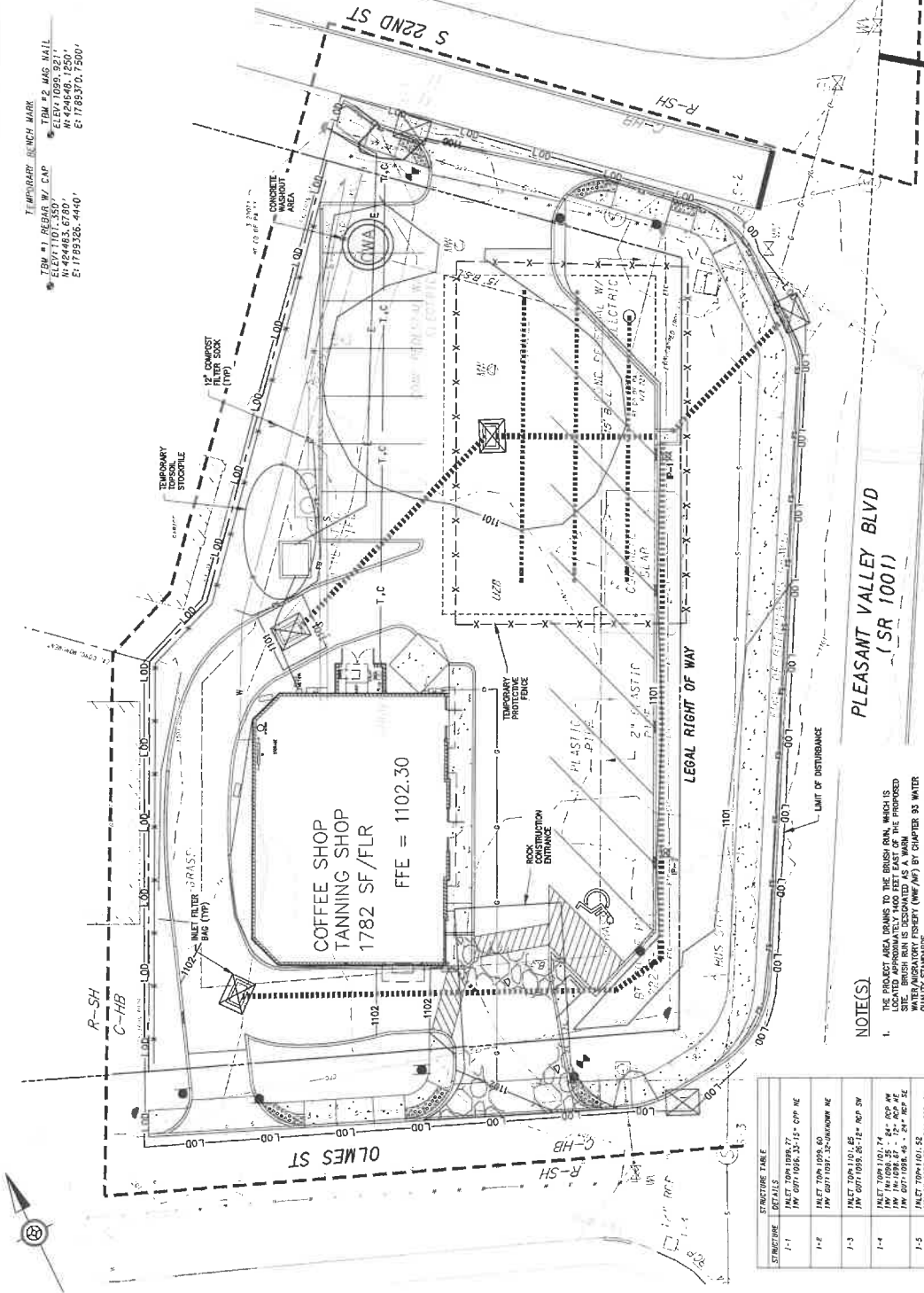
ALTOONA CITY PLANNING COMMISSION
 LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

SUBJECT TO A PERFORMANCE COVENANT, DATED _____, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.
 OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE BLAIR COUNTY ENGINEERING DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

LEGEND

- EXISTING CONTOUR LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROPRIATE ADJACENT LINE
- BUILDING SETBACK LINE (B.S.L.)
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORMWATER LINE
- EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- ZONING BOUNDARY
- EXISTING ACCESS
- SINGLE-HOUSEHOLD
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING MONITORING WELL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- PROPOSED CEMENT CONCRETE SIDEWALK
- PROPOSED PARKING LOT PAVING
- PROPOSED CONTOUR LINE
- EXISTING SOIL BOUNDARY & SOIL TYPE
- PROPOSED STORM SEWER
- PROPOSED INLET

TEMPORARY BENCH MARK
 TBM #1 REBAR W/ CAP
 ELEV. 1095.921'
 N=42463.6780'
 E=1789370.7500'



PLEASANT VALLEY BLVD
 (SR 1001)

NOTE(S)

- THE PROJECT AREA DRAINS TO THE BRUSH RUN, WHICH IS A NON-POINT SOURCE. BRUSH RUN IS DESIGNATED AS A WARM WATER/AQUATIC FISHERY (WMA/F) BY CHAPTER 93 WATER QUALITY STANDARDS.
- COPY OF THE APPROVED DESIGN AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES.

STRUCTURE	DETAILS
1-1	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-2	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-3	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-4	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-5	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-6	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-7	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-8	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-9	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE
1-10	INLET TOP 100' 101.15 INLET TOP 100' 101.15 - 101.15 OPT. NE

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487



JOSEPH LEHMAN, INC.
 CONSULTING ENGINEERS
 POST OFFICE BOX 418, HOLLANDSBURG, PA 16648
 (814) 582-3300
 www.lehmanengineers.com

SCALE IN FEET
 0 10 20

DATE: 05/09/25
 PROJECT NO.: 7393

REVISION
 DATE NO. 1
 REVISION 1
 PROJECT REVIEW BY: JLL/SL

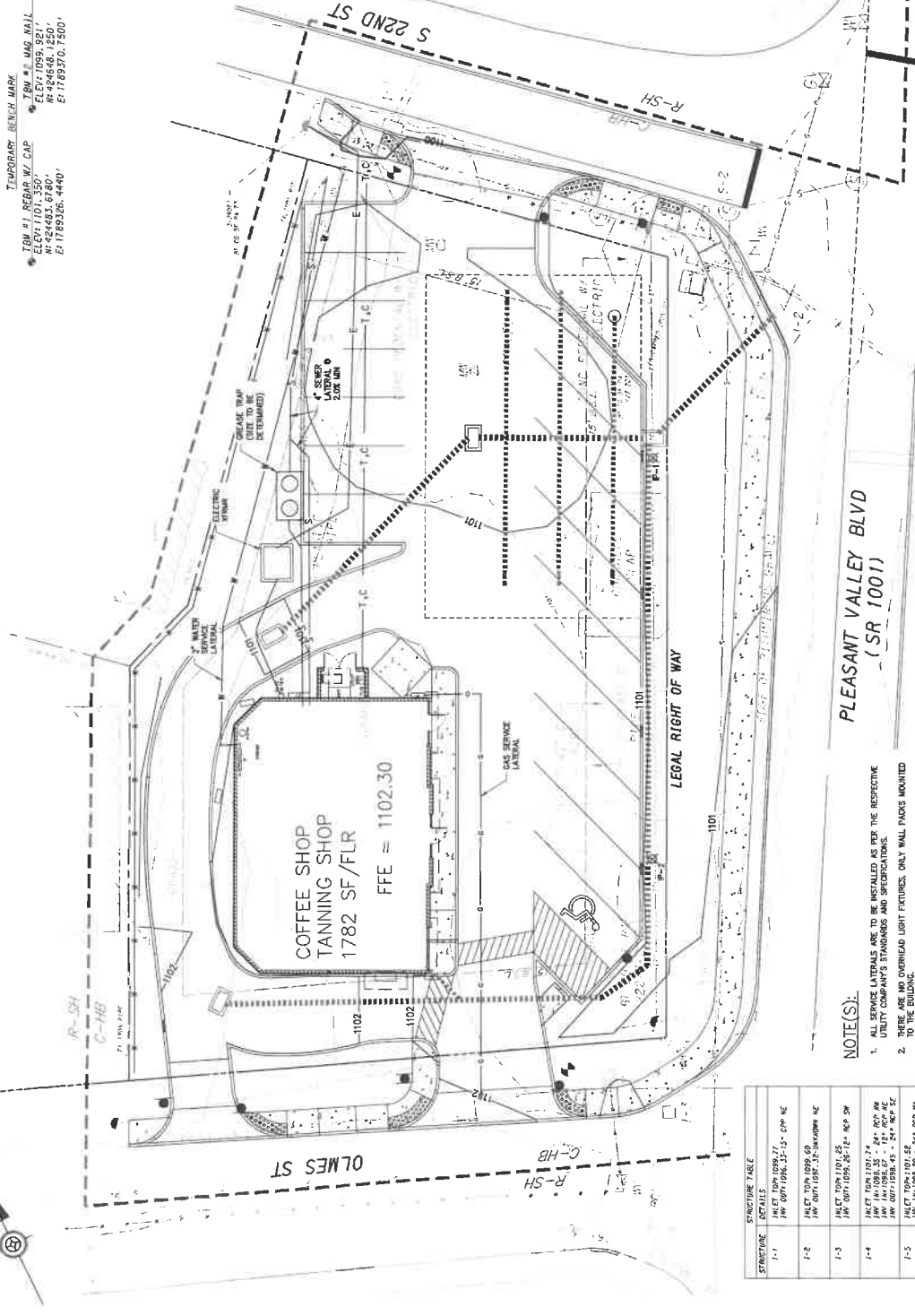
COFFEE & TANNING SHOP
 CITY OF ALTOONA
 BLAIR COUNTY, PENNSYLVANIA

EROSION & SEDIMENT CONTROL PLAN

SHEET 7 OF 21

LEGEND

- EXISTING CONTOUR LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROXIMATE ADJACENT LINE
- BUILDING SETBACK LINE (B.S.L.)
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING STORMWATER LINE
- EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- EXISTING SANITARY SEWER
- EXISTING WATER METER
- EXISTING GAS VALVE
- EXISTING MONITORING WELL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING GUT ANCHOR
- EXISTING LIGHT
- EXISTING SIGN
- 100' PRIVATE FOUND (AS NOTED)
- 100' PRIVATE SET (UNLESS OTHERWISE NOTED)
- TEMPORARY BENCH MARK
- CONTROL POINT
- PROPOSED CENT. CONCRETE SIDEWALK
- PROPOSED PARKING LOT PAVING
- PROPOSED CONTOUR LINE
- EXISTING SOIL BOUNDARY & SOIL TYPE
- PROPOSED STORM SEWER
- PROPOSED INLET
- PROPOSED GAS LATERAL
- PROPOSED SEWER LATERAL
- PROPOSED WATER LATERAL
- PROPOSED ELECTRIC SERVICE
- PROPOSED TELEPHONE, CABLE SERVICE



PLEASANT VALLEY BLVD
(SR 1001)

NOTE(S):

1. ALL EXISTING LATERALS ARE TO BE INSTALLED AS PER THE RESPECTIVE UTILITY AGENCY'S STANDARDS AND SPECIFICATIONS.
2. THERE ARE NO OVERHEAD LIGHT FIXTURES ONLY WALL FIXTURES MOUNTED TO THE BUILDING.

STRUCTURE	DETAILS
1-1	PAVCT 100'x100'x15' - 24" RCP NW 100'x100'x15' - 24" RCP NW
1-2	PAVCT 100'x100'x15' - 24" RCP NW 100'x100'x15' - 24" RCP NW
1-3	PAVCT 100'x100'x15' - 24" RCP NW 100'x100'x15' - 24" RCP NW
1-4	PAVCT 100'x100'x15' - 24" RCP NW 100'x100'x15' - 24" RCP NW
1-5	PAVCT 100'x100'x15' - 24" RCP NW 100'x100'x15' - 24" RCP NW
5-1	5" DIA. 100'x100'x15' - 24" RCP NW 5" DIA. 100'x100'x15' - 24" RCP NW
5-2	5" DIA. 100'x100'x15' - 24" RCP NW 5" DIA. 100'x100'x15' - 24" RCP NW
5-3	5" DIA. 100'x100'x15' - 24" RCP NW 5" DIA. 100'x100'x15' - 24" RCP NW

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487



P. JOSEPH LEHMAN, INC.
CONSULTING ENGINEERS
POST OFFICE BOX 418, HOLLANDSBURG, PA 16048
TEL: 724-261-1111 FAX: 724-261-1112
WWW.LEHMANINC.COM

DATE	NO.	REVISION
07/14/20	1	PERMIT REVIEW 11/02/23

COFFEE & TANNING SHOP
CITY OF ALTOONA
BLAIR COUNTY, PENNSYLVANIA
UTILITY PLAN
SHEET 8 OF 21

BLAIR COUNTY PLANNING COMMISSION

REMOVED BY THE BLAIR COUNTY PLANNING COMMISSION

DATE:

DATE:

ALTOONA CITY PLANNING COMMISSION
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE.

SUBJECT TO A PERFORMANCE COVENANT, DATED _____, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.
THIS PLAN IS SUBMITTED TO THE CITY OF ALTOONA FOR REVIEW AND APPROVAL BY THE CITY ENGINEER, PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

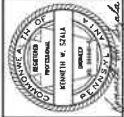
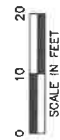
STATIONING	FILE
1-3	FILE T0109,77 1W 011008,33-15 CYP NE
1-2	FILE T0109,60 1W 011008,33-BANDROW NE
1-3	FILE T0109,25 1W 011008,25-12 RCL SW
1-4	FILE T0110,74 1W 011008,74-12 RCP NW 1W 011008,74-12 RCP NE 1W 011008,74-12 RCP SE
1-5	FILE T0110,74 1W 011008,74-12 RCP NW 1W 011008,60-24 RCP NW 1W 011008,60-24 RCP SE 1W 011008,60-24 RCP NE 1W 011008,60-24 RCP SW
5-1	SAM W01100,21 1W 011008,21-8 T C, 3E 1W 011008,21-8 T C, 3E
5-2	SAM W01100,36 1W 011007,36-8 T C, 3E 1W 011007,36-8 T C, 3E
5-3	SAM W01101,72 1W 011008,72-24 RCP NW 1W 011008,72-24 RCP NE

NOTE(S):

1. ALL PLANTS TO BE PLANTED IN CONTINUOUS MULCHED BEDS.
2. ALL PLANT MATERIAL AND INSTALLATION SHALL FOLLOW THE AMERICAN STANDARD FOR NURSERY STOCK AND THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN
3. ALL TREES SHALL HAVE TEMPORARY LABELS ATTACHED SO INSPECTORS CAN DETERMINE COMPLIANCE WITH THE APPROVED PLAN.
4. ALL LANDSCAPING SHALL BE MAINTAINED AND MUST BE REPLACED IF THE REQUIRED VEGETATION IS DAMAGED, KILLED, CUT OR DIES.

TEMPERARY BENCH MARK

TBM #1 REDBAR W/ CAP
ELEV: 1101.350'
N: 424483.6780'
E: 1789326.4440'



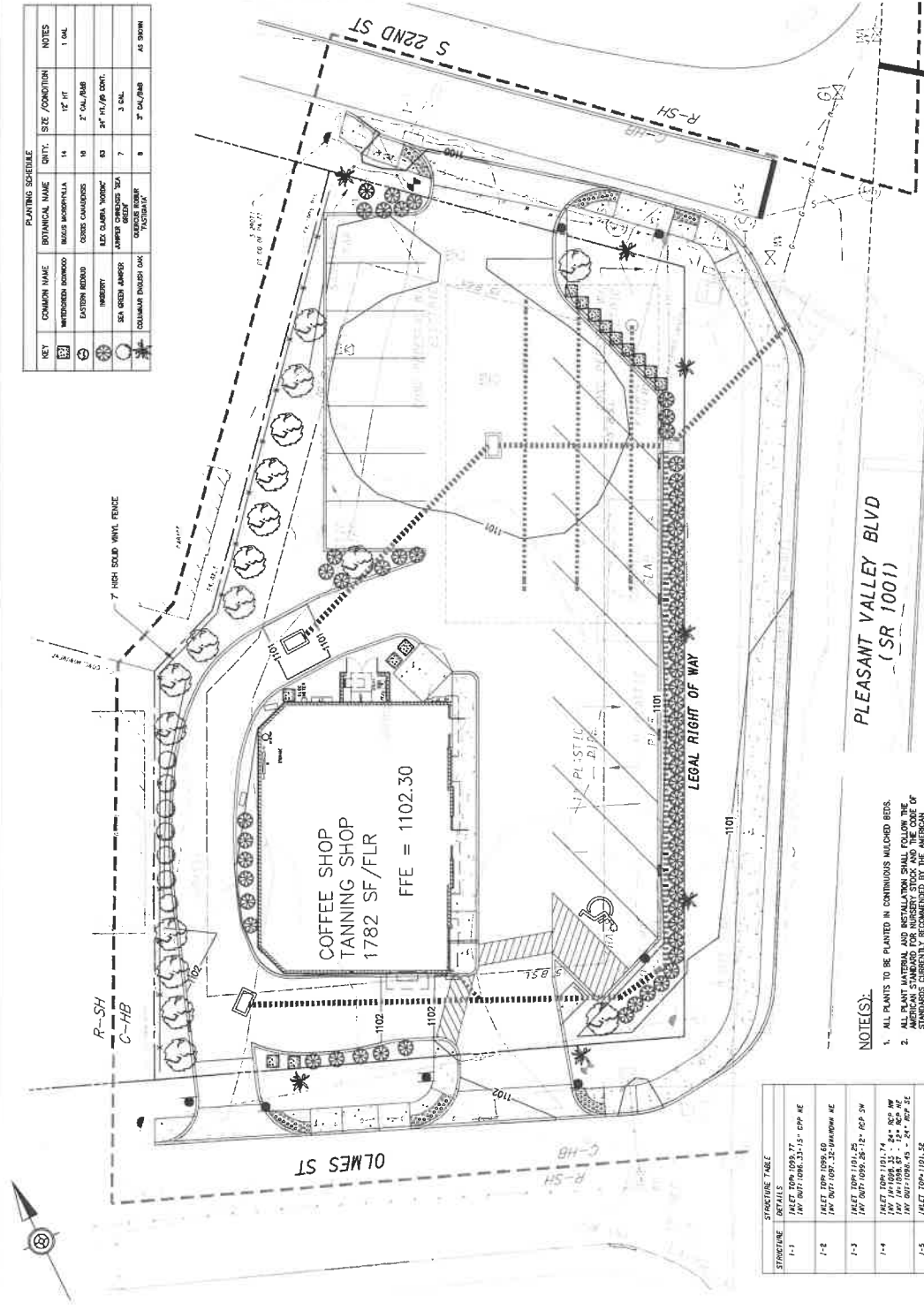
P. JOSEPH LEHMAN, INC.
CONSULTING ENGINEERS
POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16648
TEL 814.695-7500 FAX 814.695-7501 WWW.LEHMANENGINEERS.COM

PROJECT NO. 7393 DATE: 05.09.25

[illegible]

COFFEE & TANNING SHOP	9
CITY OF ALTOONA BLAIR COUNTY, PENNSYLVANIA	
LANDSCAPING PLAN	

HEET
OF 21



PLANTING SCHEDULE					
KEY	COMMON NAME	BOTANICAL NAME	QTY.	SIZE / CONDITION	NOTES
	MITIGATED BOMBOLO	BULUS BOMBOLO	14	12" HT	1 GAL
	EASTERN REDOGB	ORANGE CHANDROB	18	2" CAL/DIA	
	INHERIT	KEST CLARIA /V.P. CONT.	83	34" PL/P. CONT.	
	SEA OLEO JAMBOR	JAMPER CHOROB'S SEA OLEO	7	3 GAL	
	COLUMAR DRUGB OAK	DRUGB OAK "ASTRARIAN"	8	3" CAL/DIA	AS SHOWN

EXISTING FINE HYDANT	EXISTING 60T ANCHOR
EXISTING WATER WETER	EXISTING LIGHT
EXISTING GAS VALVE	EXISTING SIGN
EXISTING GAS VALVE	1 INCH PIPE/PIPE FOUND (AS NOTED)
EXISTING MONITORING WELL	5/8" REBAR SET (UNLESS OTHERWISE NOTED)
EXISTING STORM MANHOLE	TEMPORARY BENCH MARK
EXISTING SANITARY MANHOLE	CONTROL POINT
EXISTING UTILITY POLE	PROPOSED CURB/ CONCRETE SIDEWALK
	PROPOSED PAVING LOT PAVING
	PROPOSED CONTOUR LINE
	EXISTING SOIL BOUNDARY & SOIL TYPE
	PROPOSED STORM SEWER
	PROPOSED SEWER INLET
	PROPOSED GAS LATERAL
	PROPOSED SEWER LATERAL
	PROPOSED WATER LATERAL
	PROPOSED ELECTRIC SERVICE
	PROPOSED TELEPHONE/CABLE SERVICE

SUBJECT TO A PERFORMANCE COVENANT, DATED _____, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

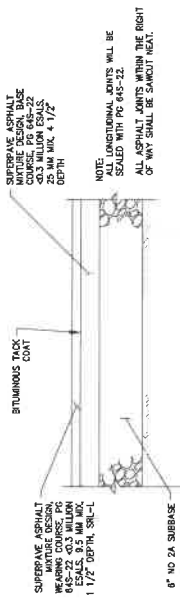
OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE CITY OF ALTOONA CODE ENFORCEMENT DEPARTMENT, CITY OF ALTOONA PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

ALTOONA CITY PLANNING COMMISSION
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE.

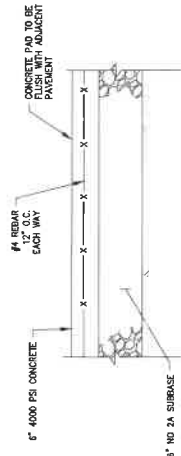
DATE: _____

BLAIR COUNTY PLANNING COMMISSION
REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

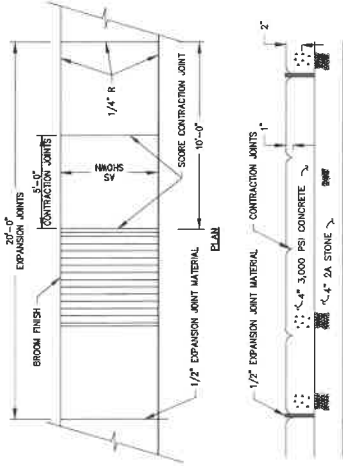
DATE: _____



CITY STREET RESTORATION/
PARKING LOT PAVING DETAIL
NO SCALE

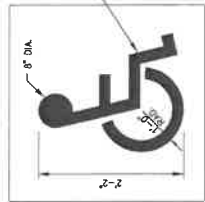


DUMPSTER CONCRETE PAD
NO SCALE



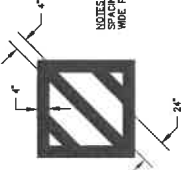
- NOTES:
1. PLACE 3/4" EXPANSION JOINT MATERIAL ALONG ANY STRUCTURE OR BUILDINGS ABUTTING THE SIDEWALK.
 2. PLACE 1/2" EXPANSION JOINT MATERIAL AROUND EXISTING POLES, FIRE HYDRANTS, AND SIMILAR STRUCTURES FOR THE FULL DEPTH OF THE SIDEWALK.
 3. SLOPE SIDEWALK 2% MAX. AWAY FROM BUILDING; ADJUSTMENT FOR CONDITIONS MAY BE NECESSARY BY DEGRADING THE SIDEWALK SLOPE.
 4. COMPACT SUBGRADE AND SUBBASE TO THE APPROVAL OF THE PROJECT INSPECTOR.

CEMENT CONCRETE SIDEWALK
NO SCALE

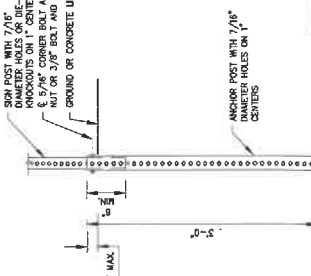


- NOTES:
1. SYMBOL STRIKE IS TO BE 3" WIDE MIN. AND PAINTED ON EACH HANDICAP SPACE.
 2. HANDICAPPED SPACES ARE AS SHOWN ON SITE PLANS.

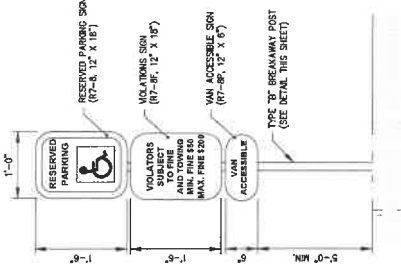
HANDICAP SYMBOL DETAIL
NO SCALE



PAINT HATCHING DETAIL
NO SCALE



TYPE "B" BREAKAWAY POST DETAIL
NO SCALE



HANDICAP PARKING SIGN
NO SCALE

- NOTES:
1. SPACING OF 4\"/>

SUBJECT TO A PERFORMANCE COVENANT, DATED _____, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE CITY OF ALTOONA, PENNSYLVANIA, DEPARTMENT OF PUBLIC WORKS, PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

ALTOONA CITY PLANNING COMMISSION
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE.

DATE: _____

DATE: _____

DATE: _____

DATE: _____

BLAIR COUNTY PLANNING COMMISSION
REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487

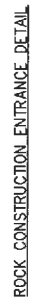
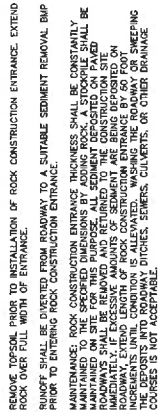


PJOSEPH LEHMAN, INC.
CONSULTING ENGINEERS
POST OFFICE BOX 415, HOLLANDSBURG, PA 16848
(814) 685-7500 www.lehmanengineers.com

DATE	NO.	REVISION
07/14/25	1	ISSUED FOR REVIEW 17 JUL 2025 FOR REVIEW 17 JUL 2025

COFFEE & TANNING SHOP
CITY OF ALTOONA
BLAIR COUNTY, PENNSYLVANIA

DETAILS
SHEET 10 OF 21



NO SCALE

[illegible]

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487



P. JOSEPH LEHMAN, INC.
CONSULTING ENGINEERS
POST OFFICE BOX 419, HOLLIDAYSBURG, PA 15648
(814) 685-7500 WWW.LEHMANENGINEERS.COM

PROJECT NO. 7393 DATE: 05.09.05

COFFEE & TANNING SHOP	SHEET 14 OF 21
CITY OF ALTOONA BLAIR COUNTY, PENNSYLVANIA	

DETAILS/E&S PLAN

24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

[illegible]

SUBJECT TO A PERFORMANCE COVENANT, DATED _____, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE CITY OF ALTONA CODE ENFORCEMENT DEPARTMENT, CITY OF ALTONA PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

ALTOONA CITY PLANNING COMMISSION
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE: _____

BLAIR COUNTY PLANNING COMMISSION

REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

DATE:



NO SCALE

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.

- 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
- CONSTRUCT WASHOUT FACILITIES CONVENIENT TO THE CONCRETE POUR LOCATION, BUT A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS. DETERMINE A SUITABLE OFF-SITE LOCATION FOR THE CONCRETE WASHOUT FACILITY, WHEN THE CONDITIONS REQUIRED FOR THE CONCRETE WASHOUT FACILITY CANNOT BE FULLY SATISFIED ON THE PROJECT SITE. OBTAIN SITE APPROVAL FROM THE CALDPD.



MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMUS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

CONTROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STORMED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE APPROPRIATE SEDIMENT AS

NO SCALE

OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE CITY OF ALTOONA CODE ENFORCEMENT DEPARTMENT, CITY OF ALTOONA PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE.

1998

REVIEWED BY THE RIAIR COUNTY BILLING COMMISSION

DATE: _____
UNSCHEIDUNG: _____

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487

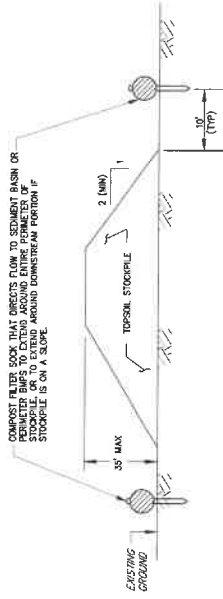
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COFFEE & TANNING SHOP

CITY OF ALTOONA
BLAIR COUNTY, PENNSYLVANIA

DETAILS/E&S PLAN

13 OF 21



NOTES:

1. PERMITTER CONTROL ARE TO BE LOCATED BETWEEN THE STOCKPILE AND OFF-SITE PROPERTY.
2. REFERENCE THE COMPOST FILTER SOCK DETAIL FOR MATERIALS AND INSTALLATION METHODS.
3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN FOUR (4) DAYS, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEED, WITH SEEDING FORMULA E MIXTURE AND MULCHING - STRAW WITHIN FOUR (4) DAYS OF COMPLETION TO MINIMIZE EROSION.
4. INSPECT, MAINTAIN AND REPAIR OR REPLACE COMPOST FILTER SOCK IN ACCORDANCE THE EROSION CONTROL SUMP MAINTENANCE PROGRAM.
5. STOCKPILE SOIL SHALL BE MAINTAINED IN PLACE UNTIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REVEALED ONLY AS NEEDED BY THE COMMISSION.
6. STOCKPILE HEIGHT SHALL NOT EXCEED 30 FEET.
7. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.

TEMPORARY TOPSOIL STOCKPILE DETAIL

NO SCALE

SUBJECT TO A PERFORMANCE COVENANT, DATED _____, RUNNING WITH THE LAND, TO BE FILED RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE ALTOONA CITY PLANNING COMMISSION, ENGINEERING DEPARTMENT, PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

ALTOONA CITY PLANNING COMMISSION
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE.

DATE: _____

BLAIR COUNTY PLANNING COMMISSION
REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

DATE: _____

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487



JOSEPH LEHMAN, INC.
CONSULTING ENGINEERS, INC.
POST OFFICE BOX 415, HOLLIDAYSBURG, PA 16648
(717) 685-7500 www.jlehmancorp.com

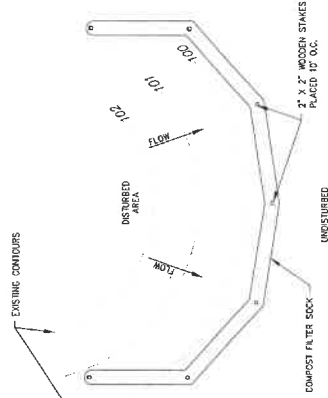
DATE: 05.09.25

PROJECT NO. 7293

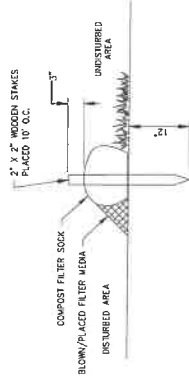
COFFEE & TANNING SHOP
CITY OF ALTOONA
BLAIR COUNTY, PENNSYLVANIA

DETAILS/E&S PLAN

SHEET
16 OF 21



PLAN VIEW



SECTION

TABLE 4.1

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS			
MATERIAL TYPE	3 MIL HOPE	5 MIL HOPE	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HMPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12"	18"	18"
SOCK LENGTH	24'	24'	18'
SOCK WIDTH	3.75"	3.75"	3.75"
SOCK TENSILE STRENGTH (ASTM D-155)	200 PSI	200 PSI	200 PSI
SOCK PERMEABILITY	100% AT 1000 IN.	100% AT 1000 IN.	100% AT 1000 IN.
SOCK PERMEABILITY (ASTM D-155)	100% AT 1000 IN.	100% AT 1000 IN.	100% AT 1000 IN.
SOCK PERMEABILITY (ASTM D-155)	100% AT 1000 IN.	100% AT 1000 IN.	100% AT 1000 IN.

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE SECURED TO THE GROUND WITH 2" X 2" WOODEN STAKES PLACED 10' O.C. SOCK ALONGSIDE STAKES MAY BE SECURED TO THE GROUND BY MANUFACTURER'S SO SPECIFIED BY THE MANUFACTURER.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ALLOWED HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BROODERABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS SHALL BE REPLACED AFTER 12 MONTHS.

UPON STABILIZATION OF THE AREA, TRIBUTARY TO THE SOCK STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED, IN THE FIRST CASE, THE MESH SHALL BE OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

TABLE 4.2

COMPOST STANDARDS	
ORGANIC MATTER CONTENT	50% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
MOISTURE CONTENT	55 - 60
PARTICLE SIZE	MAX. PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 (G/L) MAXIMUM

COMPOST FILTER SOCK

NO SCALE

CONSTRUCTION SEQUENCE

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL WRITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE ERS PLAN PREPARER, THE ERS PLAN REVIEWER, AND A REPRESENTATIVE FROM THE SOIL CONSERVATION DISTRICT TO AN E-MAIL PRECIRCULATION MEETING.

AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMAPPED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-252-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

- [illegible]

CRITICAL STAGES OF IMPLEMENTATION OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN ARE CONSTRUCTION OF THE SUBSURFACE INFILTRATION BED AND PERMANENT SITE STABILIZATION.

ALL CRITICAL STAGES MUST BE INSPECTED BY A LICENSED ENGINEER DURING CONSTRUCTION IN ORDER TO TERMINATE THE NPDES PERMIT.

MAINTENANCE PROGRAM
EROSION AND POLLUTION CONTROL MEASURES

DURING CONSTRUCTION, THE FACILITIES FOR EROSION AND SEDIMENT POLLUTION CONTROL SHALL BE MAINTAINED BY THE CONTRACTOR FOR THEIR DESIGNED OPERATION TO INSURE ADEQUATE PERFORMANCE.

THE CONTRACTOR SHALL CHECK BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RAINFALL EVENT (AT LEAST 0.25 INCHES) UNTIL STABILIZATION IS ACHIEVED.

THE ROCK CONSTRUCTION CONTRACTORS SHALL BE COMPLETELY RESPONSIBLE TO THE PROJECT ENGINEER BY LEAVING BACK THE ROCKS REMOVED FROM THE ROADWAY ON SITE FOR FUTURE PURPOSES. ALL SEMI-TRUCKS DEPENDING ON WASHED GRAVELS SHALL BE EXTENDED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEMI-TRUCKS ARE BEING DEPOSITED ON ROADWAYS, EXTENDED THE LENGTH OF THE ROCK CONSTRUCTION EXTENSION BY 50 FOOT DISTANCES. WASHING THE ROADWAY OR SHEETING THE DEPOSITORS INTO DRAINAGE DITCHES, SERVICE CULVERTS, OR OTHER DRAINAGE DEVICES IS NOT ACCEPTABLE.

COMPOST FILTER SOCKS SHALL BE CHECKED AT THE END OF EACH WORK DAY AND AFTER EACH RAINFALL EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF OF THE ABOVE GRADING HEIGHT OF THE SOCK. UNDESIRABLE GRASSES SHALL BE REPLACED AFTER 6 MONTHS. PERMEABLE SOCKS AFTER 1 YEAR AND POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER INSPECTION.

INSPECT CONCRETE WASHOUT DAILY AND PRIOR TO WASHING EQUIPMENT. REMOVE ANY ACCUMULATED MATERIALS WHEN THE CONCRETE WASHOUT REACHES 75% CAPACITY. IMMEDIATELY REPAIR OR REPLACE CONCRETE WASHOUT UPON DISCOVERING THAT THE CONCRETE WASHOUT IS NOT FUNCTIONING PROPERLY.

IMMEDIATELY REPAIR OR REPLACE ANY SECTION OF TEMPORARY PROTECTIVE FENCE THAT BECOMES DAMAGED OR DISPLACED.

THE CONTRACTOR SHALL MAINTAIN GRADES WITHIN THE GRADING LIMITS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. MULCH SHALL BE CHECKED EVERY DAY UNTIL SEED HAS TAKEN. IMMEDIATELY REAPPLY MULCH MATERIALS, WHICH BECOME DISLOADED OR LOST DUE TO WIND, RAIN, FIRE, OR OTHER CAUSES AT INITIAL OR MODIFIED RATES AS DIRECTED. IF A SLOPE FAILURE OCCURS AND REQUIRES REDRESSING, EXCAVATION, OR ESTABLISHMENT OF A NEW SLOPE AFTER SEEDING AND SOIL SUPPLEMENT WORK HAS ALREADY BEEN SATISFACTORILY COMPLETED,

APPLY SOIL SUPPLEMENTS AND RESEED, AS SPECIFIED FOR THE ORIGINAL TREATMENT.

ALL MATERIAL, CLEANED FROM EROSION CONTROL FACILITIES, SHALL BE UTILIZED AS FILL MATERIAL ON SITE AND SEEDS IMMEDIATELY WITHIN CONSTRUCTION OF PERMANENT SEEDING.

CONTRACTOR SHALL MAINTAIN WRITTEN DOCUMENTATION OF ALL INSPECTIONS AND REPAIRS/REPLACEMENTS TO ALL BUPS. ALL DOCUMENTATION MUST BE MAINTAINED ON SITE.

SOILS

UZE--URBAN LAND-EDOM COMPLEX, 0% TO 8% SLOPES. THIS UNIT CONSISTS OF AREAS COVERED BY HOUSES, ROADS, AND OTHER STRUCTURES AND AREAS OF DEEP, WELL DRAINED EDOM SOILS. PERMEABILITY OF THE EDOM SOIL IS MODERATELY LOW TO MODERATE AND THE AVAILABLE WATER CAPACITY IS MODERATE. SURFACE RUNOFF IS MEDIUM AND THE EROSION HAZARD IS MODERATE. LUNESTONE REFROCK IS AT A DEPTH OF 42" IN UNIMAGED AREAS. THE SOIL IS SLIGHTLY ACID AND NEUTRAL THROUGHOUT.

THIS SOIL IS NOT IDENTIFIED AS HAVING INCLUSIONS OF HYDRIC COMPONENTS.

URBAN LAND--EDOM SOIL IS NOT IDENTIFIED AS BEING PRIME FARMLAND.

ACID SOIL CONDITIONS WILL BE RESOLVED WITH AGRICULTURAL GRADE LIME APPLICATION.

ALL DISTURBED AREAS WILL BE MINIMIZED AND SEEDED IMMEDIATELY TO LIMIT EROSION POTENTIAL.

NONE OF THE OTHER LIMITATIONS WILL AFFECT THIS PROJECT.

SEEDING AND SOIL SUPPLEMENTS

- [illegible]

IT IS HIGHLY RECOMMENDED THAT SOIL TEST AMENDMENTS

USE FORMULA B ON ALL SIZES OF ATTER THAN 3.0

THERMAL IMPACTS

Thermal impacts have been minimized by utilizing the following BMP's: runoff will be collected by sheet piling into an underground conveyance system and routed through a subsurface infiltration bed to promote infiltrate groundwater recharge. Any remaining runoff leaving the site will be conveyed through underground conveyance systems before reaching the downstream watercourse, which provides ample time for cooling.

GEOLOGIC

THE UNDERLYING GEOLOGIC FORMATION IN THE PROJECT AREA IS KEYSER AND TONOLOWAY FORMATIONS, UNDIVIDED. THE KEYSER FORMATION IS A DARK-GRAY, HIGHLY FOSSILIFEROUS, CRYSTALLINE TO NODULAR LIMESTONE WITH SHALY LIMESTONE NEAR ITS TOP. THE TONOLOWAY FORMATION IS A MEDIUM-GRAY, LAMINATED LIMESTONE CONTAINING INTERBEDDED ZONES OF MEDIUM-DARK-GRAY TO LIGHT-OLIVE-GRAY SHALE AND SILTSTONE.

THERE ARE NO KNOWN OR SUSIBLE GEOLOGIC FORMATIONS, WITHIN THE PROJECT SITE, THAT WOULD HAVE POTENTIAL TO CAUSE POLLUTION. IT IS UNKNOWN IF SURFICIAL GEOLOGIC FORMATIONS, EXIST WITHIN THE PROJECT SITE, THAT WOULD HAVE POTENTIAL TO CAUSE POLLUTION. IF GRADING OR CONSTRUCTION ACTIVITIES OF ANY OF THE PROPOSED FACILITIES UNCOVER ANY GEOLOGIC FORMATION THAT COULD HAVE THE POTENTIAL TO CAUSE POLLUTION, THE DESIGN ENGINEER SHALL BE NOTICED IMMEDIATELY.

RECYCLING & DISPOSAL OF CONSTRUCTION MATERIALS

PROPERTY OWNER/CONTRACTOR WILL ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. PCSW WASTES INCLUDE, BUT ARE NOT LIMITED TO, LAWN CLIPPINGS, LITTER, DEBRIS, SILT, MULCH, SEED, DEAD PLANTS, ETC. ALL RECYCLABLE MATERIALS SHALL BE SEPARATED AND SENT TO AN APPROPRIATE RECYCLING FACILITY. ALL OTHER WASTE MATERIALS SHALL BE PROPERLY DISPOSED AT AN APPROPRIATE WASTE TREATMENT AND DISPOSAL SITE. SITES SHALL RECEIVE PRIOR CONSERVATION DISTRICT APPROVAL AND SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES.

ALTOONA CITY PLANNING COMMISSION

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE.

DATE: _____

BLAIR COUNTY PLANNING COMMISSION

REMOVED BY THE PLAIN COUNTY PLANNING COMMISSION

DATE:

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487

[illegible]

GENERAL NOTES - SECTION B FLAGGERS AND FLAGGING OPERATIONS (CONT'D)

- [illegible]

GENERAL NOTES - SECTION B FLAGGERS AND FLAGGING OPERATIONS (CONT'D)

- [illegible]

GENERAL NOTES – SECTION A GENERAL ITEMS

- [illegible]

ALTOONA CITY PLANNING COMMISSION
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

BLAIR COUNTY PLANNING COMMISSION

REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

DATE:

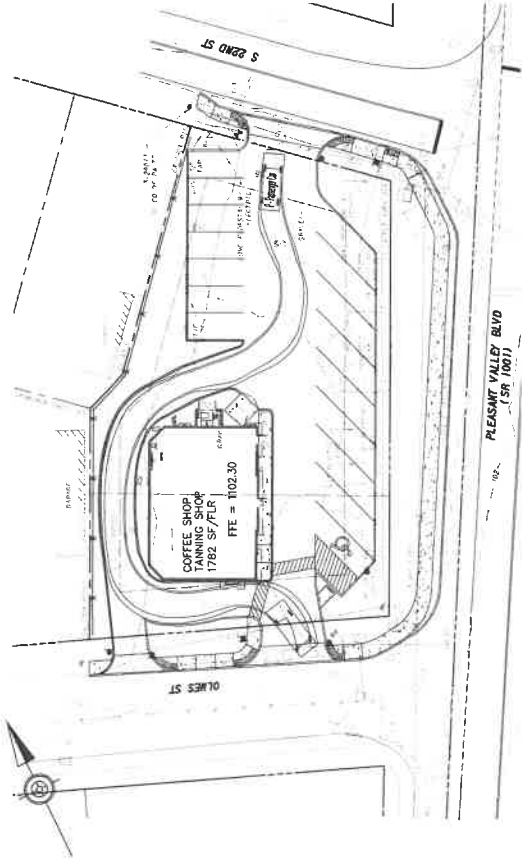


JOSEPH LEHMAN, INC.
CONSULTING ENGINEERS
POST OFFICE BOX 419, HOLLIDAYSBURG, PA 16846
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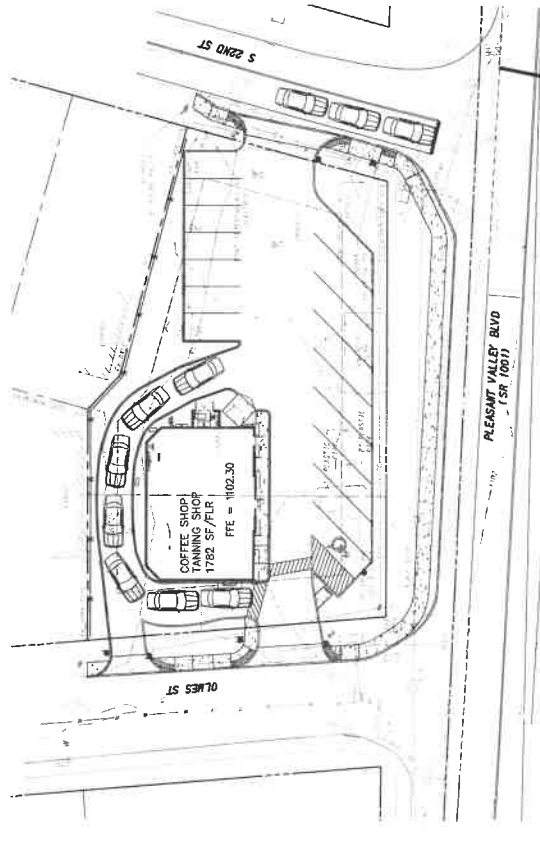
PROJECT NO. 7393 DATE: 05.09.25

CITY OF ALTOONA
BLAIR COUNTY, PENNSYLVANIA

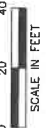
OF 21
SHEET



VEHICLE TURNING TEMPLATE



VEHICLE STACKING



TEMPORARY HIGHWAY MARK
 TYPICAL 18" DIA. W/ 1" CAP
 ELEVATION: 101.350'
 N: 42463.6780'
 E: 1789326.4440'

LEGEND

- EXISTING CONTOUR LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- APPROXIMATE ADJACENT LINE
- BUILDING SETBACK LINE (A.S.L.)
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORMWATER LINE
- EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE LINE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING MONITORING WELL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING UTILITY POLE
- EXISTING GUY ANCHOR
- EXISTING LIGHT
- EXISTING SIGN
- IRON PILE/PIPE FOUND (AS NOTED)
- 5/8" REBAR SET (UNLESS OTHERWISE NOTED)
- TEMPORARY BENCH MARK
- CONTROL POINT
- PROPOSED CEMENT CONCRETE SIDEWALK
- PROPOSED PARKING LOT PAVING

SUBJECT TO A PERFORMANCE COVENANT, DATED _____, RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE ALTOONA CITY PLANNING COMMISSION, 1000 MARKET STREET, ALTOONA, PA 16801, PUBLIC WORKS DEPARTMENT, AND COMMUNITY DEVELOPMENT DEPARTMENT.

ALTOONA CITY PLANNING COMMISSION
 LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

NOTE(S):
 1. DESIGN VEHICLE IS A PASSENGER CAR.

BLAIR COUNTY PLANNING COMMISSION
 REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

HIGHWAY OCCUPANCY PERMIT APPLICATION NO. 374487

R. JOSEPH LEHMAN, INC.
 CONSULTING ENGINEERS
 POST OFFICE BOX 418, HOLLANDSBURG, PA 16848
 (814) 292-7550 www.lehmaninc.com

PROJECT NO. 7393 DATE: 05/09/25

DATE	NO.	REVISION
07/14/25	1	PERMIT REVIEW 11/06/25

COFFEE & TANNING SHOP

CITY OF ALTOONA
 BLAIR COUNTY, PENNSYLVANIA

VEHICLE TURNING

SHEET
 21 OF 21

**COFFEE & TANNING SHOP
2200 PLEASANT VALLEY BLVD**

Traffic Study:

This analysis is intended to address Section 640-33.C of the City of Altoona Code of Ordinances, for determination if the development will generate 100 or more peak hour trips.

Francis and Laura OFarrell are proposing to construct a 3,564 sf building at 2200 Pleasant Valley Blvd in the City of Altoona, Blair County. The building will contain a coffee house on the first floor and tanning beds on the second. Site work will involve construction of the building and associated parking, utility laterals, and stormwater management/conveyance facilities.

The project is located on two parcels of land (which will be merged into 1 lot) totaling 0.328 acres with approximately 0.459 acres being disturbed. The property is bordered on the north by S 22nd St, to the south by Olmes St, Pleasant Valley Blvd (SR 1001) to the east and residential homes to the west.

Access to the project is via a 2-way driveway onto S 22nd St and 2 exit only driveways onto Olmes St. Access to Pleasant Valley Blvd from S 22nd St is controlled by a signalized intersection and from Olmes St by a stop sign.

The Institute of Transportation Engineers (ITE) Trip Generation Manual 11th Edition was used to estimate traffic counts. Data used for this analysis was a Coffee/Donut Shop with Drive-Through Window (Land Use 937) and Health/Fitness Club (Land Use 492). (As a tanning salon is not a specified Land Use in the Trip Generation Manual, the Health/Fitness Club was the best fit.)

P. JOSEPH LEHMAN, INC.
CONSULTING ENGINEERS

Land Use:	Peak Hour Trips	
	Inbound	Outbound
Coffee/Donut Shop (937):		
Weekday; Peak Hour of Adjacent St Btwn 7 and 9 am	80	77
Weekday; Peak Hour of Adjacent St Btwn 4 and 6 pm	36	35
Weekday Peak Hour	93	92
Weekday AM Peak Hour	93	92
Weekday PM Peak Hour	40	40
Saturday Peak Hour	80	81

Land Use:	Peak Hour Trips	
	Inbound	Outbound
Health/Fitness Club (492):		
Weekday; Peak Hour of Adjacent St Btwn 7 and 9 am	1	1
Weekday; Peak Hour of Adjacent St Btwn 4 and 6 pm	10	7
Weekday AM Peak Hour	1	2
Weekday PM Peak Hour	4	3
Saturday Peak Hour	3	3

All peak hour trips are less than 100 for each individual use.

Based upon other coffee/tanning shops researched by the developer, peak traffic for the coffee shop is typically in the mornings and midafternoons for the tanning business.

To address City concerns regarding traffic stacking along S 22nd St, the developer gathered traffic counts during a weekday between the hours of 7 am – 9 am and 3 pm – 5 pm. The maximum number of vehicles stacking at the red light in the morning was 7 that occurred 3 times. The maximum number of vehicles stacking at the red light in the afternoon was 8 that occurred 4 times.



7am-9am																	
Number Cars	Right on Red	Minutes of Light	7:00 AM	7:00 AM	3pm-5pm	Number Cars	Right on Red	Minutes of Light									
2		4	7:00 AM		1			2								3:00 PM	
2		4			4		1	2									
2		4			2		1	2									
1		2			2			2									
2		2			4		2	2									
4	3	6			3			2									
3	1	2			1			2									
2		2			3			2									
3	1	2			4		1	2									
2		2	7:30 AM		3			2									
3		2			8			2									
2		2			1			2									
3		2			2		2	2								3:30 PM	
2		2			1			2									
4		2			2			2									
4	2	2			3		1	2									
1		2			4			2									
4		2			2			2									
4		2			5		1	2									
7	3	2			7		3	4									
4		2			3			2									
2	1	2			6		1	2									
6	2	2			4		4	2									
1		2	8:00 AM		2			2									
6	4	10.5			4			4									
5	2	8.5			5		2	2								4:00 PM	
1		2			4			2									
7	2	2			5			2									
3	2	2			7			2									
7	6	8.5	8:30 AM		5			2									
2	2	2			4		1	2									

[illegible]

COFFEE & TANNING SHOP
2200 PLEASANT VALLEY BOULEVARD

REVISED 7/28/25

Waiver Requests:

§ 640-33.E(1) and 640-63.A(2) No driveway shall enter a public street within 50 feet of an intersection.

Due to the narrow width of the lot and the residential properties at the rear of the property, the driveways were placed as far from the intersection as possible while still maintaining functionality of the lot. The driveway on S 22nd St is 50' from the edge of travel lane. Only half of the driveway exiting onto Olmes St is within 50' of the edge of the travel lane.

§ 640-62.B Buildings should be sited toward the front of the lot, as close to the setback line as practical. Parking shall not be placed in front of the building.

Due to the residential district behind the lot, parking was placed towards the front of the building. Shrubs have been placed between the parking lot and Pleasant Valley Boulevard to shield vehicular headlights and control traffic movements within the parking lot.

§ 640-63.A(5) No one-way access driveway shall be wider than 18 feet at the point where such a driveway crosses the street or alley right-of-way line.

The one-way exit driveway at the southeastern corner of the property is 19.8' to allow vehicular turning movements from the drive thru lane to the exit driveway.

§ 640-63.A(6) The minimum curb radius on an access driveway at the street or alley shall be 10 feet.

The driveway, in front of the building, at Olmes St is exit only. The eastern radius does not affect turning movements. The driveway, behind the building, is the maximum radius to fit site conditions/layout within the property.

§ 640-63.B(3) Parking facilities shall be set back from street right-of-way lines, property lines, and building foundations a minimum of five feet.

The two parking stalls at the NW corner encroach slightly into the 5' setback from property line a maximum of 3.5'. The property is shielded from vehicle headlights by the proposed privacy fence. They are not directly behind a residential home. The most NE stall is also with 3.5' from the right of way line, however it is 8.4' from the backside of the sidewalk and within 15.7' from the edge of the travel lane.

§ 640-63.I(3) A face-to-face setup shall be used for all drive-through facilities to eliminate speaker noise. Alternatives may be considered by the Planning Commission where it can be shown that transactions will not be heard at the lot line at any time of day or night.

A solid vinyl fence and landscaping will be used to help shield speaker noise. In addition, an AI speaker system will help control the decibel levels. The two residential neighboring properties behind the property have garage structures close to the property line that offer additional buffer to the homes.

§ 640-65.B.5 No parking, structures, dumpsters, light standards shall be permitted in a buffer yard.

A 7' high solid vinyl fence and landscaping (trees/shrubs) will be provided along the rear property line to provide a buffer.

§ 640-65.D(3-5) Foundational landscaping.

Landscaping has been proposed elsewhere around the site to compensate.

§ 640-65.E.3.(a) Islands shall be six feet wide.

To maximize the buffer areas around the outside of the parking lot, the island width at the drive thru entrance has been reduced. The island will be planted with shrubs for interior parking lot landscaping and to help control traffic movements.

RESOLUTION 8-5-25-PAC25-02
A RESOLUTION APPROVING
THE COFFEE & TANNING SHOP FOR
FRANCIS O'FARRELL, JR & LAURA O'FARRELL

WHEREAS an application for a land development project has been filed with the Altoona City Planning Commission (hereinafter "ACPC") by FRANCIS O'FARRELL, JR & LAURA O'FARRELL (hereinafter referred to as the "DEVELOPER"); and

WHEREAS, the DEVELOPER desires to construct a 3,564 SF building at 2200 Pleasant Valley Blvd, Altoona, Pennsylvania; and

WHEREAS, staff has reviewed the LAND DEVELOPMENT PLAN, incorporated herein by this reference and filed with the ACPC by the Developer, and has found it to be in compliance, as a FINAL LAND DEVELOPMENT with all applicable provisions of the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has determined that this LAND DEVELOPMENT PLAN constitutes a FINAL LAND DEVELOPMENT PLAN in full compliance with the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has the power to APPROVE modifications to the City of Altoona's subdivision and land development requirements, and the Developer has requested the following waivers that are hereby approved by the ACPC:

1. §640-33E(1) and §640-63A(2): No driveway shall enter a public street within 50' of an intersection. **The applicant is requesting a waiver to this section.**
2. §640-62B: Buildings should be sited toward the front of the lot, as close to the setback line a practical. Parking shall not be placed in front of the building. **The applicant is requesting a waiver to this section.**
3. §640-63A(5): No one-way access driveway shall be wider than 18 feet at the point where such a driveway crosses the street or alley right-of-way line. **The applicant is requesting a waiver to this section.**
4. §640-63A(6): The minimum curb radius on an access driveway at the street or alley shall be ten feet. **The applicant is requesting a waiver to this section.**
5. §640-63B(3): Parking facilities shall be set back from the street right-of-way lines, property lines, and building foundations a minimum of five feet. **The applicant is requesting a waiver to this section.**
6. §640-63I(3): A face-to-face setup shall be used or all drive-through facilities to eliminate speaker noise. Alternatives may be considered by the Planning Commission where it can be shown that transactions will not be heard at the lot line at any time of day or night. **The applicant is requesting a waiver to this section.**
7. §640-65B(5): No parking, structures, dumpsters, light standards shall be permitted in a buffer yard. **The applicant is requesting a waiver to this section.**
8. §640-65D(4): Foundational landscaping shall include low shrubbery at a ratio of at least one shrub for every five linear feet of wall and high shrub or tree for every 50 linear feet of wall.. **The applicant is requesting a waiver to this section.**

9. §640-65E(3)(a): Islands shall be six feet wide. **The applicant is requesting a waiver to this section.**

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Altoona, Blair County, Pennsylvania, that the application and plans, as filed by the DEVELOPER, are hereby approved subject to the following conditions:

1. The conditions of the plan must be accepted in writing by developer within 30 days of plan approval.
2. All required signatures must be obtained on the plan.
3. If required, financial security to cover the cost of all public improvements must be provided to the City.
4. A developer's agreement prepared by the ACPC must be executed by the Developer.
5. A copy of the RECORDED plan must be provided to the ACPC as soon as it is recorded.
6. All conditions must be met, fees paid, and the plan signed and recorded within the plan deadline.

RESOLVED by the Altoona City Planning Commission on August 5, 2025:

David B. Albright, Chairman

PROJECT DESCRIPTION

Sheetz #14 Altoona Rebuild City of Altoona, Blair County, PA

SMAI Project No. 24-2016

Sheetz, Inc. is proposing to construct a new convenience store at the intersection of Beale Avenue and Logan Boulevard (S.R. 4003) in the City of Altoona, Blair County. The existing Sheetz convenience store, car wash, and fuel dispensers on site will be demolished and replaced with new facilities.

The site is located in the "I-L Light Industrial" zoning district. The surrounding land use is a mixture of residential and commercial properties. The existing 4,662 square-foot store opened more than 25 years ago. Prior to Sheetz, the site appears to have been idle land.

The project will include a new 4,966-square-foot convenience store with drive through windows, a 1,114 square-foot car wash, and fuel canopy with 6 fuel islands. All utility service lines will be replaced, including water, sanitary sewer, natural gas, cable, electric, and telephone.

Stormwater management facilities will be installed to manage the runoff from the site in accordance with the City of Altoona's ordinance.

The site will be accessed from the existing driveways located along Beale Avenue and Logan Boulevard. The existing driveway configurations will not be altered.

Sheetz does not anticipate an increase in water usage upon completion of the project. Water and sanitary sewer service will continue to be provided by the Altoona Water Authority.

There are no wetlands located on the project site.

The total disturbed area for the proposed project is approximately **2.3 acres**.

July 22, 2025

Ms. Sabrina McMillen
Planning & Development Manager
City of Altoona
Department of Planning & Community Development
1301 12th Street, Suite 400
Altoona, PA 16601

RE: Sheetz #14 Altoona Rebuild
3315 Beale Avenue
Land Development Review

Dear Ms. McMillen:

At the request of the City of Altoona, we have completed our review of the land development plan for the above-referenced project. The following information was provided to our office on 7/2/25 for review of a land development located at 3315 Beale Avenue in the City of Altoona, Blair County:

- Final Land Development Plans for Sheetz #14 Rebuild as prepared by Stiffler McGraw & Associates, Inc., 29 sheets, project no. 24-2016, dated June 25, 2025
- Post Construction Stormwater Management Narrative for Sheetz #14 Altoona Rebuild as prepared by Stiffler, McGraw & Associates, Inc., dated June 25, 2025
- Transmittal letter dated June 27, 2025; application for land development; project description; adjacent property owner list; recorded deed; location map; plan sheet list; and PennDOT OneMap exhibit

The above information has been reviewed for conformance with Chapter 620 and Chapter 640 of the Code of Ordinances for the City of Altoona, Blair County, Pennsylvania. This review was completed for ordinance conformance only. We do not accept any liability for any potential design errors or oversights made by the design engineer. Members of the City of Altoona Planning Commission have the final decision regarding comments for the construction plans. The developer shall address the following comments and proceed with final plan preparation.

General

1. All signature blocks are to be executed.
2. No changes can be made to the approved plans during construction without the approval of the City. After construction is complete provide record or as-built drawings to the city of all approved changes made during construction.
3. Please include note that all asphalt joints within right of way shall be sawcut neat and sealed with AC-20.
4. Provide proper signing for traffic control during construction in accordance with the MUTCD and PennDOT publications 212 and 213. If this is unnecessary because work will not occur within Logan Blvd./Beale Ave right-of-way's, please denote on the plan that all work will be performed within the property / private drive limits.
5. The pond report for both Pond No 2 (MRC-1A) and Pond No 3 (UG-1B) indicate a 3.0' weir; however, the detail in the plans for each appear to only indicate a 2.5' weir. Please clarify.
6. Property is zoned I-L: Light Industrial

Chapter 620 Stormwater Management, Erosion and Sediment Control

7. 620-1.B. Please provide proof of approval of the E&S plan and NPDES permit when received.

8. 620-13.C(3) Provide a statement, signed by the landowner, acknowledging that the stormwater BMPs are fixtures that cannot be altered or removed without written approval by the City Engineer.
9. 620-13.C(4) Provide a signature block on the plans that reads: "I (qualified professional), on this date (date of signature), hereby certifies that the stormwater management site plan meets all design standards and criteria of Chapter 620 of the City of Altoona codified ordinances, as amended (number assigned to the ordinance)."
10. 620-13.F(1) The developer or their engineer shall be responsible for providing as-built plans of all stormwater management (SWM) BMPs included in the approved SWM site plan in accordance with this section. Any changes proposed during construction must receive the approval of the City prior to implementation.
11. 620-13.F(2) A licensed professional or a designee shall be present onsite and be responsible during all critical stages of implementation of the approved post construction stormwater maintenance plan. DPW noted this is in the Post Construction Stormwater Management Report and on the plan. No further response necessary.
12. 620-15.A(1) Facilities, areas or structures used as stormwater management BMPs shall be enumerated as permanent real estate appurtenances and recorded as deed restrictions or conservation easements that run with the land.
 - The maintenance agreement on the plan and in the report should match. Please add the last paragraph of the Maintenance Program from the report regarding the owner completing inspection form, keeping records, submitting records, etc. to the plan.
 - The maintenance agreement in the report and on the plan should have a place for the owner to sign.
13. 620-15.B(1d) The engineer must meet with and provide the developer or owner with a copy of the operation and maintenance plan. The engineer is required to explain all required maintenance to the developer or owner as well as all associated requirements of this chapter (i.e., recordkeeping, contact information, submittal of records, etc.) The owner of the storm water management facilities shall keep on site a copy of the post construction stormwater plan (PCSWP), the maintenance plan, and a record log of any maintenance activities. The Engineer must provide proof of such meeting or correspondence to the City.
14. 620-15.B(3a) Persons installing stormwater storage facilities shall be required to pay a specified amount to the municipal stormwater maintenance fund to help defray costs of periodic inspections and maintenance expenses. The long-term stormwater management inspection fee for a large system is \$3,850.00.
15. 620-15.C(2) Said maintenance records shall be kept on site, accessible and opened to the Stormwater Officer upon request so that he or she may verify that maintenance is proceeding as approved.
16. 620-16.A. The city Department of Public Works (DPW) requires a review fee. This fee is \$275.00. The consultant review fee will be in addition to the in-house reviews.

Chapter 640 Subdivision of Land and Land Developments

17. 640-57.H Provide proof of review and approval (for the Land Development Plan) from the County Planning Commission.
18. 640-58.B(5) Indicate the zoning district boundary on the plan.
19. 640-58.G. Provide signature(s) of the designer(s) that prepared the plan.
20. 640-63.A(2) Access driveways shall access side streets instead of main arterials (including, but not limited to, Logan Boulevard, North Logan Boulevard, Chestnut Avenue, Juniata Gap Road, the 300 to 600 blocks of East 25th Avenue, Union Avenue, 58th Street, 6th Avenue, 7th Avenue, Broad Avenue, Beale Avenue, Plank Road, Pleasant Valley Boulevard, Valley View Boulevard, and North 4th Avenue) where practicable, and where it is not practicable, the Planning Commission or Planning and Community Development Department may waive this requirement.. The applicant is requesting a waiver to this section indicating that the project only borders N Logan Blvd and Beale Ave and plans to use the existing access drive permitted by PennDOT.
21. 640-63.A(6) The minimum curb radius on an access driveway at the street or alley shall be 10 feet. Please indicate radii throughout the site on the plans.
22. 640-63.I(3) A face-to-face setup shall be used for all drive-through facilities to eliminate speaker noise. Alternatives may be considered by the Planning Commission where it can be shown that transactions will

- not be heard at the lot line at any time of day or night. Applicant is requesting a waiver, indicating that the drive-thru will have a touch screen ordering point with a back-up speaker to assist customers as needed.
23. 640-64.A(1) Sidewalks shall be provided along the entire length of the property in accordance with this section. On a corner lot, the sidewalk shall be extended along the second street as well. The applicant is requesting a waiver from providing sidewalk along the entire length of the property. Please revised the waiver request as the referenced bridge does currently have pedestrian access; however, no other pedestrian access exists and future PennDOT and City projects in the area are not planning to include sidewalk due to site challenges.
 24. 640-64.C(1) If the proposal is to be directly served by a bus stop, a bench shall be placed at the bus stop location.
 25. 640-65.A(2) Throughout the City, one tree shall be planted along the street for every 50 feet of street frontage, equidistantly if possible. It appears a waiver may be desired to not provide street trees along N. Logan Blvd.
 26. 640-65A(5e) Trees shall have temporary labels attached so inspectors can determine compliance with the approved plan.
 27. 640-65.D(1-5) The required setback between parking facilities and buildings shall be landscaped to eliminate large expanses of barren wall in accordance with this section. Foundational landscaping may be waived if the proposal includes yard trees throughout the site that serve the same screening purposes as foundational plantings. Such a waiver may be applied only where such yard trees serve the noted function. The applicant is requesting a waiver from providing the foundational landscaping indicating that they are proposing sidewalk adjacent to the building and architectural features such as a brick façade and decorative windows. They are also proposing brick pavers and outdoor seating immediately adjacent to the building.
 28. 640-65.E(3b) Islands shall be curbed with vertical or sloped curbing. The applicant is asking for a waiver from providing landscaped islands adjacent to the parking in front of the store and is proposing brick paver at-grade islands similar to those used in recently constructed Sheetz stores in the City.
 29. 640-65.E(3c) Within each island, there shall be one tree for each 18 feet of length. The applicant is asking for a waiver from trees in the two islands adjacent to the drive-through stating there are multiple utilities that will be installed below and adjacent to these islands and to avoid potential damage to the utilities from the tree roots, the applicant is providing a landscaping plan which has multiple shrub species throughout these islands.
 30. 640-65.F(1) No property shall have exterior speakers, unless approved on a temporary basis under the temporary use provisions in this section. Applicant is requesting a waiver indicating that the proposed drive-thru will have a touch screen ordering point with a speaker for assistance as needed.

Should you have any questions please do not hesitate to contact The EADS Group at (814) 944-5035 or sshoenfelt@eadsgroup.com.

Sincerely,

The EADS Group, Inc. (Altoona)



By: Stephanie C. Shoenfelt, P.E.

cc: Project File

R:\0283 City of Altoona\19478 City of Altoona\Phase 94 - Task Order 88 - Plan Reviews 2025\5 Sheetz 14 Altoona Rebuild\250718 Review 1 Sheetz.docx



www.eadsgroup.com



BLAIR COUNTY
1731 N. JUNIATA STREET
HOLLIDAYSBURG, PA 16648
TEL: 814.696.6280
FAX: 814.696.6240

July 25, 2025

Ms. Sabrina Appel-McMillen
Planning & Development Manager
Department of Planning & Community Development
1301 12th Street, Suite 400
Altoona, PA 16601

RE: Sheetz #14 Altoona Rebuild
City of Altoona, Blair County
Plan Submission #2
Project No. 24-2016

Dear Ms. Appel-McMillen:

On behalf of Sheetz, Inc. and in response to the EADs Group review letter dated July 22, 2025, we are herewith submitting the following documents for your review.

- Final Land Development Plans, revised July 25, 2025 (2 copies),
- Revised Waiver Request Letter (2 Copies).

An item-by-item response to each of the EADs Group's review comments follows:

General

Comment 1:

- All signature blocks will be executed once all comments are addressed and permits are obtained.

Comment 2:

- Record as-builts will be provided after construction is completed.

Comment 3:

- The requested note has been added to the typical asphalt pavement section detail. Please see detail 1C on plan sheet D1.

Comment 4:

- PATAs 101-A & 101-B have been added to the detail sheets. Please see plan sheet D5.

Comment 5:

- The total weir length for the outlet structures includes the front and sides of the plate, which totals 36" (30" front length plus 2 sides at 3" each).

Comment 6:

- Noted.

Chapter 620 Stormwater Management, Erosion and Sediment Control

Comment 7 (620-1.B):

- Proof of plan and permit approval will be provided upon receipt.

— OFFICES LOCATED THROUGHOUT PENNSYLVANIA —

1.888.696.6280 •    • **STIFFLER-MCGRAW.COM**

STIFFLER MCGRAW & ASSOCIATES, INC | STIFFLER MCGRAW ARCHITECTS, LLC

Comment 8 (620-13.C.(3)):

- The “Storm Water Management Owner Statement” has been added to the cover. Please see sheet C1. This block will be executed once all comments have been addressed.

Comment 9 (620-13.C.(4)):

- The “Engineer’s Signature Block” has been added to the cover. Please see sheet C1. This block will be executed once all comments have been addressed.

Comment 10 (620-13.F.(1)):

- As-built plans will be provided after construction is complete.

Comment 11 (620-13.F.(2)):

- Noted.

Comment 12 (620-15.A.(1)):

- As part of the NPDES permitting process, the applicant will be required to record an instrument for the declaration of restrictions and covenants. This instrument will be recorded at the Blair County Courthouse, and it says that stormwater facilities are enumerated as permanent real estate appurtenances, and they run with the land.
- The “Post-Construction Stormwater Management System Ownership, Operations and Maintenance Procedures,” on plan sheet SWM2 has been revised to match the report.
- The owner will be signing the Instrument for recording which will have the operation and maintenance procedures included as part of that document. Additionally, the owner will need to sign the cover of the plan which includes operation and maintenance procedures. Therefore, the owner will be signing both documents that contain the maintenance requirements.

Comment 13 (620-15.B.(1d)):

- Noted. Proof of the meeting will be provided as soon as the meeting is held.

Comment 14 (620-15.B.(3a)):

- Noted.

Comment 15 (620-15.C.(2)):

- Noted.

Comment 16 (620-16.A):

- Noted.

Chapter 640 Subdivision of Land and Land Developments

Comment 17 (640-57.H):

- H – The review letter from the County Planning Commission will be forwarded upon receipt.

Comment 18 (640-58.B.(5)):

- The approximate zoning district boundary has been added to plan sheet S1.

Comment 19 (640-58.G):

- The plans will be signed once all review comments have been addressed.

Comment 20 (640-63.A.(2)):

- Noted.

Comment 21 (640-63.A.(6)):

- All curb radii that abut a public street have been labeled. Please see plan sheet S1.

Comment 22 (640-63.I.(3)):

- Noted.

Comment 23 (640-64.A.(1)):

- Please see the updated waiver request letter.

Comment 24 (640-64.C.(1)):

- A bench was added to the plan, please see plan sheet S1. The bus stop bench will be located within PennDOT's right-of-way. As such, we will coordinate the final location with PennDOT and Amtran.

Comment 25 (640-65.A.(2)):

- The landscaping plan was revised to show trees along the N. Logan Boulevard side where possible. There are existing underground electric lines that need to be avoided. Additionally, trees are not proposed where they would block visibility of the pylon sign. In these areas, numerous shrubs and plantings are proposed. For the length of right-of-way along this property, it appears that 15 trees are required. We are proposing 17 trees along the frontage. We believe the proposed plantings meet the intent of this section of the ordinance even though the trees may not have equal spacing.

Comment 26 (640-65.A.(5e)):

- A note has been added to the landscaping plan indicating that a temporary label shall be attached to trees so an inspector can determine compliance with the approved plan. Please see Execution note 11 on plan sheet L2.

Comment 27 (640-65.D.(1-5)):

- Noted.

Comment 28 (640-65.E.(3b)):

- Noted.

Comment 29 (640-65.E.(3c)):

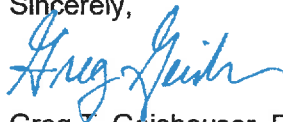
- Noted.

Comment 30 (640-65.F.(1)):

- Noted.

The above responses and the revised plans are being supplied for review at your earliest convenience. A copy of the enclosed documents is also being sent directly to the EADs Group. If you have any questions or comments, please contact me at 814-696-6280.

Sincerely,



Greg T. Geishauser, P.E.

Enclosures

cc: Stephanie Shoenfelt, P.E. – The EADs Group
Robert Franks – Sheetz, Inc. (Letter Only – email)



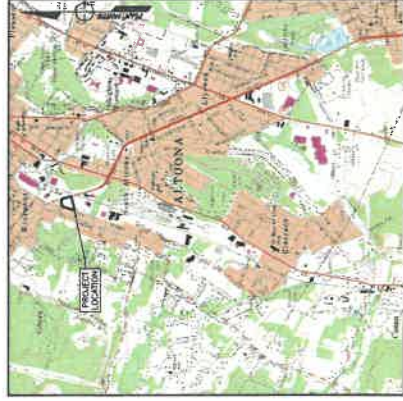
SHEETZ, INC.
3315 BEALE AVENUE
ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

SHEETZ #14 ALTOONA REBUILD
FINAL LAND DEVELOPMENT PLAN

JUNE 25, 2025
REVISED JULY 25, 2025

INDEX OF SHEETS

DRAWING	DESCRIPTION
C1	COVER
G1	GENERAL NOTES
E1	EXISTING CONDITIONS PLAN
DR1	DEMOLITION & REMOVAL PLAN
S1	SITE PLAN
GDI-022	GRADING PLAN
U1	UTILITY PLAN
SWM1	STORMWATER MANAGEMENT PLAN
SWM5	STORMWATER MANAGEMENT DETAILS
PI-15	PROFILES
L1	LIGHTING PLAN
L2	LANDSCAPING PLAN
O1	OVERLAY PLAN
DI-125	DETAILS
ES1	EROSION & SEDIMENTATION CONTROL PLAN
ES2	EROSION & SEDIMENTATION CONTROL NOTES
ES3	EROSION & SEDIMENTATION CONTROL DETAILS



LOCATION MAP
HOLLIDAYSBURG, PENNSYLVANIA, USGS
SCALE: 1" = 200'

COVER

PROJECT NO.	24-016
DESIGNED BY:	OTD
DRAWN BY:	OTD/BLA
CHECKED BY:	OTD/BLA
SCALE	AS SHOWN
DATE	

C1

ENGINEER'S SIGNATURE BLOCK

ON THIS DATE, I, CHARLES H. SHEETZ, THE UNDERSIGNED OWNER, IS HEREBY CERTIFYING THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL REQUIREMENTS OF THE PENNSYLVANIA ACT 81-101, AS AMENDED, AND THE CITY OF ALTOONA CODED ORDINANCE, AS AMENDED ORD. NO. 2024.

DESIGN ENGINEER

STORM WATER MANAGEMENT OWNER STATEMENT

ON THIS DATE OF JUNE 25, 2025, THE UNDERSIGNED OWNER IS HEREBY CERTIFYING THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL REQUIREMENTS OF THE PENNSYLVANIA ACT 81-101, AS AMENDED, AND THE CITY OF ALTOONA CODED ORDINANCE, AS AMENDED ORD. NO. 2024.

MAINTENANCE OF LANDSCAPING

ALL LANDSCAPING AND IMPROVEMENTS REQUIRED BY SECTION 840-85 OF THE PENNSYLVANIA ACT 81-101, AS AMENDED, SHALL BE REPLACED IF THE REQUIRED VEGETATION IS DAMAGED, DEGRADED, DIED, OR DIES.

OWNER'S CERTIFICATION

ON THIS DATE OF JUNE 25, 2025, THE UNDERSIGNED INDIVIDUAL(S) PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT CHARLES H. SHEETZ IS THE OWNER OF THE PROJECT AND THAT THE PROJECT WILL BE COMPLETED AND THE SAME TO BE THEIR ACT AND DEEDS, THE SAME TO BE RECORDED AS SUCH, ACCORDING TO THE LAW.

OWNER SIGNATURE: CHARLES H. SHEETZ, OWNER

WITNESS MY HAND AND SEAL, THIS DATE:

NOTARY PUBLIC

COMMISSION EXPIRES

ALTOONA CITY PLANNING COMMISSION

LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

DATE:

SUBJECT TO A PERFORMANCE COVENANT DATED JUNE 25, 2025, THE UNDERSIGNED INDIVIDUAL(S) PERSONALLY APPEARED BEFORE ME AND CERTIFIED THAT CHARLES H. SHEETZ IS THE OWNER OF THE PROJECT AND THAT THE PROJECT WILL BE COMPLETED AND THE SAME TO BE THEIR ACT AND DEEDS, THE SAME TO BE RECORDED AS SUCH, ACCORDING TO THE LAW.

OWNER SIGNATURE: CHARLES H. SHEETZ, OWNER

WITNESS MY HAND AND SEAL, THIS DATE:

ALTOONA CITY PLANNING COMMISSION

REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION

ON JUNE 25, 2025

SIGNED CHARLES H. SHEETZ, OWNER



Stiffler, McGraw & Associates, Inc.
Owner:
SHEETZ, INC.
3709 SIXTH AVENUE
ALTOONA, PA 16601

Project Name:
SHEETZ #14 ALTOONA REBUILD
3735 BRADY AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025



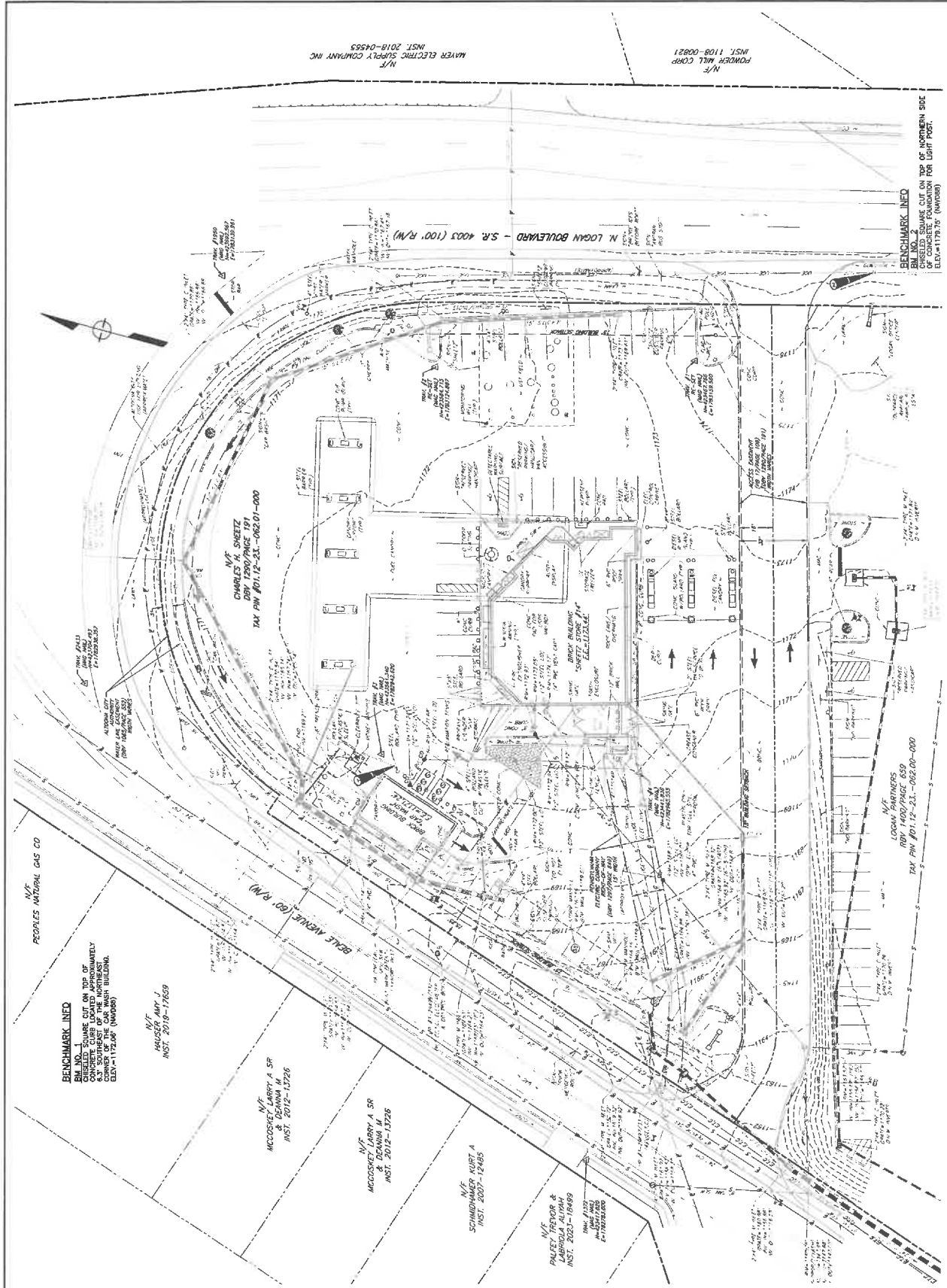
No.	Date	Description

Sheet Title:

**EXISTING CONDITIONS
PLAN**

PROJECT NO.	24-0116
DATE OF PLAN	07/25/25
DESIGNED BY	OTD/BLS
CHECKED BY	OTD/BLS
SCALE	AS SHOWN

E1



BENCHMARK INFO
CHISELED SQUARE CUT ON TOP OF NORTHEAST SIDE
OF CONCRETE FOUNDATION FOR LIGHT POST.
ELEV=1178.15 (NAVD83)

BENCHMARK INFO
BM NO. 1
CURB CUT ON TOP OF
CONCRETE CURB LOCATED APPROXIMATELY
6.5' SOUTHEAST OF THE NORTHEAST
CORNER OF THE BUILDING.
ELEV=1172.00' (NAVD83)

N/T
HAUSER, AMY A
INST. 2018-17659

N/T
MCCOSKEY, LARRY A SR
INST. 2012-15126

N/T
MCCOSKEY, LARRY A SR
& DEANNA M
INST. 2012-15126

N/T
SCHMIDHAMER, KURT A
INST. 2007-12465

N/T
BLUMER, VICTOR &
LARIOLA, ALVINA
INST. 2023-18499

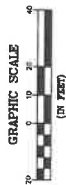
N/T
LOGAN PARTNERS
R/R #140/PAGE 630
TAX PIN #0112-23-002-00-000



ORDER:
SHEETZ, INC.
3750 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #14 ALTOONA REBUILD

JULY 25, 2025

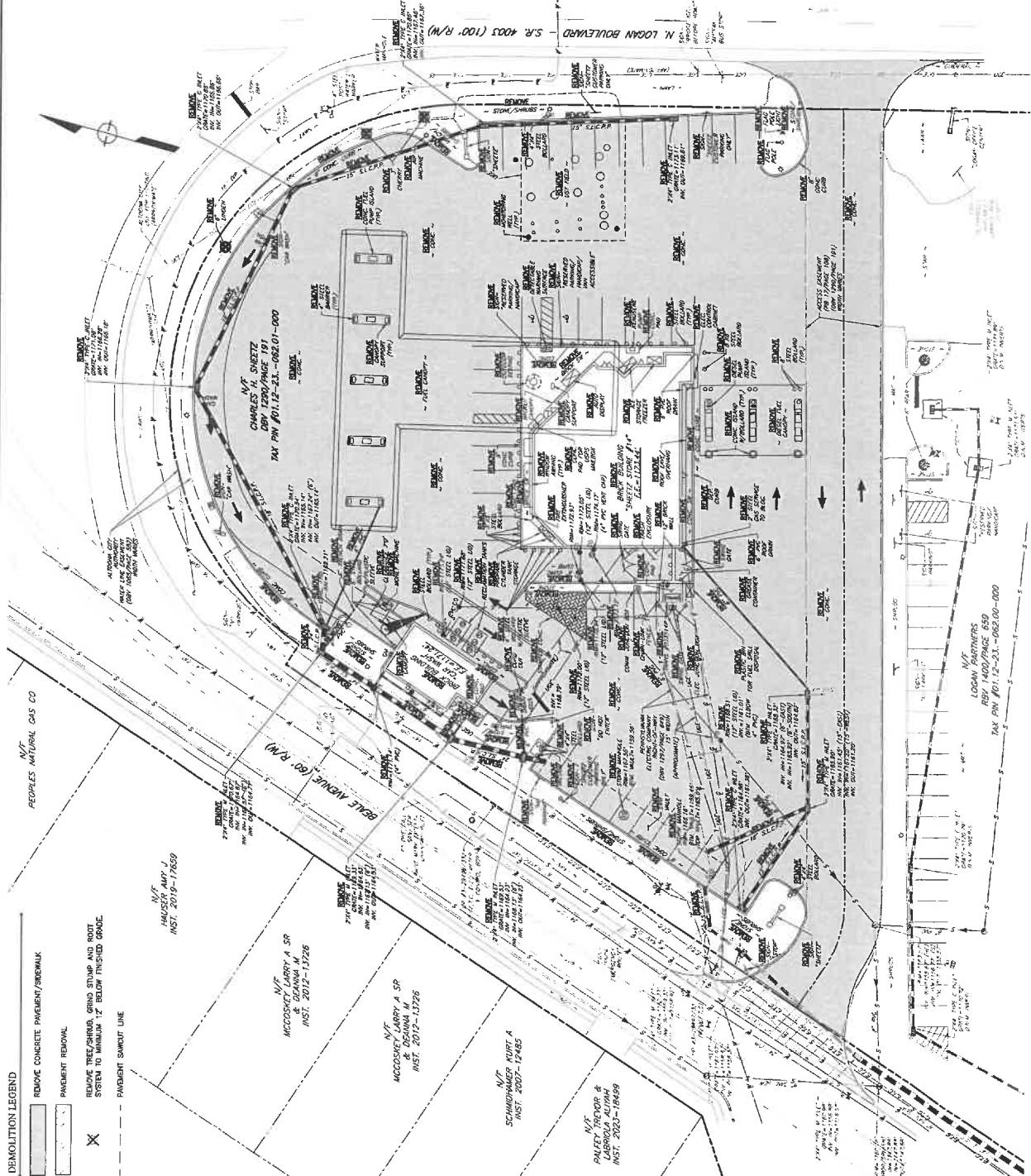
[illegible]DEMOLITION AND
REMOVALS PLAN

PROJECT NO.	24-2016
DRAWN BY	GTG/ELB
DESIGNED BY	GTG/ELB
CHECKED BY	GTG/ELB
SCALE	AS SHOWN

DRI

DEMOLITION NOTES

- [illegible]





Stiffner, McGraw & Associates, Inc.

Project Name: SHEETZ, #14 ALTOONA REBUILD
1315 BEALE AVENUE ALTOONA, PA 16601
LAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

[illegible]

SITE PLAN

PROJECT NO	24-2016
DRAWN BY	GTQ/ELB
DESIGNED BY	GTQ/ELB
CHECKED BY	GTQ/ELB
SCALE	AS SHOWN

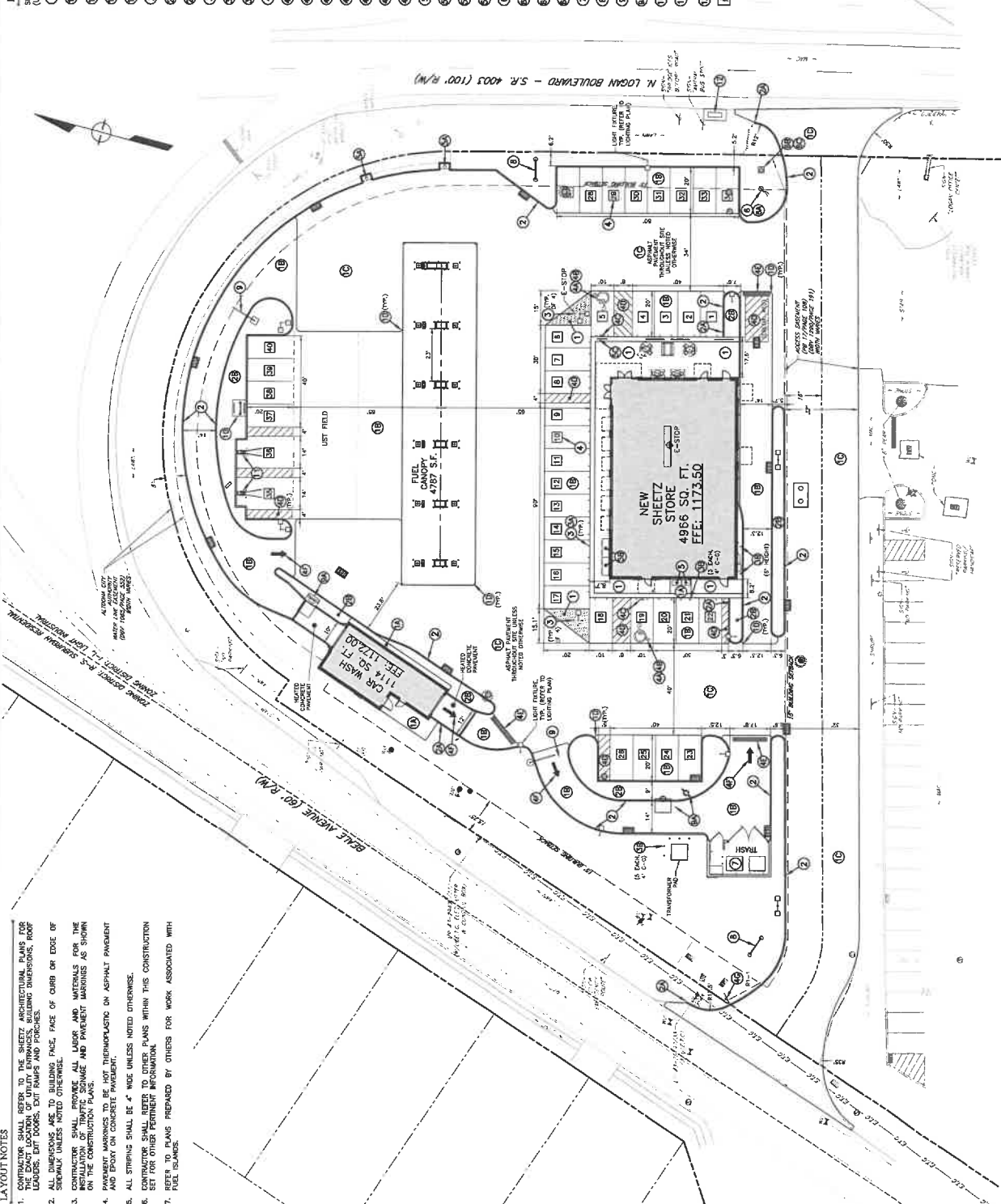
REVIEW:

15

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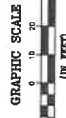
SEE CONSTRUCTION DETAILS ON DETAIL SHEETS
UNLESS NOTED OTHERWISE)

1. ROCK PAVES SIDEWALK
2. TYPICAL CONCRETE SIDEWALK SECTION
3. TYPICAL CONCRETE PARALLEL SECTION
4. TYPICAL ASPHALT PARALLEL SECTION
5. TYPICAL PARALLEL CHAMFER
6. STONE FEMBERT CURBING SECTION
7. 2" CURB TAPER
8. LANDSCAPED ISLAND
(SEE LANDSCAPING PLAN)
9. 4" x 4" x 4" BUMPER PIPE SECTION
10. BUMPER PIPE LAYOUT DETAIL
11. 6" BOLLARD DETAIL
12. TYPICAL PARKING SPACE DETAIL
13. ADA PARKING SPACE DETAIL
14. ADA PARKING LOGO DETAIL
15. ADA PARKING SIGN DETAIL
16. 6" WIDE STRIPING @ 45, 2, 0, 0,
(COLOR: YELLOW)
17. 34" WIDE PAINTED STOP BAR
18. PAINTED DIRECTIONAL ARROW
19. TRANSIT SIGN DETAIL
20. PREPARE LOCATOR, COORDINATE TYPE WITH
SHEET'S CONSTRUCTION MANAGER
21. AIR STORAGE TANK
22. ICE MACHINE DETAIL
23. WITH SHEET CONSTRUCTION MANAGER
24. BIKE RACK
25. PLASPOL DETAIL
26. PLASPOL FOUNDATION DETAIL
27. PLASPOL LIGHT FOUNDATION SECTION
28. PLASPOL DETAIL
29. TRAIL ENCLOSURE DETAIL
30. TRAIL ENCLOSURE DETAIL
(SEE ARCHITECTURAL PLANS)
31. CLEARANCE BAR
(SEE ARCHITECTURAL PLAN)
32. TRAIL DETAIL
(SEE ARCHITECTURAL PLAN)
33. DET POST PAD DETAIL
34. VOLUME EQUIPMENT
(REFER TO PLANS BY OTHERS)
35. BENCH AND CONCRETE DETAIL
(SEE ARCHITECTURAL PLANS)
WITH ARCHITECT
36. PROPOSED PARKING SPACE NUMBER





JULY 25, 2025

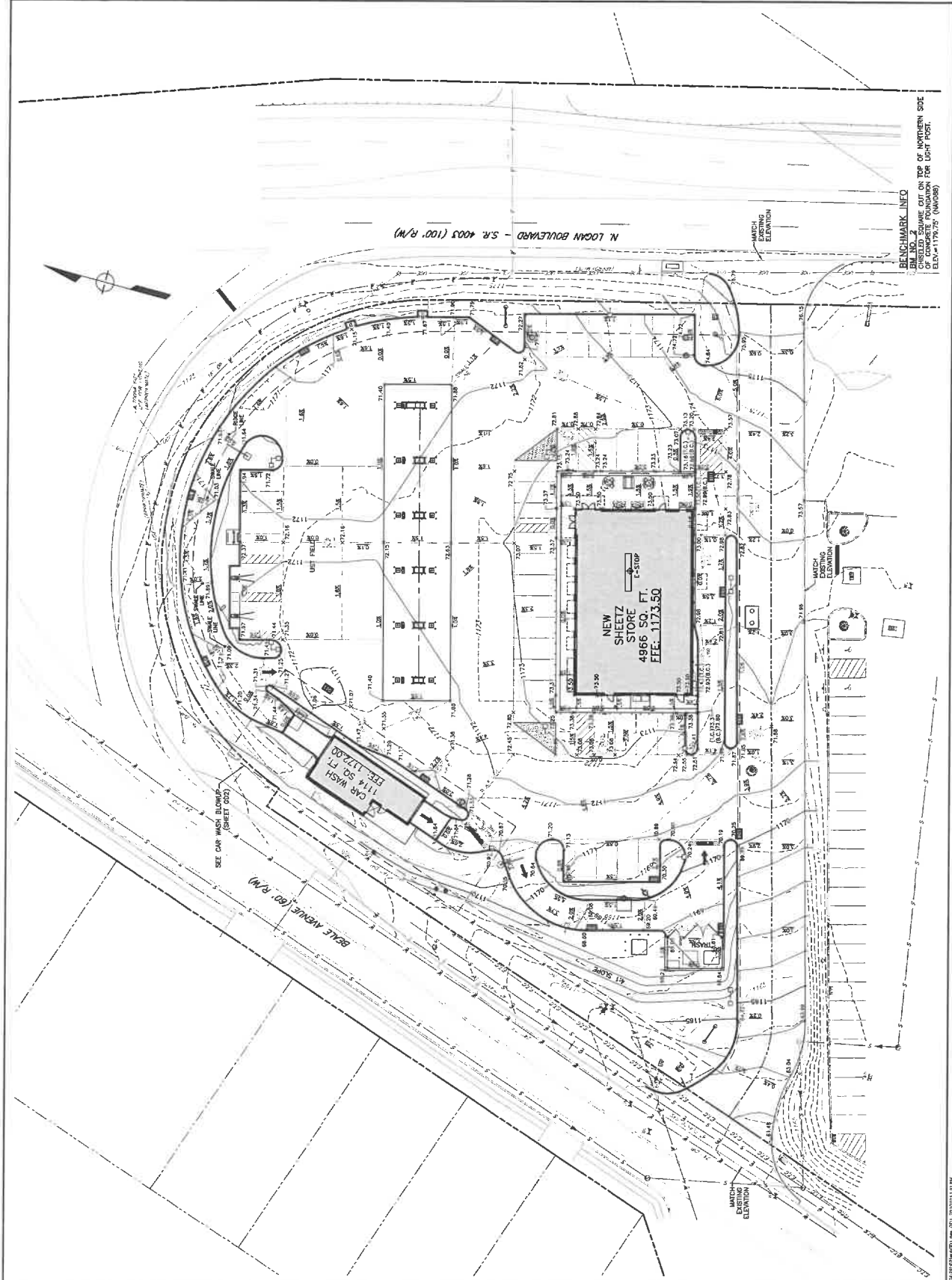


Revisions	No.	Date	Description

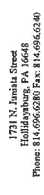
GRADING PLAN

PROJECT NO.	24-2016
DRAWN BY	OTTOLE
DESIGNED BY	OTTOLE
CHECKED BY	OTTOLE
SCALE	AS SHOWN
DATE	

GD1



BENCHMARK INFO
B.M. NO. 2
CONCRETE FOUNDATION OUT ON TOP OF NORTHERN SIDE
OF COMPOSITE FOUNDATION FOR LIGHT POST.
ELEV. = 1176.75' (MAY08)



Project Name:
SHEETZ #14 ALTOONA REBUILD

3315 BEALE AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

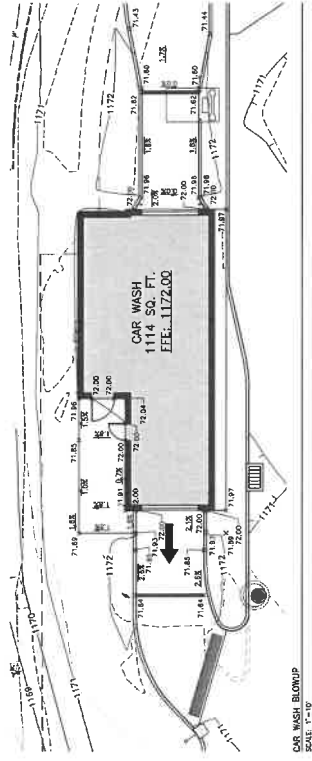
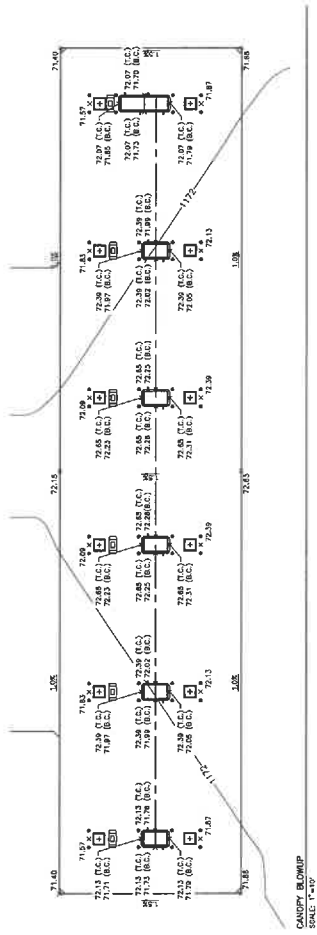
JULY 25, 2025

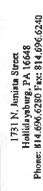
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PROJECT NO.	24-2016
DRAWN BY:	GTQ
DESIGNED BY:	GTQ/RLB
CHECKED BY:	GTQ/RLB
SCALE	AS SHOWN

Drawing:

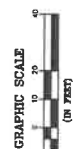
GD2





Project Name:
SHEETZ #14 ALTOONA REBUILD

JULY 25, 2025

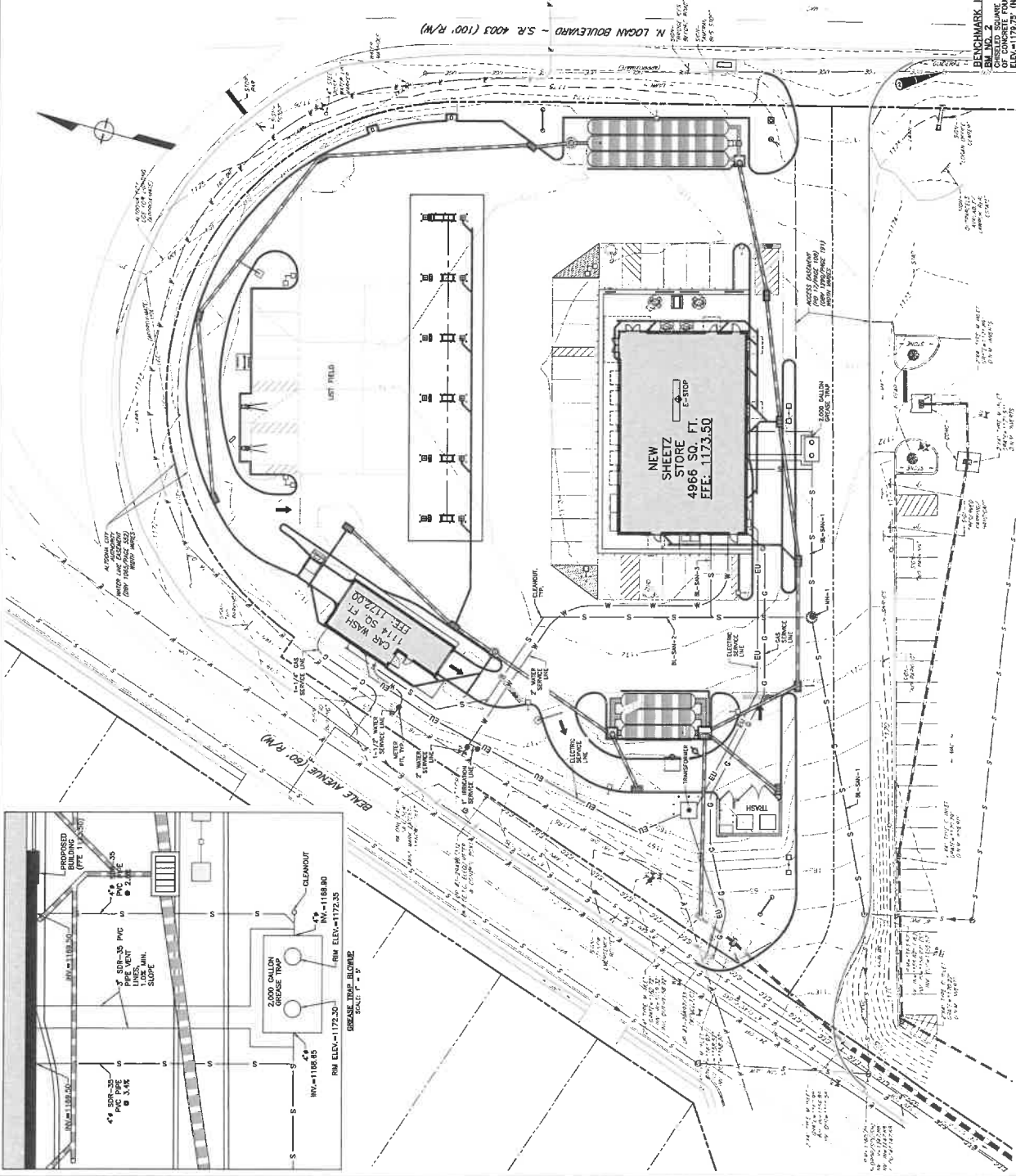
[illegible]

UTILITY PLAN

PROJECT NO	24-2016
DRAWN BY	OTG/RLB
DESIGNED BY	OTG/RLB
CHECKED BY	OTG/RLB
SCALE	AS SHOWN

U

-
- CUT ON TOP OF NORTHERN SIDE
INDICATION FOR UPRIGHT POST.
- NEQ

24-243 (9/19/2013): $\Delta \log_e H_1$, 7/23/2013 1:36 PM



Stiffler, McGraw & Associates, Inc.
Owner:
SHEETZ, INC.
3108 SOUTH AVENUE
ALTOONA, PA 16601

Project Name:
SHEETZ #14 ALTOONA REBUILD
3108 SOUTH AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025



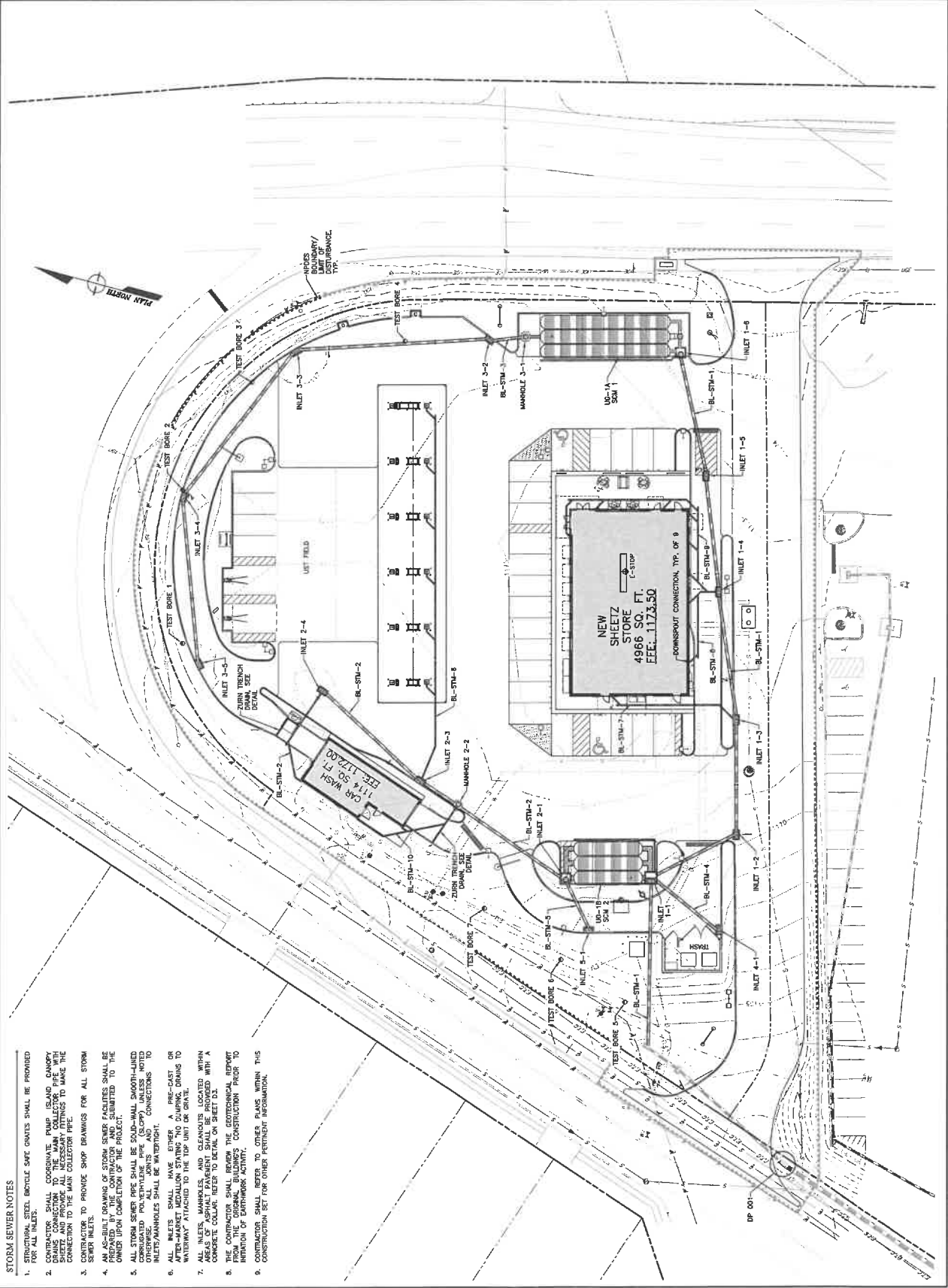
Revisions	
No.	Description

Sheet Title:

STORMWATER MANAGEMENT PLAN

PROJECT NO.	24316
DATE	07/25/25
DESIGNED BY	OTYOLAR
CHECKED BY	AS SHOWN
SCALE	AS SHOWN
DATE	

SWM1



STORM SEWER NOTES

1. STRUCTURAL STEEL BRIDGE SAFE GATES SHALL BE PROVIDED FOR ALL INLETS.
2. CONTRACTOR SHALL COORDINATE, PUMP, ISLAND, CANOPY, AND PROVIDE ALL NECESSARY FITTINGS TO MAKE THE CONNECTION TO THE MAIN COLLECTOR PIPE.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL STORM SEWER INLETS.
4. AN AS-BUILT DRAWING OF STORM SEWER FACILITIES SHALL BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT.
5. ALL STORM SEWER PIPE SHALL BE SMOOTH-WALL SMOOTH-ENDED CORRUGATED POLYETHYLENE PIPE (SLOPPY) UNLESS NOTED OTHERWISE. ALL INLET MANHOLES SHALL BE WATER-TIGHT.
6. ALL INLETS SHALL HAVE EITHER A PRE-CAST OR AFTER-MARKET METALLON STAYING TWO DUMPING, DRAINAGE, WATERWAY ATTACHED TO THE TOP UNIT OR GATE.
7. ALL INLETS, MANHOLES, AND MANHOLE CONNECTIONS SHALL BE CONCRETE COLLAR. REFER TO DETAIL ON SHEET 03.
8. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT AND SOIL CONDITIONS PRIOR TO CONSTRUCTION OF STORM SEWER FACILITIES.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



Stiffler, McGraw & Associates, Inc.
Owner
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #14 ALTOONA REBUILD
3315 HEALE AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

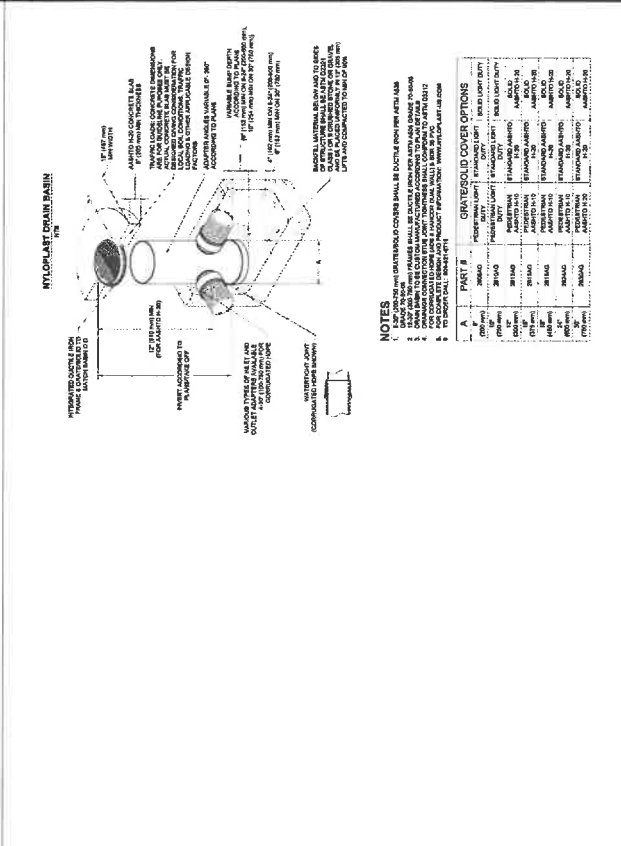
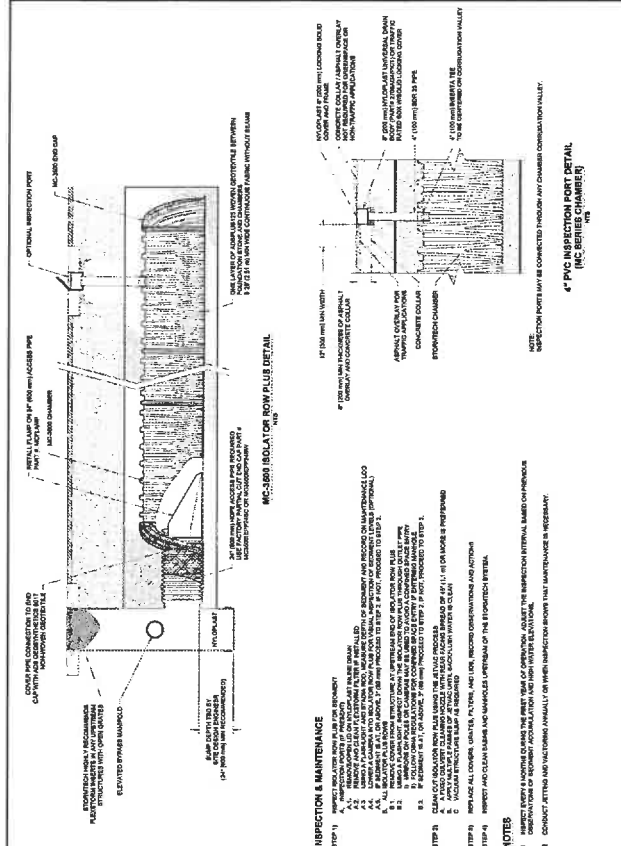
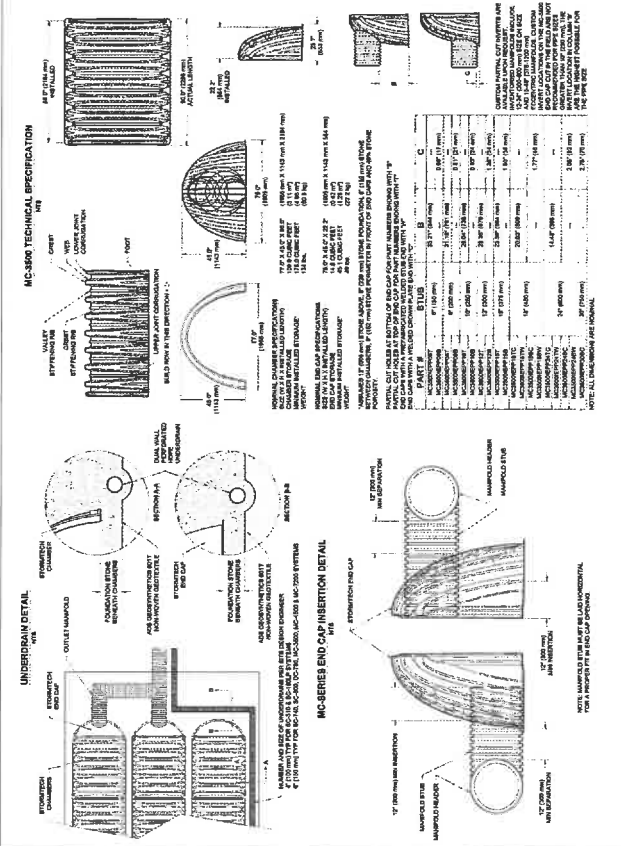
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Sheet Title:

STORMWATER MANAGEMENT DETAILS

PROJECT NO	24-2016
DRAWN BY	GTG
DESIGNED BY	GTG/ELB
CHECKED BY	GTG/ELB
SCALE	AS SHOWN

SWM5

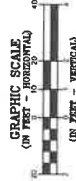
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Stiffler, McGraw & Associates, Inc.
Greg T. Cerniack
SHEETZ INC.
590 SOUTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #14 ALTOONA REBUILD
1118 BEALE AVENUE, ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

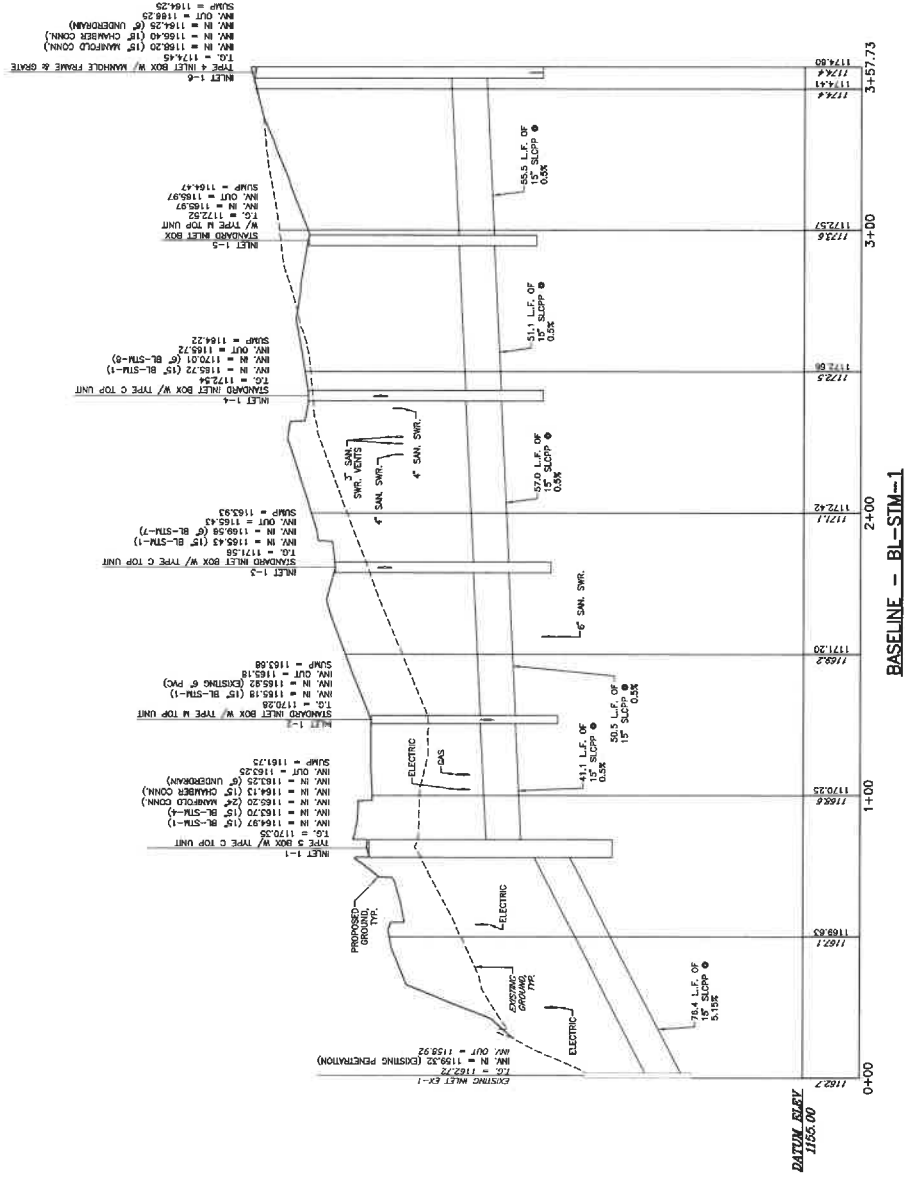


Revisions:	
No.	Description

PROFILES

PROJECT NO.	24-2016
DRAWN BY	OTD/BLD
DESIGNED BY	OTD/BLD
CHECKED BY	OTD/BLD
SCALE	AS SHOWN
DATE	

P1





Stiffler, McGraw & Associates, Inc.

OWBET:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name: **SHEETZ #14 ALTOONA REBUILD**
3315 BEALE AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

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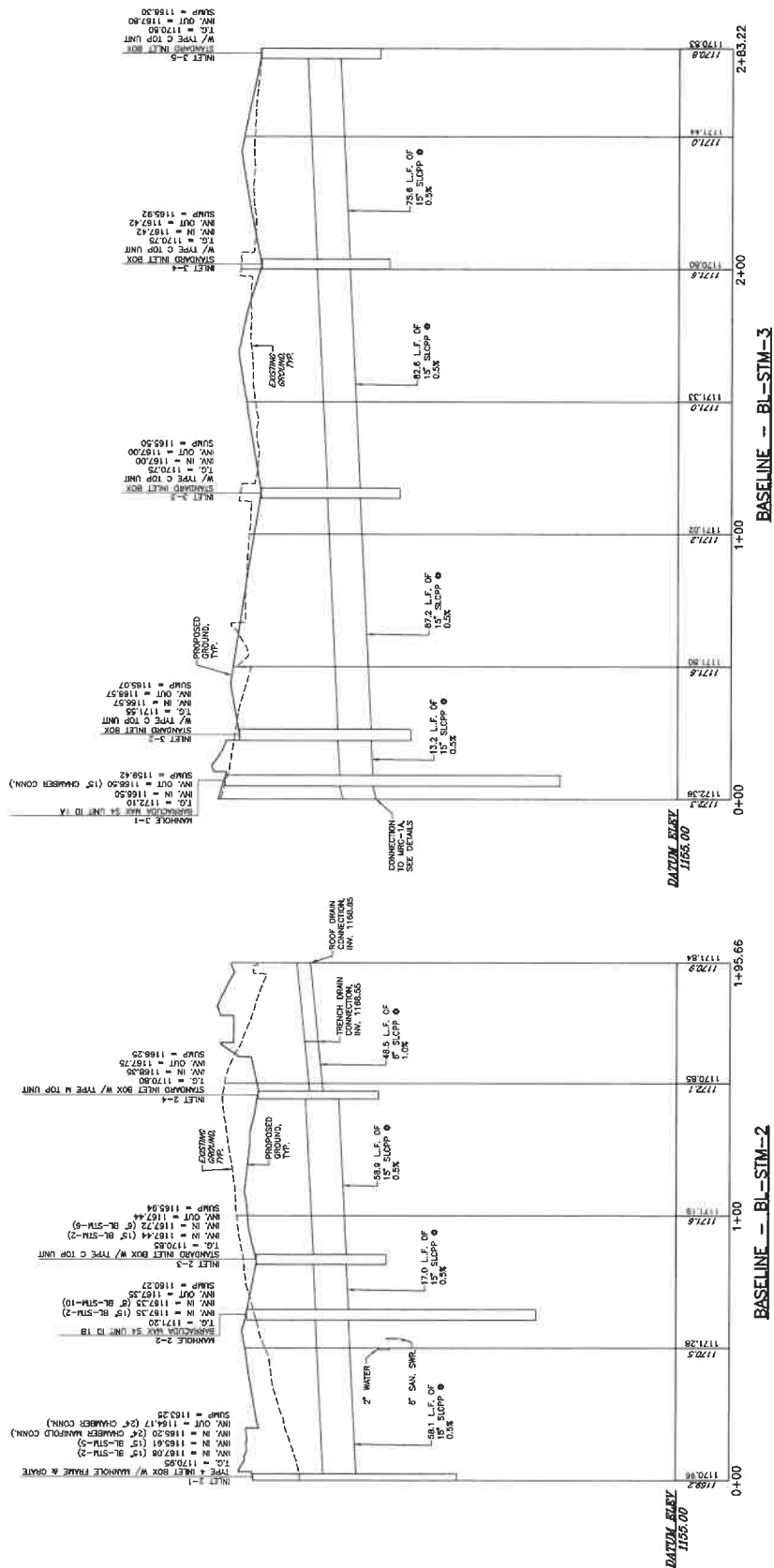
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PROFILES

PROJECT NO.	24-2016
DRAWN BY:	GTO/RLB
DESIGNED BY:	GTO/RLB
CHECKED BY:	GTO/RLB
SCALE	AS SHOWN

Drawing:

P2

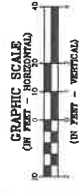




Stiffler, McGraw & Associates, Inc.
Greg T. Stiffler, P.E.
3700 E. 12th Avenue
Altoona, PA 16602

Project Name:
SHEETZ #14 ALTOONA REBUILD
3313 WALL AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025



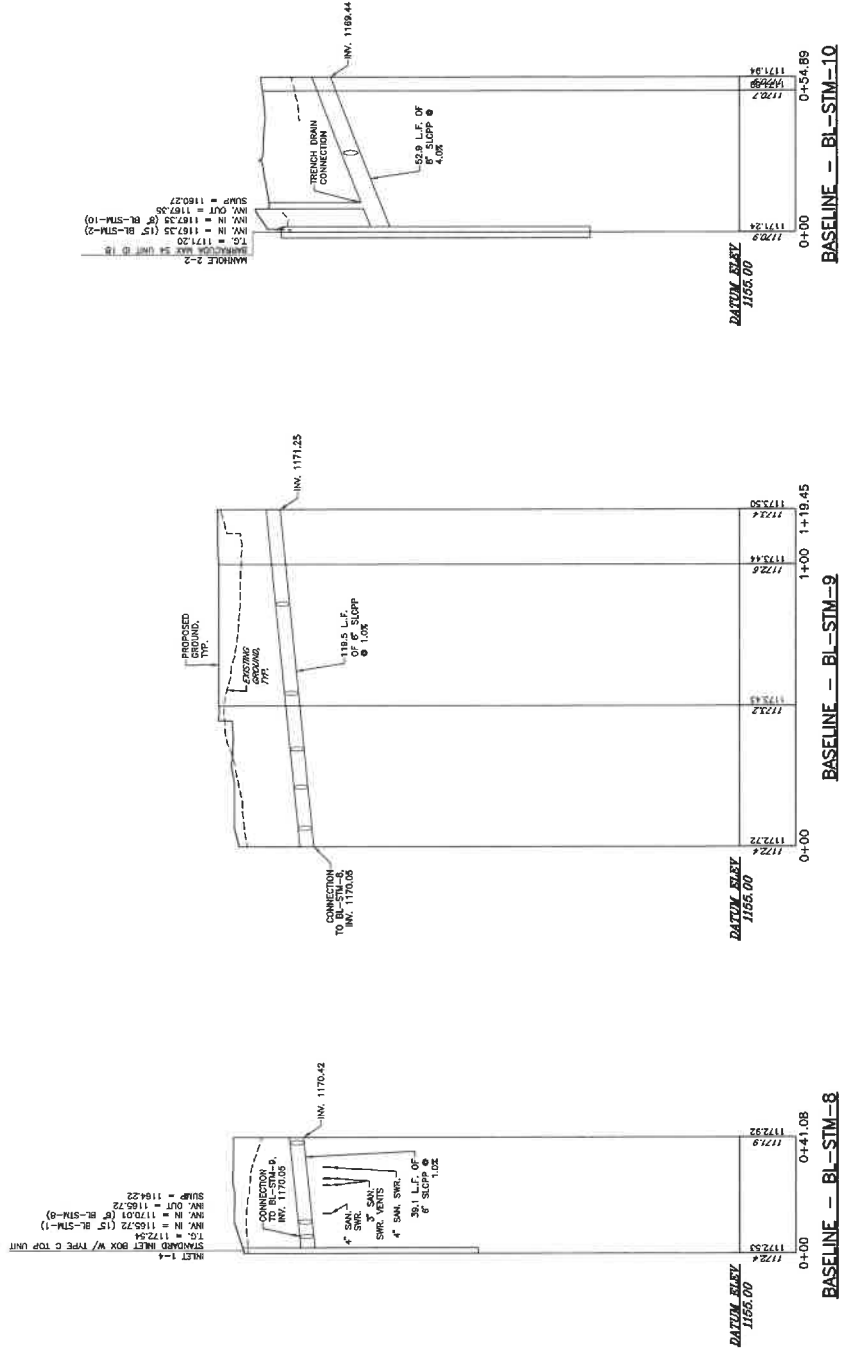
Revisions	No.	Date	Description

Sheet Title:

PROFILES

PROJECT NO.	24-0014
DRAWN BY	OTDRB
CHECKED BY	OTDRB
SCALE	AS SHOWN
Drawing	

P4





Stiffmer, McGraw & Associates, Inc.
Owner:
SHEETZ, INC.
750 SIXTH AVENUE
ALTOONA, PA 15602

Project Name: SHEETZ #14 ALTOONA REBUILD
315 BEALE AVENUE ALTOONA, PA 16601
LAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

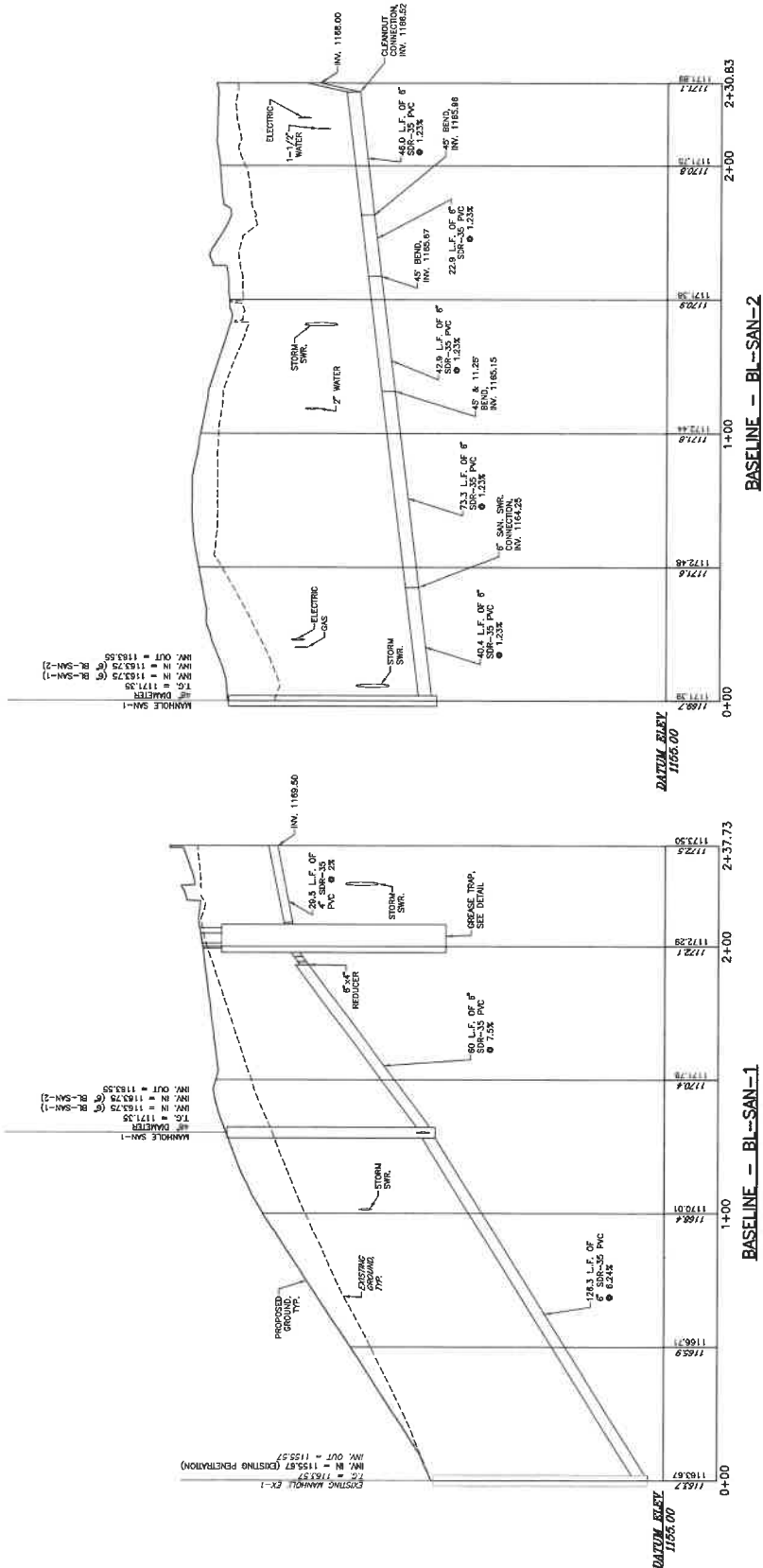
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PROFILES

PROJECT NO	24-2016
DRAWN BY:	OTG/ELB
DESIGNED BY:	OTG/ELB
CHECKED BY:	OTG/ELB
SCALE	AS SHOWN

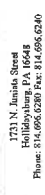
Drawing:

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BASELINE - BL--SAN-2

BASELINE - BL-SAN-1

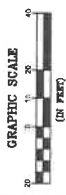


Phone: 814.696.6280 Fax: 814.696.6240



Project Name:
SHEETZ #14 ALTOONA REBUILD

JULY 25, 2025

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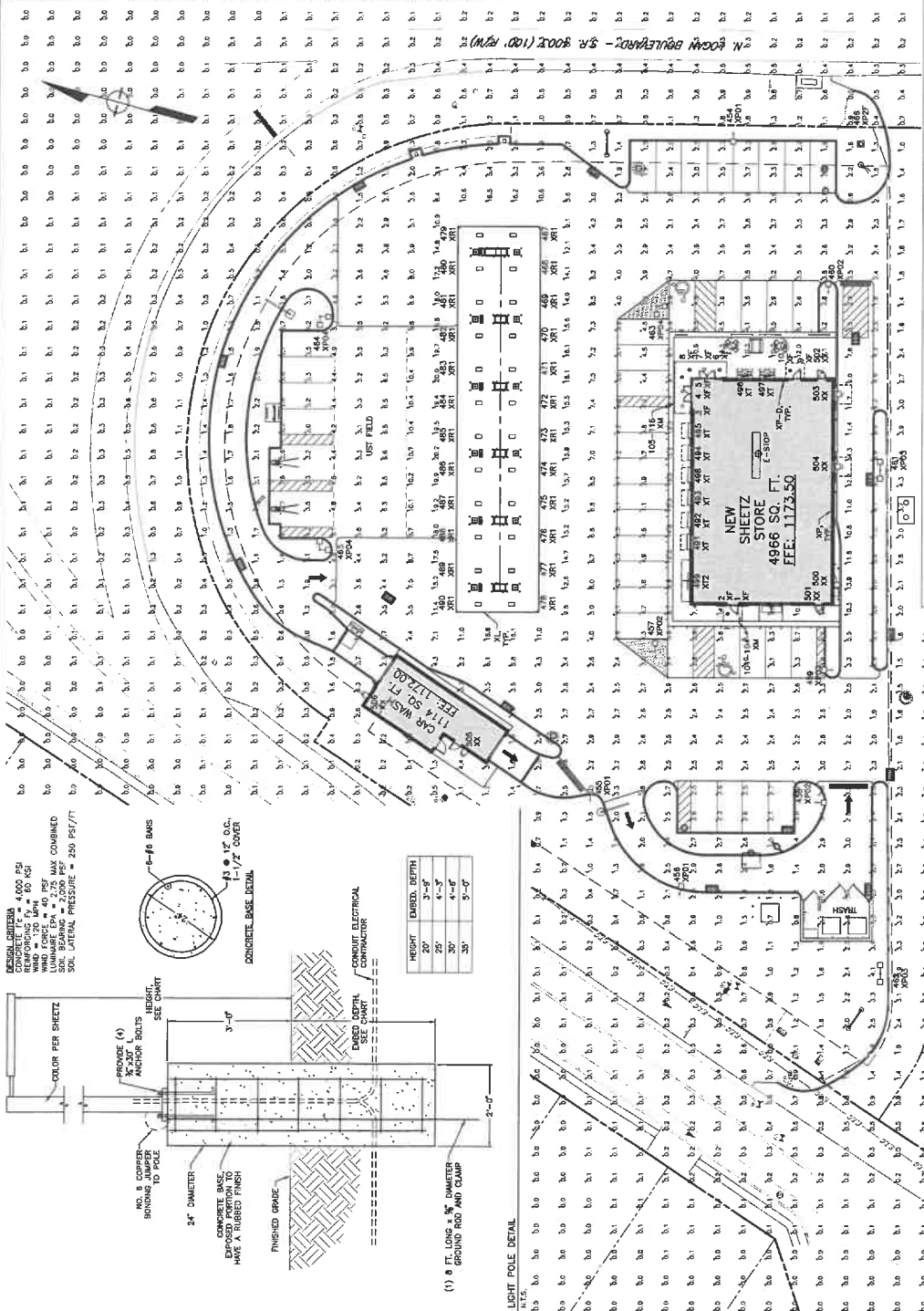
LIGHTING PLAN

PROJECT NO.	24-7016
DRAWN BY:	GTO/ELB
DESIGNED BY:	GTO/ELB
CHECKED BY:	GTO/ELB
SCALE:	AS SHOWN
<u>Drawing:</u>	

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[illegible]

NOTE:
ALL AREA LIGHTS ON NEW 20 FT. POLE MOUNTED
ON 3 FT. CONCRETE BASE



SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	ULF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION	
A	90	XF	SINGLE	1037	1,000	N/A	100	100	AMERLUX, LLC	DOXXA-10-409 1A-4-031N-0B-10M	
	90	XL	SINGLE	1338	1,000	N/A	4.12	376.8	BLAR COMPANIES	4 FT. ULNAR STRIP LIGHT (BY OTHERS, SHOWN FOR CONTRIBUTION)	
	16	XM	SINGLE	138	0.700	N/A	65.92	65.92	BLAR COMPANIES	1B-110-10-405-025-021P79A-15	
	238	XP	SINGLE	205	1,000	N/A	3.66	683.78	P-LED	STREET WARP FLEX BACK BEND 4000K	
	101	XP-D	SINGLE	205	1,000	N/A	0.3005	50.8005	P-LED	STREET WARP FLEX BACK BEND 4000K	
	3	Y001-D	SINGLE	9717	1,030	91-100-43	84	282	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X	
	4	Y002-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X	
	2	Y003-D	BACK-BACK	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X	
	3	Y004-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X	
	1	Y005-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X	
B	4	Y006-D	SINGLE	19148	1,030	85-100-22	107	2568	LITHONIA LIGHTING	SP007 LED AL22 500 9008 SNF MOLT SPN FAD D000X-MOUNTING POST	
	24	X01	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)	
	4	X02	SINGLE	19148	1,030	N/A	24	240	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)	
	1	X03	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (6 IN.)	
	7	X04	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
	C	1	Y007-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y008-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y009-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X05	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
		1	X06	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)
7		X07	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
D		1	Y010-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y011-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y012-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X08	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
	1	X09	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
	7	X10	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
	E	1	Y013-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y014-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y015-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X11	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
1		X12	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
7		X13	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
F		1	Y016-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y017-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y018-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X14	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
	1	X15	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
	7	X16	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
	G	1	Y019-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y020-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y021-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X17	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
1		X18	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
7		X19	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
H		1	Y022-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y023-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y024-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X20	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
	1	X21	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
	7	X22	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
	I	1	Y025-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y026-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y027-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X23	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
1		X24	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
7		X25	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
J		1	Y028-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y029-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y030-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X26	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
	1	X27	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
	7	X28	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
	K	1	Y031-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y032-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y033-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X29	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
1		X30	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
7		X31	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
L		1	Y034-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y035-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y036-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X32	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
	1	X33	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
	7	X34	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
	M	1	Y037-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y038-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y039-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X35	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
1		X36	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
7		X37	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
N		1	Y040-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y041-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y042-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X38	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
	1	X39	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
	7	X40	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
	O	1	Y043-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y044-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y045-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X41	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
1		X42	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
7		X43	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
P		1	Y046-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y047-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y048-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		4	X44	SINGLE	1848	1,000	N/A	20	180	SP LIGHTING INC.	SEM12146 5PT 120W AND 120-277V 4000K PSE SNA OAP (6 IN.)
	1	X45	SINGLE	2208	1,000	N/A	24	24	SP LIGHTING INC.	SPN 12146 6FT 12M AND 120-277V 4000K PSE SNA OAP (2 R)	
	7	X46	SINGLE	1921	1,000	N/A	112	112	WILLIAMS OUTDOOR	VNM-H-117/140-FT-D52-LED-120V-120-277V 4000K POLY (8 R)	
	Q	1	Y049-D	SINGLE	11295	1,030	85-100-43	93.04	372.16	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD HS D000X
		2	Y050-D	2 @ 90 DEGREES	11295	1,030	85-100-43	93.04	508.24	LITHONIA LIGHTING	US00 LED P4 40K TORX TWIN MOLT SPN FAD D000X
		3	Y051-D	90 DEGREES	11830	1,040	N/A	100	100	LITHONIA LIGHTING	D0072 LED P4 40

Figure 1 is a detailed cross-sectional diagram of a dam structure. The diagram shows a dam with a crest width of 10.0m, a downstream slope of 1:0.5, and a total height of 10.0m. The dam is divided into three main sections: a concrete core (width 1.0m), a concrete shell (width 1.0m), and a core shell (width 1.0m). The core shell is further divided into a core shell (width 1.0m) and a core shell (width 1.0m). The dam is shown with a foundation of 1.0m and a downstream slope of 1:0.5. The diagram is labeled with various dimensions and structural details.

†F134-2.01639 on 6/11/11, 2/23/2013 1:51 PM



JULY 25, 2025



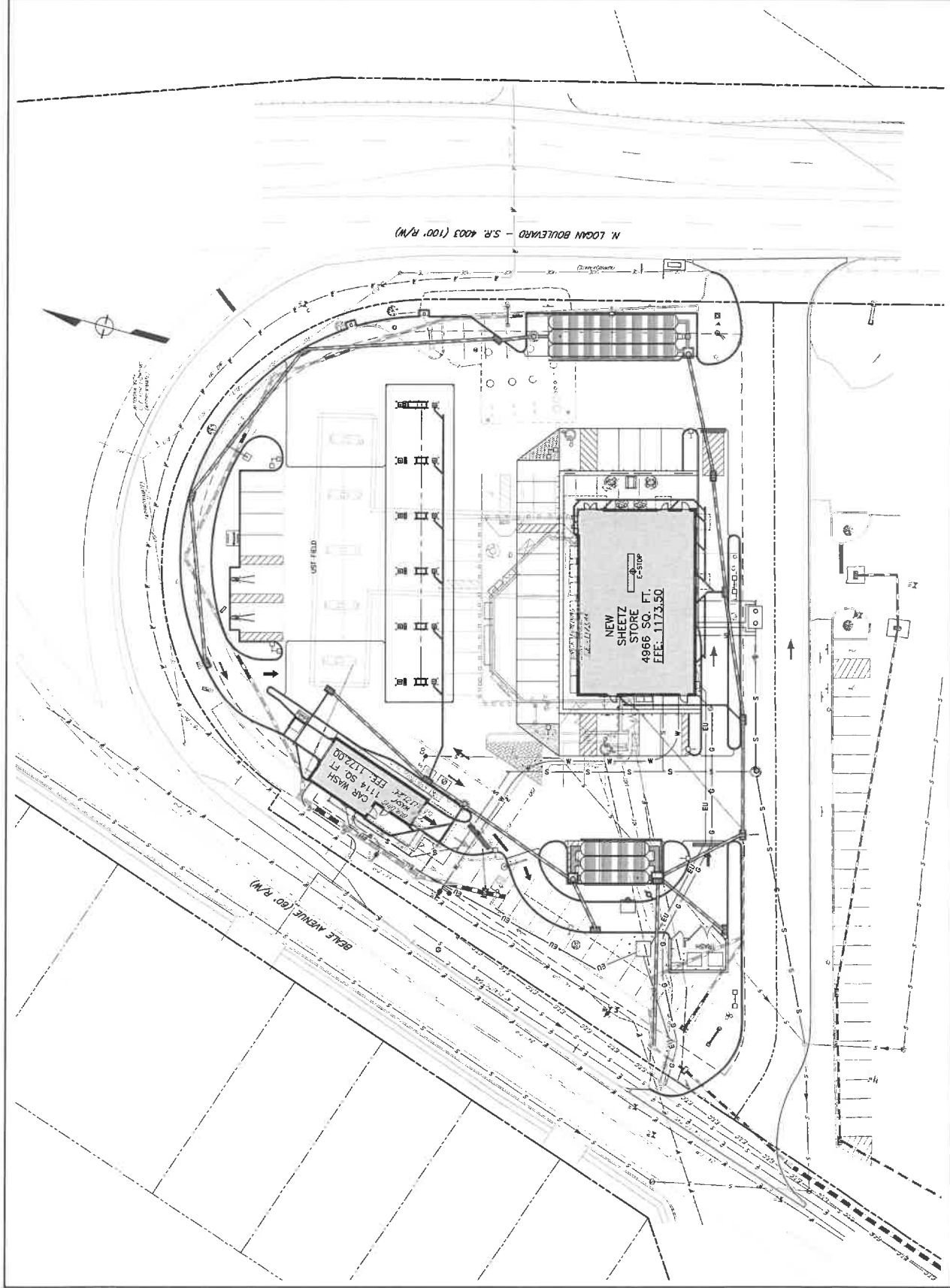
Revisions	No.	Date	Description

Sheet Title:

OVERLAY PLAN

PROJECT NO.	24-014
DRAWN BY	CITIPRA
CHECKED BY	CITIPRA
SCALE	AS SHOWN
Drawn by	

01





Stiffler, McGraw & Associates, Inc.
Owner:
SHEETZ, INC.
3305 SOUTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #14 ALTOONA REBUILD
3310 BEALE AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

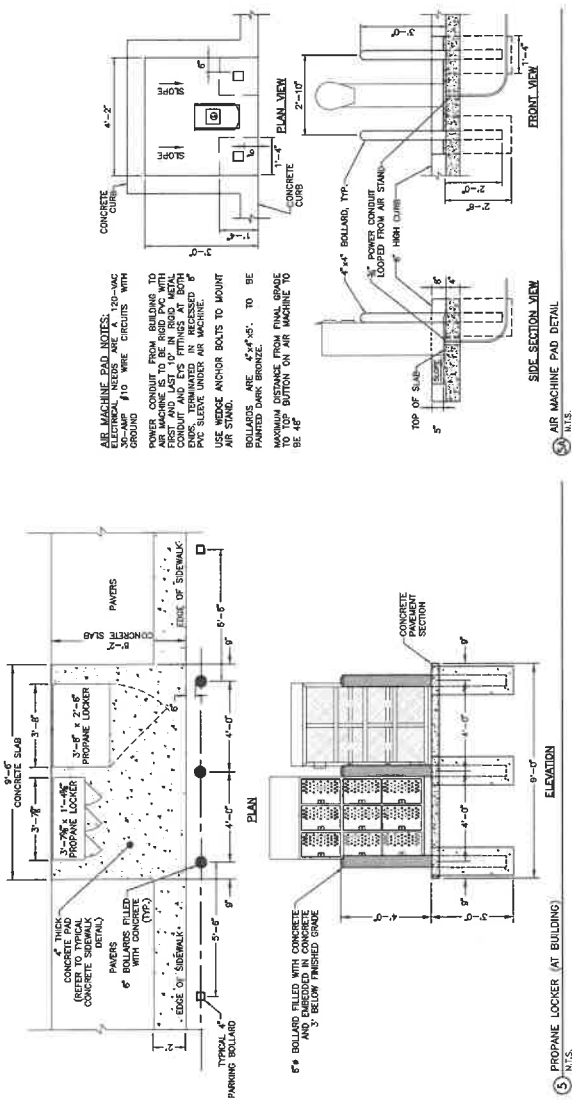
Revisions:	No.	Date	Description

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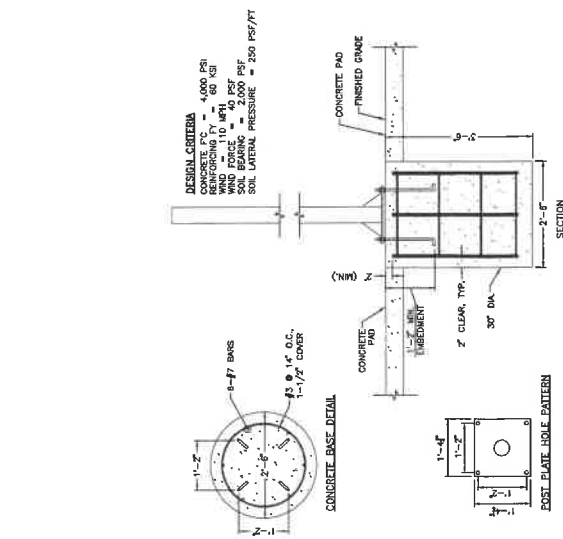
DETAILS

DESIGNED BY	STIFFLER
DRAWN BY	STIFFLER
CHECKED BY	STIFFLER
SCALE	AS SHOWN
DATE	

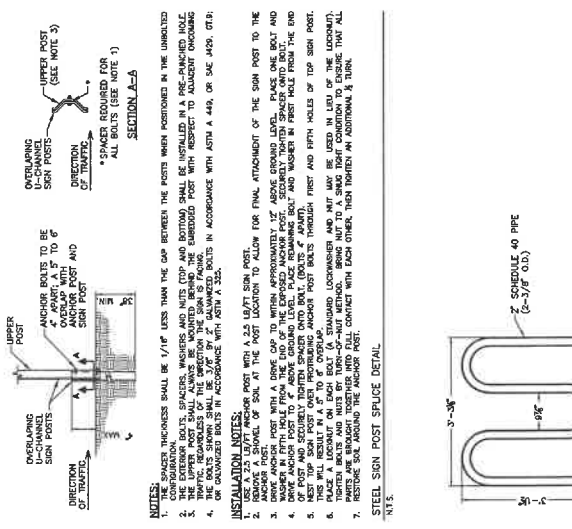
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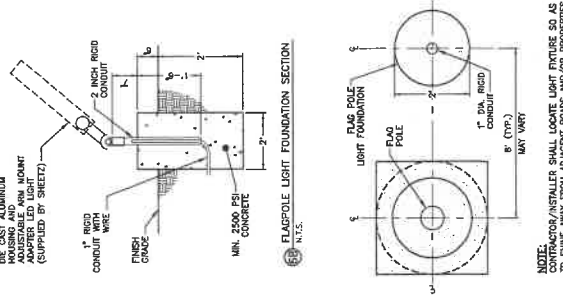
AIR MACHINE PAD DETAIL
N.T.S.



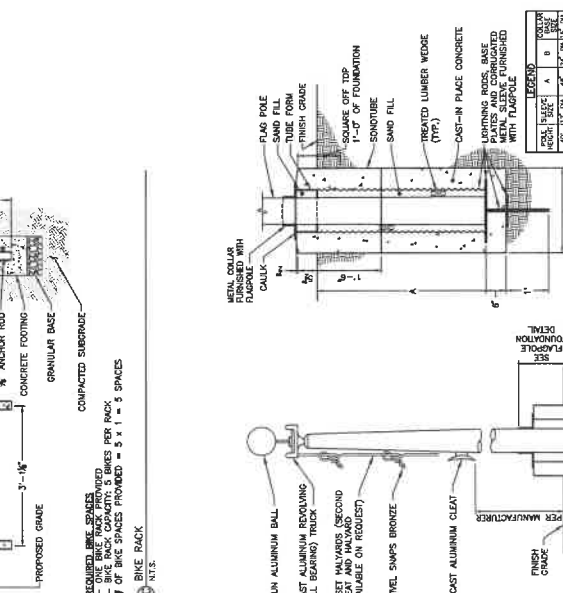
AIR MACHINE PAD DETAIL
N.T.S.



STEEL SIGN POST SPLICE DETAIL
N.T.S.



FLAGPOLE LIGHT FOUNDATION DETAIL
N.T.S.



FLAGPOLE FOUNDATION DETAIL
N.T.S.



Stiffmer, McGraw & Associates, Inc.
Director:
SHEETZ, INC.
200 SIXTH AVENUE
ALTOONA, PA 15602

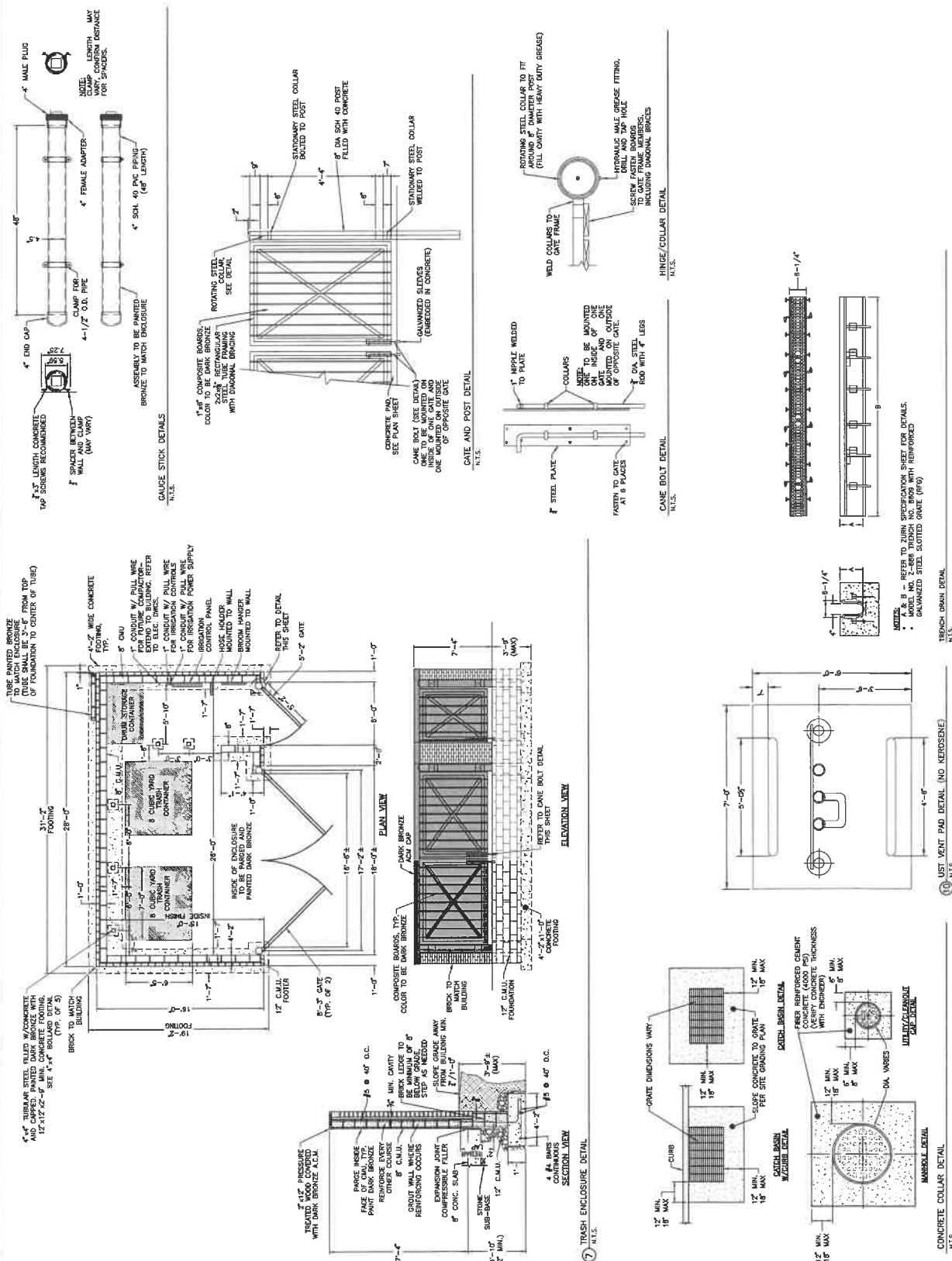
Project Name: SHEETZ #14 ALTOONA REBUILD
1315 BEALE AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

[illegible]

DETAILS

PROJECT NO.	24-2016
DRAWN BY:	GTQ
DESIGNED BY:	GTQ/ELB
CHECKED BY:	GTQ/ELB
SCALE	AS SHOWN
Drawing:	

D₃



Stiffler, McGraw & Associates, Inc.

OWNER:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #14 ALTOONA REBUILD
3115 BEALE AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

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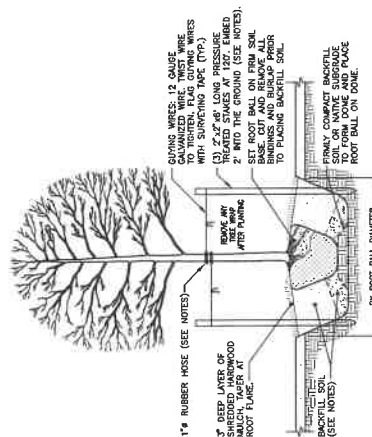
DETAILS

PROJECT NO.	24-2016
DRAWN BY:	QTG
DESIGNED BY:	QTG/RLD
CHECKED BY:	QTG/RLB
SCALE	AS SHOWN
Drawing:	

D5

MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) NOTES

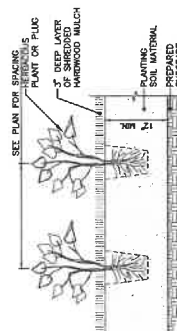
1. THIS WORK CONSIDERS OF THE MAINTENANCE AND PROTECTION OF THE HIGHWAY AND THE PROTECTION OF THE PUBLIC FROM APPROACHING AND DEPARTING THE CONSTRUCTION AREA AND WITHIN THE LIMITS OF CONSTRUCTION.
2. PERSONNEL, TRAFFIC, PLACED AND MAINTAINING TRAFFIC CONTROL SIGNS AND BARRICADES SHALL BE PLACED AND MAINTAINED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND TIMES CONSISTENT WITH THE METHODS INDICATED ON THESE DRAWINGS AND SPECIFICATIONS:
 - A. PERMIT PUBLICATION 35
 - B. PERMIT PUBLICATION 36
 - C. PERMIT PUBLICATION 37
 - D. PERMIT PUBLICATION 38
 - E. PERMIT PUBLICATION 39
 - F. PERMIT PUBLICATION 40
 - G. PERMIT PUBLICATION 41
 - H. PERMIT PUBLICATION 42
 - I. PERMIT PUBLICATION 43
 - J. PERMIT PUBLICATION 44
 - K. PERMIT PUBLICATION 45
 - L. PERMIT PUBLICATION 46
 - M. PERMIT PUBLICATION 47
 - N. PERMIT PUBLICATION 48
 - O. PERMIT PUBLICATION 49
 - P. PERMIT PUBLICATION 50
 - Q. PERMIT PUBLICATION 51
 - R. PERMIT PUBLICATION 52
 - S. PERMIT PUBLICATION 53
 - T. PERMIT PUBLICATION 54
 - U. PERMIT PUBLICATION 55
 - V. PERMIT PUBLICATION 56
 - W. PERMIT PUBLICATION 57
 - X. PERMIT PUBLICATION 58
 - Y. PERMIT PUBLICATION 59
 - Z. PERMIT PUBLICATION 60
3. REMOVE THESE DEVICES IMMEDIATELY UPON COMPLETION OF THE WORK. REMOVE ALL TRAFFIC CONTROL DEVICES DECEIVED BY THE CONTRACTOR.
4. COVER OR REMOVE ALL CONTAMINATED SOILS AND EMULGATE ALL CONTAMINATING PAVERS/MENT MATERIALS.
5. MOUNT ALL LONG-TERM ADVANCE WARNING SIGNS ON TYPE "H" BARRICADES UNLESS OTHERWISE NOTED OR INSTRUCTED BY DISTRICT OFFICIAL.
6. ALL SIGNS AND DEVICES TO BE MAINTAINED IN NEW OR LIKE ORIGINAL CONDITION.
7. DRAWINGS WILL BE KEPT ACCESSIBLE AT ALL TIMES. LOCATE ALL SIGNS SO SIGNPOSTS WILL NOT BE DESTROYED BY IMPROVEMENTS AND LOCAL ROADWORKS.
8. ALL CHANGING DEVICES, BARRICADES, AND SIGNS SHALL HAVE TYPE "H" OR BETTER PNEUMATICALLY OPERATED SHEETING. SHEETING SHALL BE APPROVED AND LISTED IN PERMIT PUBLICATION 35 (SHEET 15).
9. NO TRAFFIC CONTROL DEVICES SHALL BE PLACED OR MAINTAINED WITHIN 500 FEET OF ANY POWER LINES OR UNDERGROUND CABLES UNLESS THEY ARE PROTECTED BY FENCING OR ON LEGAL RIGHTS-OF-WAY AND WEEDERS ASSOCIATED WITH LEGAL RIGHTS-OF-WAY ARE TO BE MAINTAINED BY THE CONTRACTOR. ALL SIGNS SHALL BE PLACED ON THE WAY PRIOR TO THE LEGAL HOLDLINE.
10. PERMITTEE SHALL NOTIFY LOCAL EMERGENCY AUTHORITIES (E.G. POLICE, FIRE, MEDICAL), AFFECTED BUSINESSES, SCHOOL DISTRICTS, THE GENERAL PUBLIC, AND THE PUBLIC IN GENERAL OF THE WORK AND THE TRAFFIC CONTROL. AT LEAST FORTY-EIGHT HOURS PRIOR TO ANY SIGNIFICANT TRAFFIC IMPACTS (E.G. LANEWAY, WIDE RESTRICTIONS LESS THAN 16 FEET, ETCOMES).
11. MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT PRACTICES OF THE INDUSTRY. THE CURRENT PRACTICE PERMIT PUBLICATION 43, "TRAFFIC CONTROL DURING CONSTRUCTION".
12. GUARDRAILS CREATED BY CONSTRUCTION OPERATIONS SHALL BE TREATED CONSISTENT WITH PUBLICATION 40A, SECTION 801.3.0.1.
13. REMOVE ALL SHORT-TERM WORK ZONE, TRAFFIC CONTROL, SIGNS UPON COMPLETION OF EACH DAYS WORK PERIOD.
14. RECONSTRUCTION OF THE ROADWAY SHALL BE MAINTAINED TO THE ORIGINAL ROADWAY CROSS SECTION WITHIN THE WORK ZONE CONTROLS.
15. NOTIFY THE LOCAL JURISDICTION WHERE EVALUATED IMPROVEMENTS FALL WITHIN THE WORK ZONE. DO NOT FLAG A SIGNALIZED INTERSECTION WITHOUT THE JURISDICTION FLAGGING THE SIGNAL ON PAPER.
16. THE CONTRACTOR SHALL COMPLY WITH ACT 233 OF DECEMBER 2002 DURING



- NOTES:**
- * PLANT SO THAT TOP OF ROOT BALL IS EVEN OR 1" HIGHER THAN FINISHED GRADE.
 - * CLIP ALL PLACES WHERE ROOT BALLS TOUCH TO PREVENT ROOT BALLS FROM CLUMPING.
 - * ALL PLACE SOIL IN BOTTOM OF TREE PIT AND COMPACT TO PREVENT ROOT BALL FROM SHIFTING.
 - * DO NOT REMOVE REMANENT OF TREE PIT SOIL FROM SOIL AROUND ROOT BALL AND WATER THOROUGHLY. DO NOT COVER TOP OF ROOT BALL WITH SOIL.
 - * REMOVE ONLY BRANCHED OR DEAD BRANCHES. DO NOT PRUNE ANY HEALTHY BRANCHES AT TIME OF PLANTING.
 - * TREE STAKES SHOULD BE USED TO HOLD SOIL LAYER DOWN AND HOLD FOR 1-2 YEARS AFTER PLANTING.
 - * COORDINATE SKEWAL OF STAKES WITH SKIN OF TRUNK.

TREE PLANTING DETAIL

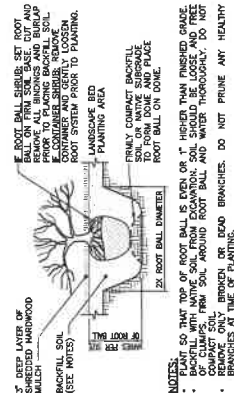
WTS



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D PLANTING DETAIL

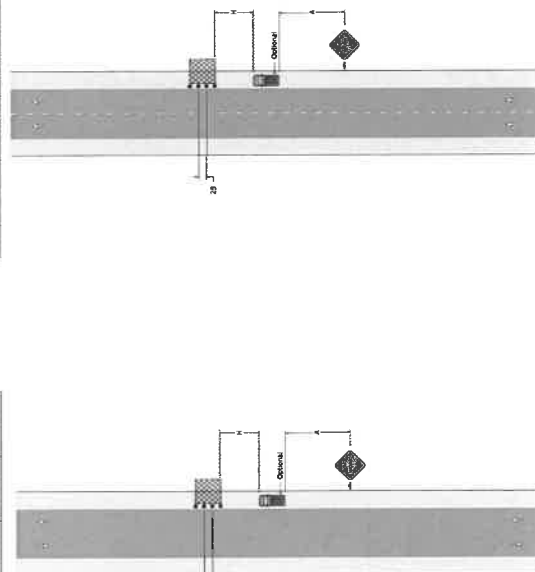
WT 3



- NOTES:**
- PLANT SO THAT TOP OF ROOT BALL IS EVEN OR 1" HIGHER THAN FINISHED GRADE.
 - BACKFILL WITH NATIVE SOIL FROM EXCAVATION. SOIL SHOULD BE LOOSE AND FREE OF CLUMPS. FIRM SOIL AROUND ROOT BALL AND WATER THOROUGHLY. DO NOT COMPACT SOIL.
 - REMOVE ANY BROKEN OR DEAD BRANCHES. DO NOT PRUNE ANY HEALTHY BRANCHES AT TIME OF PLANTING.

SHRUB PLANTING DETAIL

315
OXIDE



Speed	S	25 (m/s)	Chemicalizing Device Spacing		Slip Spacing		Roll Ahead Space H (Feet)
			Chemicalizing Device Spacing		Slip Spacing		
			Urban	A (Feet)	Urban	A (Feet)	
25	50	50	107	210	500	100	150
35	60	60	107	210	500	100	150
40	70	70	107	210	500	100	150
45	80	80	107	210	500	100	150
50	90	90	107	210	500	100	150
55	100	100	107	210	500	100	150
60	110	110	107	210	500	100	150
65	120	120	107	210	500	100	150
70	130	130	107	210	500	100	150
75	140	140	107	210	500	100	150
80	150	150	107	210	500	100	150
85	160	160	107	210	500	100	150
90	170	170	107	210	500	100	150
95	180	180	107	210	500	100	150
100	190	190	107	210	500	100	150

Sign Spacing, Channelizing Device Spacing, and Rail Ahead Space	Sign Spacing			Rail Ahead Space	
	Speed	Channelizing Device Spacing	Urban	Rural	H (feet)
	5	25	A	A	
	5	25	150-250	500-600	150
	25	50	150-250	500-600	150
	35	75	100-200	500-600	150
	40	80	300-500	500-600	150
	45	90	350-500	500-600	150
	50	100	350-500	500-600	150
	55	110	350-500	500-600	150
	60	120	350-500	500-600	150

PATA 101-B

- The shadow vehicle and TTC devices are not required if the work space is outside the highway right-of-way, belted away, more than 2' belted curb, or 15' or more from the edge of the roadway.



DATA 101-A

1. The shadow vehicle and TTC devices are not required if the work speed is outside the highway right-of-way, behind a barrier, more than 2 behind cars, or 15' or more from the edge of the roadway.



BOULDER OUTCROP

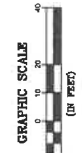
31



Stiffler, McGraw & Associates, Inc.
Contract:
SHEETZ, INC.
2700 EIGHTH AVENUE
ALTOONA, PA 16601

Project Name:
SHEETZ #14 ALTOONA REBUILD
3155 BUCKLE UP DRIVE, ALTOONA, PA 16601
DAVID T. DESCHAMPS, P.E.

JULY 25, 2025

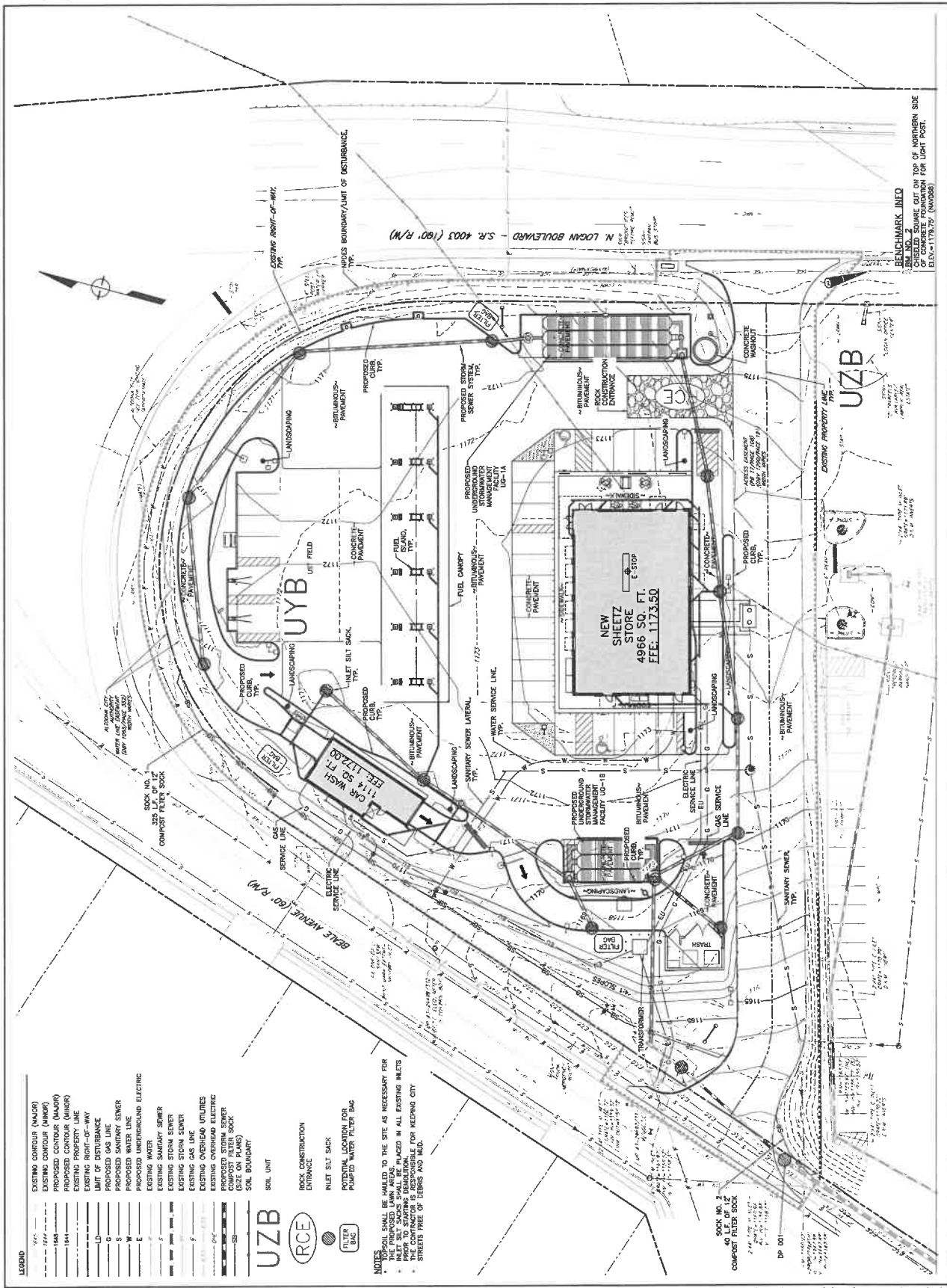


Revision:	No.	Date	Description

**EROSION &
SEDIMENTATION
CONTROL PLAN**

PROJECT NO.	24-036
DRAWN BY	CTD
DESIGNED BY	CTD
CHECKED BY	CTD
SCALE	AS SHOWN
DATE	

ESI



- LEGEND**
- EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - PROPOSED CONTOUR (MAJOR)
 - PROPOSED CONTOUR (MINOR)
 - EXISTING PROPERTY LINE
 - LIMIT OF DISTURBANCE
 - PROPOSED GAS LINE
 - PROPOSED WATER LINE
 - PROPOSED UNDERGROUND ELECTRIC
 - EXISTING WATER
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING GAS LINE
 - EXISTING OVERHEAD UTILITIES
 - EXISTING UNDERGROUND ELECTRIC
 - PROPOSED STORM SEWER
 - COMPOST FILTER SOCK
 - SOIL UNIT
 - SOIL BOUNDARY
 - ROCK CONSTRUCTION ENTRANCE
 - POTENTIAL LOCATION FOR PUMPED WATER FILTER BAG
 - INLET SILT SOCK
 - SOIL UNIT
 - SOIL BOUNDARY

UZB
RCE
INLET SILT SOCK
POTENTIAL LOCATION FOR PUMPED WATER FILTER BAG

NOTES

- ALL SOIL SHALL BE Hauled TO THE SITE AS NECESSARY FOR EROSION CONTROL.
- INLET SILT SOCKS SHALL BE PLACED IN ALL EXISTING INLETS.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING CITY STREETS FREE OF DEBRIS AND MUD.

BENCHMARK INFO
BENCHMARK SOURCE OUT ON TOP OF NORTHERN SIDE OF CONCRETE FOUNDATION FOR LIGHT POST.
ELEVATION: 1173.75 (VARIABLE)



Stiffler, McGraw & Associates, Inc.
Owner:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name: SHEETZ #14 ALTOONA REBUILD
3315 BEALE AVENUE ALTOONA, PA 16601
BLAIR COUNTY, PENNSYLVANIA

JULY 25, 2025

[illegible]

EROSION &
SEDIMENTATION
CONTROL NOTE

PROJECT NO.	24-2016
DRAWN BY:	CTQ
DESIGNED BY:	CTQ/ELB
CHECKED BY:	CTQ/ELB
SCALE:	AS SHOWN

Drawing:

F22

STAGING OF EARTHMOVING ACTIVITIES

1. THE FOLLOWING CONSTRUCTION SEQUENCE WILL BE REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED SITE DEVELOPMENT:
 - a. AT LEAST 30 DAYS BEFORE STARTING ANY OTHER DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR OF THE MUNICIPAL OFFICIALS, THE GAS CONTROL, PLAN PREPARER, AND A REPRESENTATIVE OF THE BLMR COUNTY WILL MEET TO DISCUSS THE PROJECT AND THE NECESSARY PERMITS AND REGULATIONS.
 - b. FOR AT LEAST 30 DAYS BEFORE STARTING ANY EARTH MOVEMENT ACTIVITIES, ALL CONTRACTORS INVOLVED IN THE PROJECT WILL MEET TO DISCUSS THE PROJECT AND THE NECESSARY PERMITS AND REGULATIONS.
 - c. FOR A MINIMUM OF THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
 - d. A NEUTRAL BUILT SITE SHALL BE OBTAINED IN ACCORDANCE WITH THE PLANS FOR THE PROJECT.
 - e. DETERMINE THE EXISTING STORM CANAL, AND GAS MAINS.
 - f. DETERMINE THE EXISTING STORM CANAL, AND GAS MAINS.
 - g. BUSINESS SHALL BE MAINTAINED.
 - h. THE EXISTING ROAD SHALL LEAVE ACCESS ROAD TO ADJACENT PLAZA IN PLACE. ACCESS TO ADJACENT PLAZA SHALL BE MAINTAINED.
 - i. EXISTING RECREATION ACTIVITIES SHALL BE MAINTAINED.
 - j. EXISTING WALKWAYS SHALL BE MAINTAINED.

[illegible][illegible]

TEMPORARY CONTROL MEASURES AND FACILITIES

THE TEMPORARY CONTROL MEASURES AND FACILITIES CONSIST OF:

- ROCK CONSTRUCTION ENTRANCE.
- A ROCK CONSTRUCTION ENTRANCE WILL BE INSTALLED AT THE INGRESS / EGRESS LOCATION TO LIMIT TRACKING OF DIRT ONTO THE ROADWAY.
- COMPACT FILTER SOCKS.
- COMPACT FILTER SOCKS WILL BE PLACED DOWNLOPE OF ALL EARTH DISTURBANCE ACTIVITIES TO REDUCE THE QUANTITY OF SEDIMENT FLOW.

PUMPED WATER FILTER BAGS WILL BE USED TO RECEIVE ACCUMULATED RUNOFF FROM ELEVATIONS AND TROCHING OPERATIONS TO REDUCE THE QUANTITY OF SEDIMENT FLOW.

CONCRETE WASHOUT:

A CONCRETE WASHOUT WILL BE USED TO PREVENT CONCRETE CONTAMINATED WATER FROM ENTERING ANY SURFACE WATERS, STORM DRAIN, OR OPEN DITCHES.

INLET SILT SACKS:

INLET SILT SACKS WILL BE PLACED WITHIN PROPOSED AND EXISTING INLETS TO REDUCE THE QUANTITY OF

INTERIM STABILIZATION:
 INTERIM VEGETATED
 SOIL TESTING SHALL BE DESIGNED TO DETERMINE DISTURBED SOIL AMENDMENTS.

PERMANENT CONTROL MEASURES AND FACILITIES

THE PERMANENT CONTROL MEASURES AND FACILITIES CONSIST OF:

LAWN, LANDSCAPING, BITUMINOUS PAVEMENT, AND CONCRETE PAVEMENT: THE ENTIRE SITE WILL BE STABILIZED BY THE BROOKS FINAL "COVER" - CONSISTING OF GRASS, LANDSCAPING, VOLUME OF RUNOFF INCREASE FROM THE PROPOSED DEVELOPMENT PROJECT.

TESTING SHALL BE PERFORMED TO
PLANTING, BITUMINOUS PAVEMENT, AND GRAVEL PAVEMENT.
DETERMINE PROPER SOIL ADJUSTMENTS.

MAINTENANCE OF CONTROL FACILITIES

THE ROCK CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PRIVATE ROADS AND / OR PUBLIC RIGHTS-OF-WAY. THIS REQUIREMENT WILL BE ENFORCED BY THE TOWN OF BARNSTABLE. THE TOWN OF BARNSTABLE WILL REQUIRE ANY MEASURE USED TO TRAP SEDIMENT.

ALL SEDIMENT SHALL BE REMOVED FROM A TEMPORARY SEDIMENTATION OR EROSION CONTROL DEVICE PRIOR TO THE REMOVAL OF THAT DEVICE. TEMPORARY CONTROL DEVICES WILL BE REMOVED BY STARTING UPSTREAM OR UP-SLOPE TO ENSURE SEDIMENTATION CONTROL DURING THE REMOVAL PROCESS.

GENERAL EROSION CONTROL NOTES

1. ALL EARTH DISTURBANCES, INCLUDING CLEANSING AND GRUBBING AS WELL AS CUTO AND TILLS, SHALL BE SCHEDULED AND DATED BY THE RECEIVING AGENCY. THIS SHALL BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE RECEIVING AGENCY SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EARTH DISTURBANCE RECORDS. IN THE EVENT OF DISCREPANCIES, THE RECORDING AGENCY SHALL REQUIRE A WRITTEN SUBPOENA OF INFORMATION FROM THE RECORDING AGENCY TO OBTAIN THE RECORDS. THE RECORDING AGENCY SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EARTH DISTURBANCE RECORDS. IN THE EVENT OF DISCREPANCIES, THE RECORDING AGENCY SHALL REQUIRE A WRITTEN SUBPOENA OF INFORMATION FROM THE RECORDING AGENCY TO OBTAIN THE RECORDS.
2. AT LEAST SOME DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEANSING AND GRUBBING, THE RECORDING AGENCY SHALL BE NOTIFIED BY THE RECORDING AGENCY. THE RECORDING AGENCY SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EARTH DISTURBANCE RECORDS. IN THE EVENT OF DISCREPANCIES, THE RECORDING AGENCY SHALL REQUIRE A WRITTEN SUBPOENA OF INFORMATION FROM THE RECORDING AGENCY TO OBTAIN THE RECORDS.

4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON ALL EROSION CONTROL PLANS.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN WRITING FROM THE DISTRICT ENGINEER'S OFFICE OR THE DISTRICT PUBLIC WORKS ENGINEER'S OFFICE.
6. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
7. ALL EROSION CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT.
8. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
11. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
12. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
13. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
14. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.

19. ALL MATERIALS OF SOFT, LACRY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO THE PLAN.
20. ALL OTHER RELATED PRELIMBLES, SHALL BE REFERRED TO SUBPARAGRAPHS, STRUCTURES AND COMMENTS.
21. ALL CANTHUS PRELIMBLES SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8-INCHES IN THICKNESS.
22. ALL MATERIALS OF SOFT, LACRY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO THE PLAN.
23. PROPOSED MATERIALS OF SOFT, LACRY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO THE PLAN.
24. ALL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
25. ALL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
26. SHALING AND STRATIFICATION FOR SUBPARAGRAPH DRAIN OR OTHER APPROVED METHODS.
27. SLOPES IN COMPLETION EROSIONS AND KICK FALLS NEED NOT BE RECORDED. RECORDS ARE WITHIN 50 FT OF THE PLAN.
28. SLOPES IN COMPLETION EROSIONS AND KICK FALLS NEED NOT BE RECORDED. RECORDS ARE WITHIN 50 FT OF THE PLAN.

[illegible]

29. LOCK DOWN OPERATOR, CONTACT THE LOCK CONSERVATION DISTRICT FOR INSPECTION PRIOR TO REMOVAL.
30. AFTER PUMP START, STABILIZATION HAS BEEN ACHIEVED, TEMPERATURES ARE STABLE, AND THERE IS NO EVIDENCE OF FLOODING, THE OPERATOR MAY CONTINUE WITH REMOVAL OF THE BUMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REMOVAL OF DISTURBED AREAS, CONTACT THE LOCK CONSERVATION DISTRICT FOR INSPECTION PRIOR TO REMOVAL.
31. UPON COMPLETION OF ALL EXISTING OBSTRUCTION ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OPERATOR SHALL CONTACT THE LOCK CONSERVATION DISTRICT FOR INSPECTION PRIOR TO REMOVAL.
32. FAILURE TO CORRECTLY INSTAL BUMPS, FAILURE TO PREVENT SEDIMENT-LOCH RUNOFF FROM LEAVING AREAS, OR FAILURE TO CORRECTLY REMOVE BUMPS, WILL BE CONSIDERED A VIOLATION OF THE EAS BUMPING PROGRAM.

[illegible]

Sheetz Store #14 Altoona Rebuild

City of Altoona, Blair County, PA

July 25, 2025

Waiver Request

- *640-63.A(2) - No access driveway shall be located within 50 feet of an intersection or as otherwise directed by the Planning Commission. Access driveways serving parking facilities of more than 25 spaces shall not be located closer than 100 feet to an intersection. Access driveways shall access side streets instead of main arterials (including, but not limited to, Logan Boulevard, North Logan Boulevard, Chestnut Avenue, Juniata Gap Road, the 300 to 600 blocks of East 25th Avenue, Union Avenue, 58th Street, 6th Avenue, 7th Avenue, Broad Avenue, Beale Avenue, Plank Road, Pleasant Valley Boulevard, Valley View Boulevard, and North 4th Avenue) where practicable, and where it is not practicable, the Planning Commission or Planning and Community Development Department may waive this requirement.*
 - The applicant is requesting a waiver from this section of the ordinance. The property being developed is located at the intersection of N. Logan Boulevard and Beale Avenue. There are no side streets adjacent to the property to access the site. The Sheetz site currently uses an access that was permitted as a “local road” by PennDOT. A snapshot of PennDOT’s GIS OneMap showing the driveway permits is attached. Additionally, no changes to the existing ingress and egress locations are proposed. All access will be maintained subsequent to construction.
- *640-63.I(3) - A face-to-face setup shall be used for all drive-thru facilities to eliminate speaker noise. Alternatives may be considered by the Planning Commission where it can be shown that transactions will not be heard at the lot line at any time of day or night.*
 - The proposed drive-thru will have a touch screen ordering point, but a speaker is provided to assist any customers that needs help while ordering. As such, the applicant is requesting a waiver from providing a face-to-face setup since a majority of the orders will be placed via the touch-screen.
- *640-64.A.(1) – Sidewalks shall be provided along the entire length of the property. On a corner lot, the sidewalk shall be extended along the second street as well.*
 - The applicant is requesting a waiver from providing sidewalk along the entire length of the property. North Logan Boulevard does not have any pedestrian facilities between the proposed Sheetz site and the existing bridge. It is our understanding that there are no planned improvements by the City or PennDOT due to the site challenges. Therefore, any sidewalk provided along North Logan Boulevard would not lead to an accessible route and could potentially direct pedestrians to use the shoulder of a highly traveled North Logan Boulevard. As for Beale Avenue, there is an existing sidewalk along the western side. Therefore, pedestrians can utilize the existing sidewalk to traverse Beale Avenue. Additionally, there is an interchange located north of the site. Any sidewalk provided along Beale Avenue would have to direct pedestrians across the interchange or along North Logan Boulevard. Finally, there is no sidewalk located along the southwest side of the Beale Avenue driveway. Any sidewalks

provided along the property would not lead to an accessible route or continue an accessible route.

- *640-65.E.(3).(b) - Islands shall be curbed with vertical or sloped curbing. Asphalt curbing is not acceptable.*
 - The applicant is asking for a waiver from providing landscaped islands adjacent to the parking in front of the store. Brick pavers will be utilized for the at-grade islands similar to those used in recently constructed Sheetz stores in the City.
- *640-65.E.(3).(c) - Within each island, there shall be one tree for each 18 feet of length. Where the length does not equal an exact multiple of 18, the nearest multiple (by standard rounding) shall be used.*
 - The applicant is asking for a waiver from trees in the two islands adjacent to the drive-through. There are multiple utilities that will be installed below and adjacent to these islands. To avoid potential damage to the utilities from the tree roots, the applicant is providing a landscaping plan which has multiple shrub species throughout these islands.
- *640-65.D – Foundational Landscaping.*
 - The applicant is requesting a waiver from providing foundation landscaping in accordance with this section. In lieu of the foundational landscaping, the applicant proposes to provide sidewalk and architectural features in accordance with section 640-65.D.(3). The proposed building will have a brick façade and decorative windows. Lighting will be incorporated in the design to enhance the look of the building. Brick pavers will be used in lieu of concrete and outdoor seating will be provided to enhance the area immediately adjacent to the building.
- *640-65.F.(1) - No property shall have exterior speakers, unless approved on a temporary basis under the temporary use provisions below.*
 - As previously stated, the proposed drive-thru will have a touch screen ordering point, but a speaker is provided to assist any customers that needs help while ordering. As such, the applicant is requesting a waiver from providing a face-to-face setup since a majority of the orders will be placed via the touch-screen.

RESOLUTION 8-5-25-PAC25-05
A RESOLUTION APPROVING
THE SHEETZ #14 ALTOONA REBUILD LAND DEVELOPMENT PLAN

WHEREAS an application for a land development project has been filed with the Altoona City Planning Commission (hereinafter "ACPC") by Sheetz, Inc. (hereinafter referred to as the "DEVELOPER"); and

WHEREAS, the DEVELOPER desires to construct a new convenience store at 3315 Beale Avenue, Altoona, Pennsylvania; and

WHEREAS, staff has reviewed the LAND DEVELOPMENT PLAN, incorporated herein by this reference and filed with the ACPC by the Developer, and has found it to be in compliance, as a FINAL LAND DEVELOPMENT with all applicable provisions of the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has determined that this LAND DEVELOPMENT PLAN constitutes a FINAL LAND DEVELOPMENT PLAN in full compliance with the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has the power to APPROVE modifications to the City of Altoona's subdivision and land development requirements, and the Developer has requested the following waivers that are hereby approved by the ACPC:

1. §640-63A(2): No access driveway shall be located within 50 feet of an intersection or as otherwise directed by the Planning Commission. **The applicant is requesting a waiver to this section.**
2. §640-63I(3): A face-to-face setup shall be used for all drive-thru facilities to eliminate speaker noise. Alternatives may be considered by the Planning Commission where it can be shown that transactions will not be heard at the lot line at any time of day or night. **The applicant is requesting a waiver and is proposing a touch screen drive-thru that provides a speaker to assist customers.**
3. §640-64A(1): Sidewalks shall be provided along the entire length of the property. On a corner lot, the sidewalk shall be extended along the second street as well. **The applicant is requesting a waiver to this section.**
4. §640-65E(3)(b): Islands shall be vertical or sloped curb. Asphalt curbing is not acceptable. **The applicant is requesting a waiver to utilize at grade brick pavers instead of curbed and landscaped islands.**
5. §640-65E(3)(c): Within each island, there shall be one tree for each 18 feet of length. Where the length does not equal an exact multiple of 18, the nearest multiple (by standard rounding) shall be used. **The applicant is requesting a waiver from trees in the two islands adjacent to the drive-through.**
6. §640-65D: Foundational Landscaping. **The applicant is requesting a waiver to this section.**
7. §640-65F(1): No property shall have exterior speakers, unless approved on a temporary basis under the temporary use provisions below. **The applicant is requesting a waiver to this section.**

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Altoona, Blair County, Pennsylvania, that the application and plans, as filed by the DEVELOPER, are hereby approved subject to the following conditions:

1. The conditions of the plan must be accepted in writing by developer within 30 days of plan approval.
2. All required signatures must be obtained on the plan.

3. If required, financial security to cover the cost of all public improvements must be provided to the City.
4. A developer's agreement prepared by the ACPC must be executed by the Developer.
5. A copy of the RECORDED plan must be provided to the ACPC as soon as it is recorded.
6. All conditions must be met, fees paid, and the plan signed and recorded within the plan deadline.

RESOLVED by the Altoona City Planning Commission on August 5, 2025:

David B. Albright, Chairman

DRAFT

1301 12th Street, Suite 103
Altoona, PA 16601
Phone (814) 949-2456
Fax (814) 949-2203



Rebecca M. Brown
Director

BLIGHTED PROPERTY ASSESSMENT FORM

ADDRESS OF PROPERTY: 2617 6th Ave

OWNER NAME: LaQuitta Smith & Sherrod Sewell

OWNER ADDRESS: 915 Manor House Dr CITY STATE ZIP: Upper Marlboro MD 20774

OWNER PHONE: 202-378-8686 OWNER EMAIL: PA716255@gmail.com

REASON FOR SUBMISSION: vacant property; no contact with owner

TYPE OF PROPERTY: ☒ Residential ☐ Commercial ☐ Other: _____

PROPERTY CONDITION: ☒ Substandard ☐ Substandard but suitable for rehabilitation

LENGTH OF TIME PROPERTY HAS BEEN VACANT: _____

DEMOLITION NOTICE ISSUED: ☒ YES ☐ NO DATE ISSUED: 7/17/24

DESCRIBE IN DETAIL ALL CONTACT WITH OWNER, OWNER'S REPRESENTATIVE, NEXT OF KIN, ATTORNEYS, AND CONTACT INFORMATION (EMAIL/PHONE, ETC):

Multiple court hearings - no show and found guilty; warrant issued and no contact with owner

Water Shut-off: ☒ YES ☐ NO

Date Shut off: 9/17/23

Electric Shut-off: ☐ YES ☒ NO

Meter Observed: 7/10/25

Gas Shut-off: ☒ YES ☐ NO

Meter Observed: 7/16/25

Outstanding Taxes: None

DETAILED DESCRIPTION OF PROPERTY CONDITION:

Exterior	Siding falling off
Foundation	Visible cracks
Roof	Needs replaced
Windows	Missing/boarded
Interior	Not inspected
Accessory Building(s)	N/A
Other (Fencing, retaining walls, etc.)	Large tree in rear yard

EXTERIOR MATERIALS – Circle all that apply

Exterior Wall Materials	Aluminum, Asbestos, Asphalt, Block, Brick, Concrete, Glass, Iron, Lead, Limestone, Log, Plywood/Particle Board, Rubber, Sandstone/Brownstone, Shake, Shingle, Slate, Steel, Stone, Stucco, Synthetics, Terra Cotta, Tin, Vinyl, Wood, Weatherboard, Wrought Iron Other: _____
Structural System	Wood, Log, Timber (post/beam), Timber (light frame), Plank, Masonry, Brick, Stone, Iron, Iron Frame, Iron Columns, Steel, Steel Frame, Steel Columns, Concrete (general), Concrete (reinforced) Other: _____
Foundation	Asphalt, Brick, Concrete, Earth, Limestone, Long, Sandstone, Log, Stone Other: _____
Roof	Aluminum, Asbestos, Asphalt, Metal, Plywood/Particle Board, Rubber, Shake, Shingle, Slate, Tin, Vinyl, Wood Other: _____
Accessory Building	Aluminum, Asbestos, Asphalt, Block, Brick, Concrete, Glass, Iron, Lead, Limestone, Log, Plywood/Particle Board, Rubber, Sandstone/Brownstone, Shake, Shingle, Slate, Steel, Stone, Stucco, Synthetics, Terra Cotta, Tin, Vinyl, Wood, Weatherboard, Wrought Iron Other: N/A

Copy of Demolition Notice attached: ☒ YES ☐ NOPictures of property front/side/back/interior attached: ☒ YES ☐ NODATE SUBMITTED: 7/10/25 CODE OFFICIAL: Will Cokrlc



DEPARTMENT OF CODES & INSPECTIONS
1301 12TH STREET SUITE 103
ALTOONA PA 16601
(814) 949-2456 inspections@altoonapa.gov

CASE NUMBER: E2024-2659
DATE ISSUED: 07/17/2024
TAX ID: 01.06-05..-140.00-000
CERTIFIED MAIL:

LAQUITTA SMITH & SHERROD SEWELL
915 MANOR HOUSE DR
UPPER MARLBORO, MD 20774

NOTICE OF VIOLATION

Location of Property: 2617 6TH AVE

Dear Property Owner or Resident,

The City of Altoona Department of Codes and Inspections is responsible for enforcing the regulations of City Codes. Through routine, periodic inspections, our department can assist residents by identifying violations to ensure continued maintenance of property in the City and preserve the City's housing stock. It is the goal of the Department of Codes and Inspections to work with property owners to achieve voluntary compliance.

Please be advised the City of Altoona Department of Codes and Inspections conducted an inspection of the above property and found one or more violation(s) of the City of Altoona Codes. The results of the inspection and the time frame for compliance are indicated below, as well as the section(s) of the City of Altoona Code referencing the violation. Code Enforcement Officer comments and date(s) to comply:

CHAPTER 563 - VACANT REGISTRATION IS REQUIRED FOR ALL PROPERTIES THAT HAVE BEEN VACANT FOR MORE THAN 180 CONSECUTIVE DAYS, WHETHER VACANT AND SECURE, VACANT AND OPEN, OR VACANT AND BOARDED. VACANT REGISTRATION DOCUMENTS ARE ENCLOSED. THE APPLICABLE VACANT REGISTRATION FEE IS DUE WHEN THE PROPERTY HAS BEEN VACANT FOR A PERIOD OF ONE YEAR.

INSPECTOR COMMENTS: PLEASE REGISTER THE ABOVE PROPERTY WITH THE CITY OF ALTOONA CODES DEPARTMENT AS VACANT. THE FIRST YEAR IS FREE.

PM 110.1, DEMOLITION: THE CODE OFFICIAL SHALL ORDER THE OWNER OR OWNER'S AUTHORIZED AGENT OF ANY PREMISES UPON WHICH IS LOCATED ANY STRUCTURE, WHICH IN THE CODE OFFICIAL'S OR OWNER'S AUTHORIZED AGENT JUDGMENT AFTER REVIEW IS SO DETERIORATED OR DILAPIDATED OR HAS BECOME SO OUT OF REPAIR AS TO BE DANGEROUS, UNSAFE, INSANITARY OR OTHERWISE UNFIT FOR HUMAN HABITATION OR OCCUPANCY, AND SUCH THAT IT IS REASONABLE TO REPAIR THE STRUCTURE, TO DEMOLISH AND REMOVE SUCH STRUCTURE; OR IF SUCH STRUCTURE IS CAPABLE OF BEING MADE SAFE BY REPAIRS, TO REPAIR AND MAKE SAFE AND SANITARY, OR TO BOARD UP AND HOLD FOR FUTURE REPAIR OR TO DEMOLISH AND REMOVE AT THE OWNER'S OPTION; OR WHERE THERE HAS BEEN A CESSATION OF NORMAL CONSTRUCTION OF ANY STRUCTURE FOR A PERIOD OF MORE THAN TWO YEARS, THE CODE OFFICIAL SHALL ORDER THE OWNER OR OWNER'S AUTHORIZED AGENT TO DEMOLISH AND REMOVE SUCH STRUCTURE, OR BOARD UP UNTIL FUTURE REPAIR. BOARDING THE BUILDING UP FOR FUTURE REPAIR SHALL NOT EXTEND BEYOND ONE YEAR, UNLESS APPROVED BY THE BUILDING OFFICIAL.

PM 110.3, FAILURE TO COMPLY: IF THE OWNER OF A PREMISES OR OWNER'S AUTHORIZED AGENT FAILS TO COMPLY WITH A DEMOLITION ORDER WITHIN THE TIME PRESCRIBED, THE CODE OFFICIAL SHALL CAUSE THE STRUCTURE TO BE DEMOLISHED AND REMOVED, EITHER THROUGH AN AVAILABLE PUBLIC AGENCY OR BY CONTRACT OR ARRANGEMENT WITH PRIVATE PERSONS, AND THE COST OF SUCH DEMOLITION AND REMOVAL SHALL BE CHARGED AGAINST THE REAL ESTATE UPON WHICH THE STRUCTURE IS LOCATED AND SHALL BE A LIEN UPON SUCH REAL ESTATE.

INSPECTOR COMMENTS: PLEASE RAZE OR REPAIR THE ABOVE PROPERTY TO MAKE IT A SAFE STRUCTURE THAT COMPLIES WITH THE CITY OF ALTOONA CODES DEPARTMENT.
PM 302.7 REMOVE DAMAGED OR DETERIORATED FENCES AND WALLS AS THEY ARE NO LONGER STRUCTURALLY SOUND.

INSPECTOR COMMENTS: PLEASE REMOVE OR REPAIR THE DETERIORATED FENCING IN THE REAR OF PROPERTY.

PM 304.1 PM 304.7 REPLACE THE ROOF COVERING WHERE LEAKING, ROTTED, WORN, DAMAGED, MISSING OR OTHERWISE DETERIORATED. 304.1 GENERAL. THE EXTERIOR OF A STRUCTURE SHALL BE MAINTAINED IN GOOD REPAIR, STRUCTURALLY SOUND AND SANITARY SO AS NOT TO POSE A THREAT TO THE PUBLIC HEALTH, SAFETY OR WELFARE. 304.7 ROOFS AND DRAINAGE. THE ROOF AND FLASHING SHALL BE SOUND, TIGHT AND NOT HAVE DEFECTS THAT ADMIT RAIN. ROOF DRAINAGE SHALL BE ADEQUATE TO PREVENT DAMPNESS OR DETERIORATION IN THE WALLS OR INTERIOR PORTION OF THE STRUCTURE. ROOF DRAINS, GUTTERS AND DOWNSPOUTS SHALL BE MAINTAINED IN GOOD REPAIR AND FREE FROM OBSTRUCTIONS. ROOF WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CREATES A PUBLIC NUISANCE.

INSPECTOR COMMENTS: PLEASE REPAIR ALL AREAS OF THE ROOF THAT IS DETERIORATED, DAMAGED, OR ROTTING TO MAKE WEATHER TIGHT.

PM 304.13 REPAIR OR REPLACE WINDOW CASINGS AND FRAMES WHERE BROKEN, ROTTEN, CRACKED OR OTHERWISE DETERIORATED

INSPECTOR COMMENTS: PLEASE REPAIR OR REPLACE ALL WINDOWS/WINDOW CASINGS THAT ARE ROTTING OR MISSING.

PM 304.2 PM 304.6 PM 304.1 PREPARE AND PAINT ALL EXTERIOR SIDING. 304.2 PROTECTIVE TREATMENT. ALL EXTERIOR SURFACES, INCLUDING BUT NOT LIMITED TO, DOORS, DOOR AND WINDOW FRAMES, CORNICES, PORCHES, TRIM, BALCONIES, DECKS AND FENCES SHALL BE MAINTAINED IN GOOD CONDITION. EXTERIOR WOOD SURFACES, OTHER THAN DECAY-RESISTANT WOODS, SHALL BE PROTECTED FROM THE ELEMENTS AND DECAY BY PAINTING OR OTHER PROTECTIVE COVERING OR TREATMENT. PEELING, FLAKING AND CHIPPED PAINT SHALL BE ELIMINATED AND SURFACES REPAINTED. ALL SIDING AND MASONRY JOINTS AS WELL AS THOSE BETWEEN THE BUILDING ENVELOPE AND THE PERIMETER OF WINDOWS, DOORS, AND SKYLIGHTS SHALL BE MAINTAINED WEATHER RESISTANT AND WATER TIGHT. ALL METAL SURFACES SUBJECT TO RUST OR CORROSION SHALL BE COATED TO INHIBIT SUCH RUST AND CORROSION AND ALL SURFACES WITH RUST OR CORROSION SHALL BE STABILIZED AND COATED TO INHIBIT FUTURE RUST AND CORROSION. OXIDATION STAINS SHALL BE REMOVED FROM EXTERIOR SURFACES. SURFACES DESIGNED FOR STABILIZATION BY OXIDATION ARE EXEMPT FROM THIS REQUIREMENT. 304.6 EXTERIOR WALLS. ALL EXTERIOR WALLS SHALL BE FREE FROM HOLES, BREAKS, AND LOOSE OR ROTTING MATERIALS; AND MAINTAINED WEATHERPROOF AND PROPERLY SURFACE COATED WHERE REQUIRED TO PREVENT DETERIORATION. 304.1 GENERAL. THE EXTERIOR OF A STRUCTURE SHALL BE

CITY OF ALTOONA

DEPARTMENT OF CODES & INSPECTIONS
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TAX ID: 01.06-05..-140.00-000
CERTIFIED MAIL:

MAINTAINED IN GOOD REPAIR, STRUCTURALLY SOUND AND SANITARY SO AS NOT TO POSE A THREAT TO THE PUBLIC HEALTH, SAFETY OR WELFARE.

INSPECTOR COMMENTS: PLEASE SCRAPE/PAINT OR SIDE THE PROPERTY TO MAKE WEATHER TIGHT.

PM 304.7 REPAIR OR REPLACE ALL ROTTED, DAMAGED OR MISSING GUTTERING

INSPECTOR COMMENTS: PLEASE REPAIR OR REPLACE ALL MISSING OR DAMAGED GUTTERS TO MAKE GUTTER SYSTEM COMPLETE.

PM 308.1 MAINTAIN THE EXTERIOR PREMISES FREE OF ANY ACCUMULATIONS OR ITEMS WHICH WOULD ENCOURAGE THE INFESTATION OF RATS, VERMIN, INSECTS, RODENTS AND OTHER PESTS.

INSPECTOR COMMENTS: PLEASE REMOVE ALL ACCUMULATIONS OF GARBAGE & RUBBISH FROM PROPERTY.

FAILURE TO COMPLY MAY RESULT IN FEES, CITATIONS, FINES, AND/OR ENTRY INTO THE CITY'S "HAUL & LIEN" PROGRAM.

PLEASE HAVE ALL REPAIRS COMPLETED BY 09-02-24

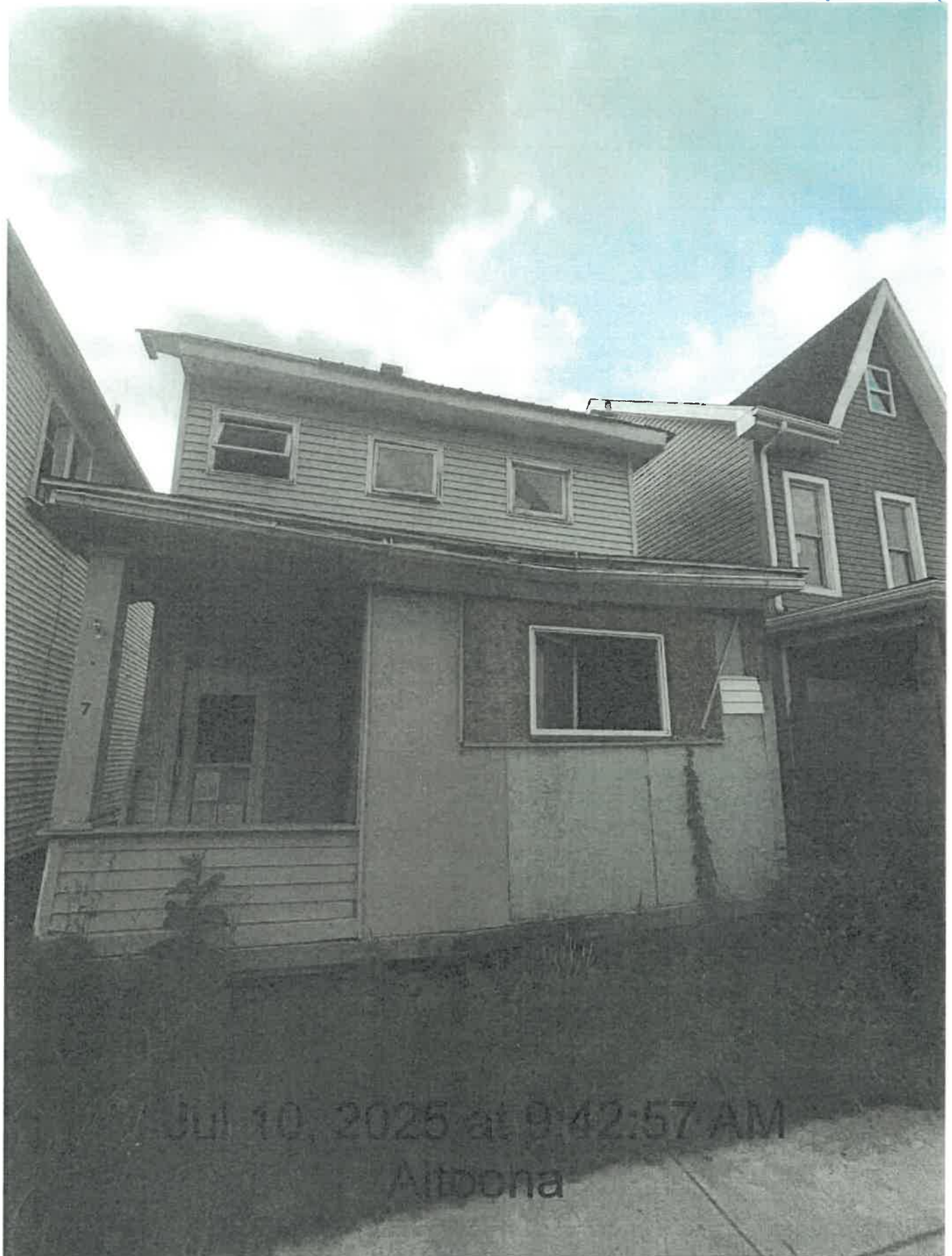
We will be conducting a re-inspection on the date given to ensure the violation has been corrected. It is recommended that contact be made with our department immediately should you experience difficulty with corrections. Should the violation remain uncorrected following the date ordered to comply, the City may assess re-inspection fees of \$75.00 for each re-inspection until the violation has been corrected. Additionally, summary citations may be issued at the Magisterial District Justice in accordance with Chapter 550 of the City of Altoona Code. For violations on vacant property, please be advised that the City of Altoona may abate the violation and collect its costs to do so from you and/or file a lien against the property for the costs. Additionally, failure to correct violation(s) could result in revocation or suspension of licenses and/or permits associated with this property.

APPEALS PROCEDURE: You have the right to appeal this Notice of Violation within ten (10) days of receipt of this Notice. Appeals must be made by application to the City of Altoona Code Appeals Board and accompany the application fee of \$500.00. It shall be unlawful for you to dispose of said unit or structure to another until the provisions of this notice have been complied with until you furnish the buyer, transferee, mortgagee, leasee or grantee a true copy of this notice and furnish the code official a notice fully accepting the responsibility without condition for making corrections and repairs required by the notice. It may be necessary to obtain required permits from the Department of Codes & Inspections, 1301 12th Street, Ste 103, Altoona, PA 16601.

Should you have questions or concerns please call our department at the number listed above, or email inspections@altoonapa.gov. Thank you for your cooperation.

Sincerely, WILL COKRLIC, Code Enforcement Officer

2617 4th Ave

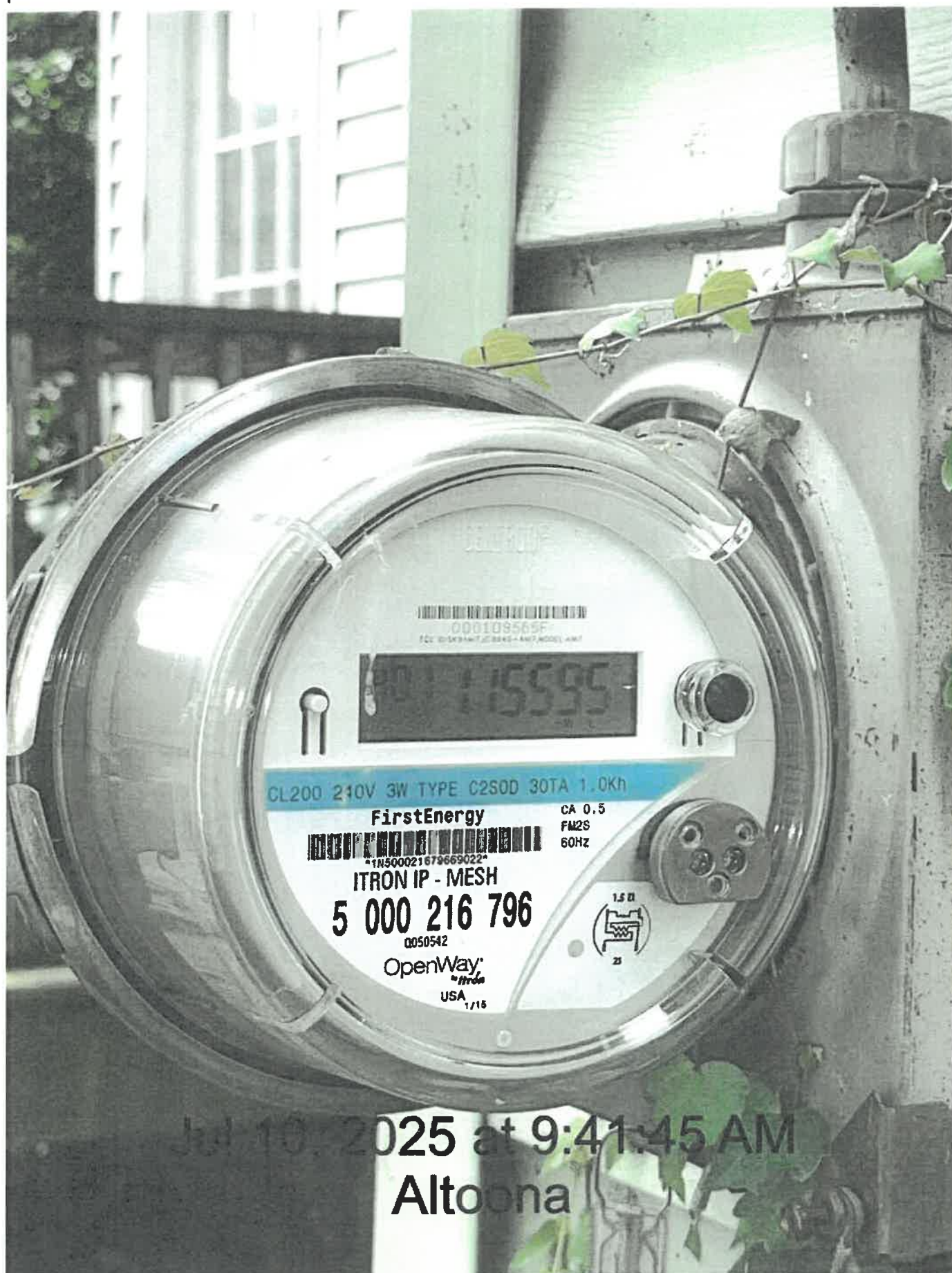


JUL 10, 2025 at 9:42:57 AM

Altoona



Jul 10, 2025 at 9:40:58 AM
Altoona



Jul 10, 2025 at 9:41:45 AM
Altoona



Jul 10, 2025 at 9:41:23 AM
Altoona



2025 at 9:42:22 AM
Altoona



Jul 10, 2025 at 9:43:22 AM
Altoona







Jul 10, 2025 at 9:42:33 AM
Altoona



Jul 10, 2025 at 9.39.58 AM

Albana





Jul 10, 2023 9:40:12 AM
Altoona



Jul 10, 2025 at 9:39:50 AM
Altoona



Jul 10, 2025 at 9:40:37 AM

Altoona





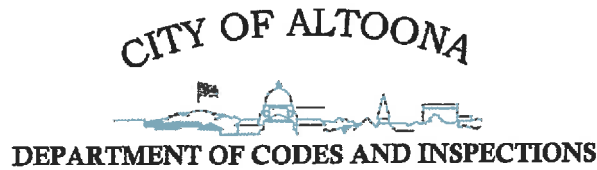
Jul 10, 2025 at 9:40:37 AM
Altoona



Jul 10, 2025 at 9:41:16 AM
Altoona



1301 12th Street, Suite 103
Altoona, PA 16601
Phone (814) 949-2456
Fax (814) 949-2203



Rebecca M. Brown
Director

BLIGHTED PROPERTY ASSESSMENT FORM

ADDRESS OF PROPERTY: 309 14TH ST
OWNER NAME: VICKI L BERGMAN, KEVIN J LONG
OWNER ADDRESS: 309 14TH ST CITY STATE ZIP: ALTOONA, PA 16602
OWNER PHONE: _____ OWNER EMAIL: _____

REASON FOR SUBMISSION: BLIGHTED PROPERTY

TYPE OF PROPERTY: ☒ Residential ☐ Commercial ☐ Other: _____
PROPERTY CONDITION: ☒ Substandard ☐ Substandard but suitable for rehabilitation
LENGTH OF TIME PROPERTY HAS BEEN VACANT: ESTIMATED 3-5 MONTHS
DEMOLITION NOTICE ISSUED: ☒ YES ☐ NO DATE ISSUED: 4-14-2025

DESCRIBE IN DETAIL ALL CONTACT WITH OWNER, OWNER'S REPRESENTATIVE, NEXT OF KIN, ATTORNEYS, AND CONTACT INFORMATION (EMAIL/PHONE, ETC):

SEE NOTES

Water Shut-off: ☒ YES ☐ NO Date Shut off: 12-23-2024
Electric Shut-off: ☒ YES ☐ NO Meter Observed: YES 5/29/2025
Gas Shut-off: ☒ YES ☐ NO Meter Observed: YES 5/29/2025

Outstanding Taxes:

2023 - \$627.63

2024 - \$609.63

Total: \$ 1,237.26

DETAILED DESCRIPTION OF PROPERTY CONDITION:

Exterior	SIDING DAMAGED, MISSING AND ROTTING.
Foundation	WATER DAMAGE HAS SECTION OF FOUNDATION DETERIORATING.
Roof	MISSING AND DAMAGED SHINGS, GUTTERS, SOFFIT AND FACIA FALLING OFF.
Windows	MULTIPLE BROKEN, DAMAGED AND REMOVED WINDOWS.
Interior	EXTREMELY DEPLORABLE CONDITIONS, HOLES IN WALLS, FLOORS AND ROOF. MULTIPLE ROOMS FILLED WITH ACCUMULATIONS. PROPERTY WAS BROKEN INTO AND GUTTED OF COPPER. HOLES IN CEILINGS HAVE LEAKED WATER THROUGHOUT.
Accessory Building(s)	
Other (Fencing, retaining walls, etc.)	

EXTERIOR MATERIALS –

Exterior Wall Materials	WOOD
Structural System	WOOD
Foundation	STONE
Roof	SHINGLE
Accessory Building	N/A

Copy of Demolition Notice attached: X YES ☐ NO

Pictures of property front/side/back/interior attached: X YES ☐ NO

DATE SUBMITTED: 5-29-2025 CODE OFFICIAL: JOSH KAUFMAN

PROPERTY IS UNDER CONTROL OF MICHAEL KOHOER (CLAIMS TO BE VICKI'S SON IN LAW)

SPOKE TO VICKI IN OCTOBER 2025 SHE GRANTED VERBAL PERMISSION FOR MICHAEL KOHOER TO PULL THE ELECTRICAL RESET PERMIT AS SHE WAS IN A REHABILITATION CENTER.

ELECTRICAL RESET PERMIT WAS ISSUED OCTOBER 15TH 2024, EXPIRED APRIL 13TH 2025 WITH NO COMPLETION OF WORK.

DEMO NOTICE POSTED ON PROPERTY 4-15-2025. NO CONTACT FROM VICKI OR MICHAEL AFTER NOTICE HAD BEEN POSTED.

CONDEMNATION NOTES:

WATER IS ON AS OF 9-30-2024 WAITING FOR AN EMAIL BACK FROM ELECTRIC COMPANY TO SEE IF THE SERVICE IS ACTIVE OR TERMINATED. 9-30-2024 -JK

HAD A CONVERSATION WITH THE WATER AUTHORITY, WATER IS CURRENTLY ON, EVEN THOUGH THEY OWE \$1800 AS THE REGISTERED ADDRESS THEY HAVE FOR VICKI IS IN MARYLAND, THEY CAN NOT LEGALLY SHUT OFF THE WATER TO A RENTAL WITHOUT THE CONSENT OF THE OWNER. HOWEVER, SINCE PROPERTY IS CONDEMNED, THEY ARE GOING TO TRY TO TERMINATE THE WATER SERVICE AFTER THE CONDEMNATION NOTICE OF 48 HOURS TO VACATE OR RESTORE IS IN EFFECT. ALSO HAD A CONVERSATION WITH MICHAEL, THE CURRENT RESIDENT. VICKI IS HIS MOTHER-IN-LAW. CLAIMED THE MARYLAND ADDRESS WAS HER DAUGHTERS HOUSE WHERE SHE USED TO STAY. VICKI IS CURRENTLY IN REHAB. TOLD HIM PROPERTY HAD TO BE REGISTERED AS A RENTAL IF HIS NAME WAS NOT ON THE DEED. WAS GOING TO TRY TO GET THIS DONE. ALSO TOLD HIM THE 48 HOURS TO VACATE IS FINAL AND NO EXCEPTIONS WILL BE GIVEN. HE STATED MONEY IS REALLY TIGHT AND CAN'T GET A MASTER ELECTRICIAN IN TO DO THE ELECTRICAL RESET. GAVE HIM OUR LIST OF RESOURCES TO REACH OUT FOR ASSISTANCE. - 12-13-2024 JK

KELLY AND CARL - 717-250-2780 STOPPED IN THE OFFICE. THEY HAVE BEEN LIVING AT THE PROPERTY WITH MICHAEL. WERE UNAWARE OF THE SEVERITY OF THE SITUATION.

MICHAEL CALLED IN, HE HAS ADAM 814-321-6869 FROM AFFORDABLE ELECTRIC COMING TO GO OVER EVERYTHING AND GET THE ELECTRICAL RESET APPROVED.

TALKED TO ADAM FROM AFFORDABLE ELECTRIC, MICHAEL HE HAS NO CLUE WHAT HE IS GETTING IN TO. WILL KEEP ME IN THE LOOP WITH THE REPAIRS/STATUS. - REPAIRS NEVER STARTED.

WATER TO BE SHUT OFF 12-23-2024 IF PROPERTY IS NOT CONSIDERED HABITABLE PER EMAIL FROM JAMES AT ALTOONA WATER AUTHORITY - 12-20-2024

CONVERSATION WITH MICHAEL HE STATED THAT THE ONLY SOURCE OF WORKING HEAT IN THE HOUSE WAS A GAS FIREPLACE.

RESPONDED TO A COMPLAINT OF A FOUL ODOR COMING FROM PROPERTY. UPON ARIVAL REALIZED IT WAS A SMELL OF GAS. CONTACTED FIRE DEPARTMENT AND PEOPLES NATURAL GAS. ACCESSED PROPERTY WITH FIRE DEPARTMENT, VERY DEPLORABLE LIVING CONDITIONIS, PROPERTY WAS STRIPPED OF THE COPPER AND A GAS LINE LEFT OPEN. PEOPLES NATURAL GAS SHUT THE GAS OFF AT THE CURB AND LOCKED THE INTERIOR METER. FIRE DEPARTMENT EVACUATED THE PROPERTY OF ANY GAS VAPORS. HIGHWAY YARD TO BOARD UP THE PROPERTY. 5-29-2025 - JK

ACCUMUATIONS NOTES.

VIOLATION INITIALLY ISSUED 4-11-2025.

TRASH HAULED FOR A COST OF \$25.00

SUBMITTED FOR ADDITIONAL HAUL 5-29-2025

SUBMITTED FOR MOW 5-29-2025



DEPARTMENT OF CODES & INSPECTIONS
1301 12TH STREET SUITE 103
ALTOONA PA 16601
(814) 949-2456 inspections@altoonapa.gov

CASE NUMBER: E2022-3525
DATE ISSUED: 12/09/2022
TAX ID: 01.04-06.-117.00-000
CERTIFIED MAIL:

VICKI L BERGMAN & KEVIN J LONG
309 14TH ST
ALTOONA, PA 16602-3630

Location of Property: 309 14TH ST

NOTICE OF VIOLATION

Dear Property Owner or Resident,

The City of Altoona Department of Codes and Inspections is responsible for enforcing the regulations of City Codes. Through routine, periodic inspections, our department can assist residents by identifying violations to ensure continued maintenance of property in the City and preserve the City's housing stock. It is the goal of the Department of Codes and Inspections to work with property owners to achieve voluntary compliance.

Please be advised the City of Altoona Department of Codes and Inspections conducted an inspection of the above property and found one or more violation(s) of the City of Altoona Codes. The results of the inspection and the time frame for compliance are indicated below, as well as the section(s) of the City of Altoona Code referencing the violation. Code Enforcement Officer comments and date(s) to comply:

PM 304.1 PM 304.7 REPLACE THE ROOF COVERING WHERE LEAKING, ROTTED, WORN, DAMAGED, MISSING OR OTHERWISE DETERIORATED. 304.1 GENERAL. THE EXTERIOR OF A STRUCTURE SHALL BE MAINTAINED IN GOOD REPAIR, STRUCTURALLY SOUND AND SANITARY SO AS NOT TO POSE A THREAT TO THE PUBLIC HEALTH, SAFETY OR WELFARE. 304.7 ROOFS AND DRAINAGE. THE ROOF AND FLASHING SHALL BE SOUND, TIGHT AND NOT HAVE DEFECTS THAT ADMIT RAIN. ROOF DRAINAGE SHALL BE ADEQUATE TO PREVENT DAMPNES OR DETERIORATION IN THE WALLS OR INTERIOR PORTION OF THE STRUCTURE. ROOF DRAINS, GUTTERS AND DOWNSPOUTS SHALL BE MAINTAINED IN GOOD REPAIR AND FREE FROM OBSTRUCTIONS. ROOF WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CREATES A PUBLIC NUISANCE.

INSPECTOR COMMENTS: PLEASE REPAIR OR REPLACE ROOF TO MAKE SOUND AND WEATHERTIGHT BY 31 JAN 2023.

PM 304.4 PM 304.7 REPAIR OR REPLACE THE ROOF SHEATHING WHERE ROTTED, BROKEN, DAMAGED, SAGGING, MISSING OR OTHERWISE DETERIORATED. 304.4 Structural members. All structural members shall be maintained free from deterioration, and shall be capable of safely supporting the imposed dead and live loads. 304.7 Roofs and drainage. The roof and flashing shall be sound, tight and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the

structure. Roof drains, gutters and downspouts shall be maintained in good repair and free from obstructions. Roof water shall not be discharged in a manner that creates a public nuisance.

PM 304.4 REPAIR OR REPLACE THE ROOF RAFTERS WHERE ROTTED, BROKEN, DAMAGED, BOWED, MISSING OR OTHERWISE DETERIORATED. 304.4 Structural members. All structural members shall be maintained free from deterioration, and shall be capable of safely supporting the imposed dead and live loads.

PM 304.7 REPAIR OR REPLACE THE ROOF FLASHING WHERE WORN, DAMAGED, MISSING OR OTHERWISE DETERIORATED. 304.7 Roofs and drainage. The roof and flashing shall be sound, tight and not have defects that admit rain. Roof drainage shall be adequate to prevent dampness or deterioration in the walls or interior portion of the structure. Roof drains, gutters and downspouts shall be maintained in good repair and free from obstructions. Roof water shall not be discharged in a manner that creates a public nuisance.

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APPEALS PROCEDURE AND IMPORTANT INFORMATION: You have the right to appeal this Notice of Violation within ten (10) days of receipt of this Notice. Appeals must be made by application to the City of Altoona Code Appeals Board and accompany the application fee of \$300.00. It shall be unlawful for you to dispose of said unit or structure to another until the provisions of this notice have been complied with until you furnish the buyer, transferee, mortgagee, leasee or grantee a true copy of this notice and you furnish the code official a notice fully accepting the responsibility without condition for making the corrections and repairs required by the notice. It may be necessary to obtain required permits from the Department of Codes & Inspections located at 1301 12th Street, Suite 103, Altoona, PA 16601. If multiple violations for the same offense(s) are issued, under powers granted to the City of Altoona by the Neighborhood Blight Reclamation and Revitalization Act of 2009 (Pennsylvania General Assembly, Senate Bill 900) the City may obtain a judgement against you and seize your personal property to satisfy the judgement. Judgements entered against you may appear on your credit report and adversely affect your credit score. Failure to correct violation(s) could result in revocation or suspension of licenses and/or permits associated with this property.

Should you have questions or concerns, please call the number listed above or email inspections@altoonapa.gov. Thank you for your cooperation.

Sincerely,
Scott Campanaro, Code Enforcement Officer



DEPARTMENT OF CODES & INSPECTIONS
1301 12TH STREET SUITE 103
ALTOONA PA 16601
(814) 949-2456 inspections@altoonapa.gov

CASE NUMBER: E2023-0266
DATE ISSUED: 01/30/2023
TAX ID: 01.04-06..-117.00-000
CERTIFIED MAIL:

VICKI L BERGMAN & KEVIN J LONG
309 14TH ST
ALTOONA, PA 16602-3630

Location of Property: 309 14TH ST

NOTICE OF VIOLATION

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PM 304.13.1 PM 304.13.2 MAINTAIN ALL WINDOWS IN A WEATHERTIGHT CONDITION, CAPABLE OF BEING LOCKED AND SECURED.

INSPECTOR COMMENTS: PLEASE MAKE ALL WINDOW OPERABLE AND WEATHERTIGHT BY 31 MAR 2023.

PM 304.2 PM 304.8 PM 304.1 PREPARE AND PAINT THE CORNICE TRIM. 304.2 PROTECTIVE TREATMENT.

INSPECTOR COMMENTS: PLEASE REPAIR AND PAINT ALL SOFFIT AND FASCIA BY 31 MAR 2023.

PM 304.6 PM 304.1 REPAIR OR REPLACE ALL LOOSE, DAMAGED, ROTTED OR MISSING SIDING MATERIALS TO MATCH EXISTING SIDING. 304.6 EXTERIOR WALLS. ALL EXTERIOR WALLS SHALL BE FREE FROM HOLES, BREAKS, AND LOOSE OR ROTTING MATERIALS; AND MAINTAINED WEATHERPROOF AND PROPERLY SURFACE COATED WHERE REQUIRED TO PREVENT DETERIORATION. 304.1 GENERAL. THE EXTERIOR OF A STRUCTURE SHALL BE MAINTAINED IN GOOD REPAIR, STRUCTURALLY SOUND AND SANITARY SO AS NOT TO POSE A THREAT TO THE PUBLIC HEALTH, SAFETY OR WELFARE.

INSPECTOR COMMENTS: PLEASE SCRAPE/PAINT OR SIDE/RE-SIDE HOUSE BY 31 MAR 2023.

PM 304.7 PROVIDE A COMPLETE GUTTERING SYSTEM FOR PROPER ROOF DRAINAGE.

INSPECTOR COMMENTS: PLEASE REPAIR OR REPLACE GUTTER BY 31 MAR 2023.
PM 304.8 REPAIR OR REPLACE ALL ROTTED, DAMAGED OR MISSING WOOD ON THE CORNICE TO MATCH THE EXISTING CORNICE.

We will be conducting a re-inspection on the date given to ensure the violation has been corrected. It is recommended that contact be made with our department immediately should you experience difficulty with corrections. Should the violation remain uncorrected following the date ordered to comply, the City may assess re-inspection fees of \$75.00 for each re-inspection until the violation has been corrected. Additionally, summary citations may be issued at the Magisterial District Justice in accordance with Chapter 550 of the City of Altoona Code.

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Sincerely,
Scott Campanaro, Code Enforcement Officer



DEPARTMENT OF CODES & INSPECTIONS
1301 12TH STREET SUITE 103
ALTOONA PA 16601
(814) 949-2456 inspections@altoonapa.gov

CASE NUMBER: E2024-1091
DATE ISSUED: 04/11/2024
TAX ID: 01.04-06..-117.00-000
CERTIFIED MAIL:

VICKI L BERGMAN & KEVIN J LONG
309 14TH ST
ALTOONA, PA 16602-3630

NOTICE OF VIOLATION

Location of Property: 309 14TH ST

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PM 308.1 MAINTAIN THE EXTERIOR PREMISES FREE OF ANY ACCUMULATIONS OR ITEMS WHICH WOULD ENCOURAGE THE INFESTATION OF RATS, VERMIN, INSECTS, RODENTS AND OTHER PESTS.

INSPECTOR COMMENTS: PLEASE REMOVE ALL GARBAGE AND RUBBISH FROM THE SIDE OF THE HOUSE BY 4-26-2024

We will be conducting a re-inspection on the date given to ensure the violation has been corrected. It is recommended that contact be made with our department immediately should you experience difficulty with corrections. Should the violation remain uncorrected following the date ordered to comply, the City may assess re-inspection fees of \$75.00 for each re-inspection until the violation has been corrected. Additionally, summary citations may be issued at the Magisterial District Justice in accordance with Chapter 550 of the City of Altoona Code. For violations on vacant property, please be advised that the City of Altoona may abate the violation and collect its costs to do so from you and/or file a lien against the property for the costs. Additionally, failure to correct violation(s) could result in revocation or suspension of licenses and/or permits associated with this property.

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Should you have questions or concerns please call our department at the number listed above, or email inspections@altoonpa.gov. Thank you for your cooperation.

Sincerely, JOSH KAUFMAN, Code Enforcement Officer



DEPARTMENT OF CODES & INSPECTIONS
1301 12TH STREET SUITE 103
ALTOONA PA 16601
(814) 949-2456 inspections@altoonapa.gov

CASE NUMBER: E2024-3573
DATE ISSUED: 10/07/2024
TAX ID: 01.04-06.-117.00-000
CERTIFIED MAIL:

VICKI L BERGMAN & KEVIN J LONG
309 14TH ST
ALTOONA, PA 16602-3630

NOTICE OF VIOLATION

Location of Property: 309 14TH ST

Dear Property Owner or Resident,

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PM 108.1.3 PM 108.2 PM 108.5 ANY STRUCTURE OR UNIT DEEMED UNFIT FOR HUMAN OCCUPANCY SHALL BE KEPT VACANT AND SECURED AGAINST ENTRY AT ALL TIME.

PM 604.1 ELECTRIC UTILITY SERVICE IS OFF. REPAIR OR RESTORE SERVICE.

INSPECTOR COMMENTS: PLEASE RESTORE ELECTRICAL SERVICE BY 10-9-2024 OR VACATE OCCUPANCY.

We will be conducting a re-inspection on the date given to ensure the violation has been corrected. It is recommended that contact be made with our department immediately should you experience difficulty with corrections. Should the violation remain uncorrected following the date ordered to comply, the City may assess re-inspection fees of \$75.00 for each re-inspection until the violation has been corrected. Additionally, summary citations may be issued at the Magisterial District Justice in accordance with Chapter 550 of the City of Altoona Code. For violations on vacant property, please be advised that the City of Altoona may abate the violation and collect its costs to do so from you and/or file a lien against the property for the costs. Additionally, failure to correct violation(s) could result in revocation or suspension of licenses and/or permits associated with this property.

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notice fully accepting the responsibility without condition for making corrections and repairs required by the notice. It may be necessary to obtain required permits from the Department of Codes & Inspections, 1301 12th Street, Ste 103, Altoona, PA 16601.

Should you have questions or concerns please call our department at the number listed above, or email inspections@altoonapa.gov. Thank you for your cooperation.

Sincerely, JOSH KAUFMAN, Code Enforcement Officer



DEPARTMENT OF CODES & INSPECTIONS
1301 12TH STREET SUITE 103
ALTOONA PA 16601
(814) 949-2456 inspections@altoonapa.gov

CASE NUMBER: E2025-1116
DATE ISSUED: 04/14/2025
TAX ID: 01.04-06.-117.00-000
CERTIFIED MAIL:

VICKI L BERGMAN & KEVIN J LONG C/O MICHAEL KOHOER
309 14TH ST
ALTOONA, PA 16602-3630

NOTICE OF VIOLATION

Location of Property: 309 14TH ST

Dear Property Owner or Resident,

The City of Altoona Department of Codes and Inspections is responsible for enforcing the regulations of City Codes through routine, periodic inspections to assist residents in identifying violations and ensuring continued maintenance of the City's housing stock. It is our goal to work with property owners to achieve voluntary compliance. An inspection of the above property found one or more violation(s) of the City of Altoona Codes. Below are the violation results of this inspection and the date for compliance:

PM 110.1, DEMOLITION: THE CODE OFFICIAL SHALL ORDER THE OWNER OR OWNER'S AUTHORIZED AGENT OF ANY PREMISES UPON WHICH IS LOCATED ANY STRUCTURE, WHICH IN THE CODE OFFICIAL'S OR OWNER'S AUTHORIZED AGENT JUDGMENT AFTER REVIEW IS SO DETERIORATED OR DILAPIDATED OR HAS BECOME SO OUT OF REPAIR AS TO BE DANGEROUS, UNSAFE, INSANITARY OR OTHERWISE UNFIT FOR HUMAN HABITATION OR OCCUPANCY, AND SUCH THAT IT IS REASONABLE TO REPAIR THE STRUCTURE, TO DEMOLISH AND REMOVE SUCH STRUCTURE; OR IF SUCH STRUCTURE IS CAPABLE OF BEING MADE SAFE BY REPAIRS, TO REPAIR AND MAKE SAFE AND SANITARY, OR TO BOARD UP AND HOLD FOR FUTURE REPAIR OR TO DEMOLISH AND REMOVE AT THE OWNER'S OPTION; OR WHERE THERE HAS BEEN A CESSATION OF NORMAL CONSTRUCTION OF ANY STRUCTURE FOR A PERIOD OF MORE THAN TWO YEARS, THE CODE OFFICIAL SHALL ORDER THE OWNER OR OWNER'S AUTHORIZED AGENT TO DEMOLISH AND REMOVE SUCH STRUCTURE, OR BOARD UP UNTIL FUTURE REPAIR. BOARDING THE BUILDING UP FOR FUTURE REPAIR SHALL NOT EXTEND BEYOND ONE YEAR, UNLESS APPROVED BY THE BUILDING OFFICIAL.

PM 110.3, FAILURE TO COMPLY: IF THE OWNER OF A PREMISES OR OWNER'S AUTHORIZED AGENT FAILS TO COMPLY WITH A DEMOLITION ORDER WITHIN THE TIME PRESCRIBED, THE CODE OFFICIAL SHALL CAUSE THE STRUCTURE TO BE DEMOLISHED AND REMOVED, EITHER THROUGH AN AVAILABLE PUBLIC AGENCY OR BY CONTRACT OR ARRANGEMENT WITH PRIVATE PERSONS, AND THE COST OF SUCH DEMOLITION AND REMOVAL SHALL BE CHARGED AGAINST THE REAL ESTATE UPON WHICH THE STRUCTURE IS LOCATED AND SHALL BE A LIEN UPON SUCH REAL ESTATE.

INSPECTOR COMMENTS: PLEASE RAZE OR REPAIR THE STRUCTURE. PLEASE COMPLETE THIS BY 5-14-2025.

IF REPAIRS ARE TO BE MADE, A SCHEDULE OF REMEDIAL WORK MUST BE SUBMITTED TO THE CITY OF ALTOONA FOR APPROVAL. A DEMOLITION PERMIT WILL BE REQUIRED IF YOUR INTENT IS TO DEMOLISH THE PROPERTY.

FAILURE TO COMPLY WILL RESULT IN THE PROPERTY BEING ENTERED IN THE CITY OF ALTOONA'S DEMOLITION PROGRAM AND THE PROPERTY DEMOLISHED AND A LIEN PLACED AGAINST THE PROPERTY FOR THE COST OF THE DEMOLITION.

Please contact us immediately should you experience difficulty with corrections, if you need further explanation of the violations or if you need additional time to make corrections. Failure to contact us will result in further enforcement to include fines and citations being filed at the Magistrate. This may be avoided by calling our Department and speaking with the Code Enforcement Officer.

The City will conduct re-inspections and may assess re-inspection fees of \$75.00 for each re-inspection until the violation has been corrected. Additionally, summary citations may be issued at the Magisterial District Justice in accordance with Chapter 550 of the City of Altoona Code. For violations on vacant property, please be advised that the City of Altoona may abate the violation and collect its costs to do so from you and/or file a lien against the property for the costs. Additionally, failure to correct violation(s) could result in revocation or suspension of licenses and/or permits associated with this property.

You have the right to appeal this Notice of Violation within ten (10) days of receipt of this Notice. Appeals must be made by application to the City of Altoona Code Appeals Board and accompany the application fee of \$500.00. It shall be unlawful for you to dispose of said unit or structure to another until the provisions of this notice have been complied with until you furnish the buyer, transferee, mortgagee, leasee or grantee a true copy of this notice and furnish the code official a notice fully accepting the responsibility without condition for making corrections and repairs required by the notice. It may be necessary to obtain required permits from the Department of Codes & Inspections, 1301 12th Street, Ste 103, Altoona, PA 16601.

Thank you, and please call our department at the number listed above, or email inspections@altoonapa.gov.

Sincerely, JOSH KAUFMAN, Code Enforcement Officer

CITY OF ALTOONA
1301 12TH STREET - SUITE 104
ALTOONA, PA 16601
814-949-2439

CITY OF ALTOONA

PURCHASE ORDER

Invoice

DUTCH'S HAULING

100 East 5th Avenue
ALTOONA, PA 16602

Office (814) 942-1054 ext. 1 • Dutch (814) 942-1054 ext. 2

VENDOR: DUTCH
DUTCH'S HAULING
100 EAST FIFTH AVENUE
ALTOONA, PA 16602

Vendor Phone/Fax: (814) 942-1054
Vendor Email:

☐ PICK-UP

☐ DELIVERY

☐ SERVICE

Name

ALTOONA

☐ C.O.D. ☒ CHARGE

Address

1301 12th Street

Phone

City

ALTOONA

State

PA

Zip

16601

OPEN PO FOR CLEANUP SI

Qty	Unit	Des
1	EA	OPEN PO

Distribution Summary:

1st Authorized Signa

JOB SITE:	DATE
	8/25/94

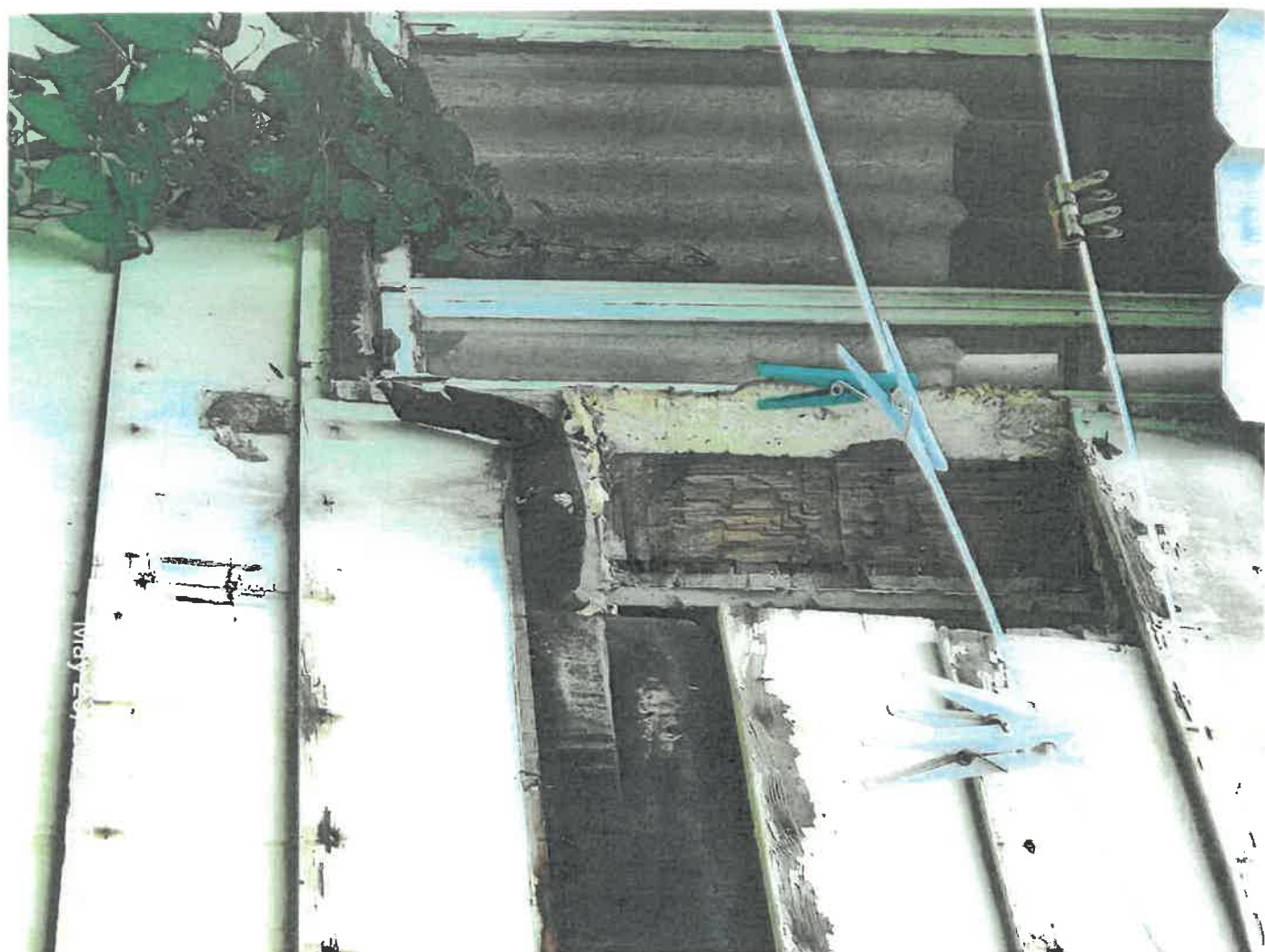
t. Amount

700.00

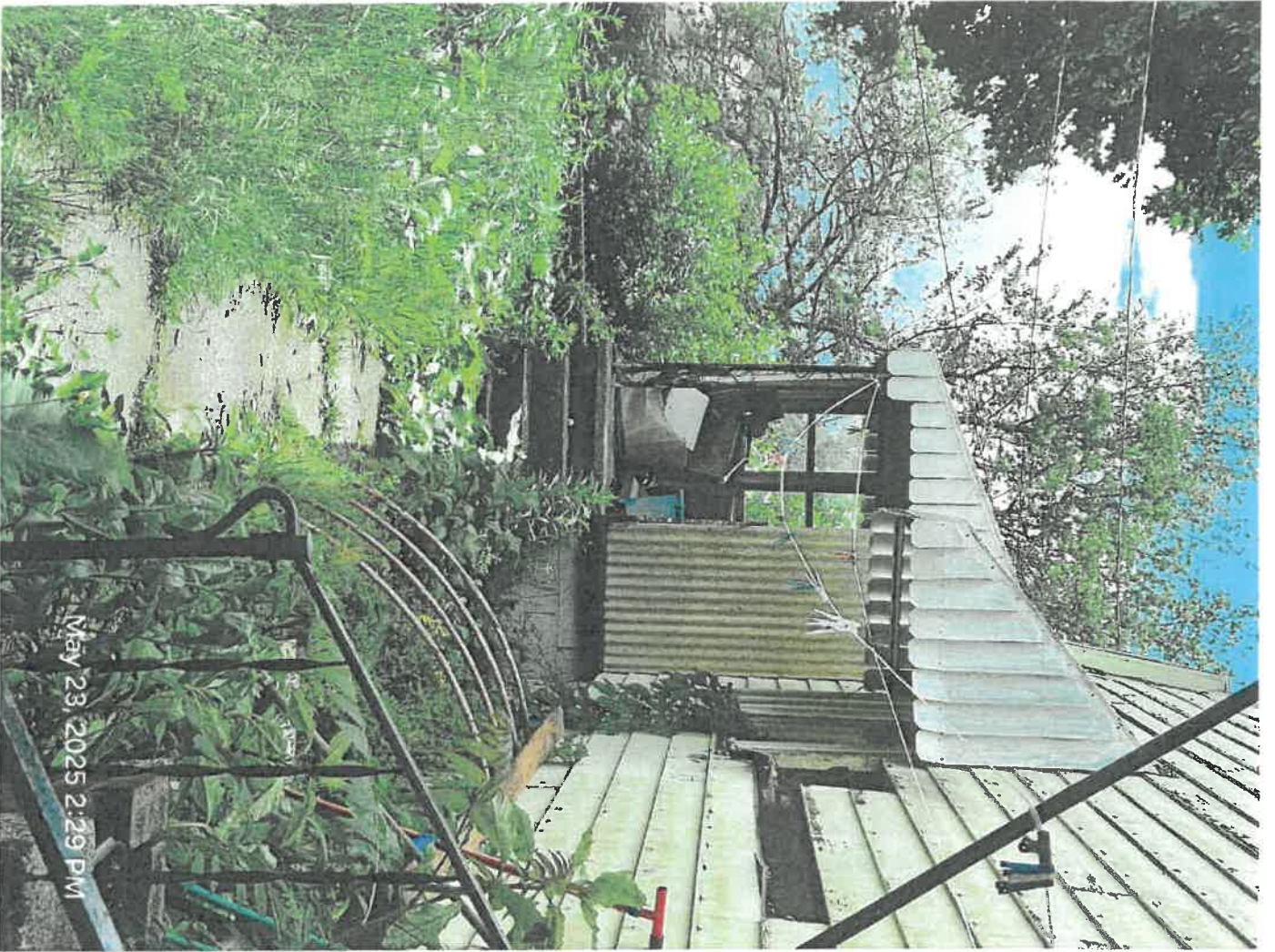
\$700.00

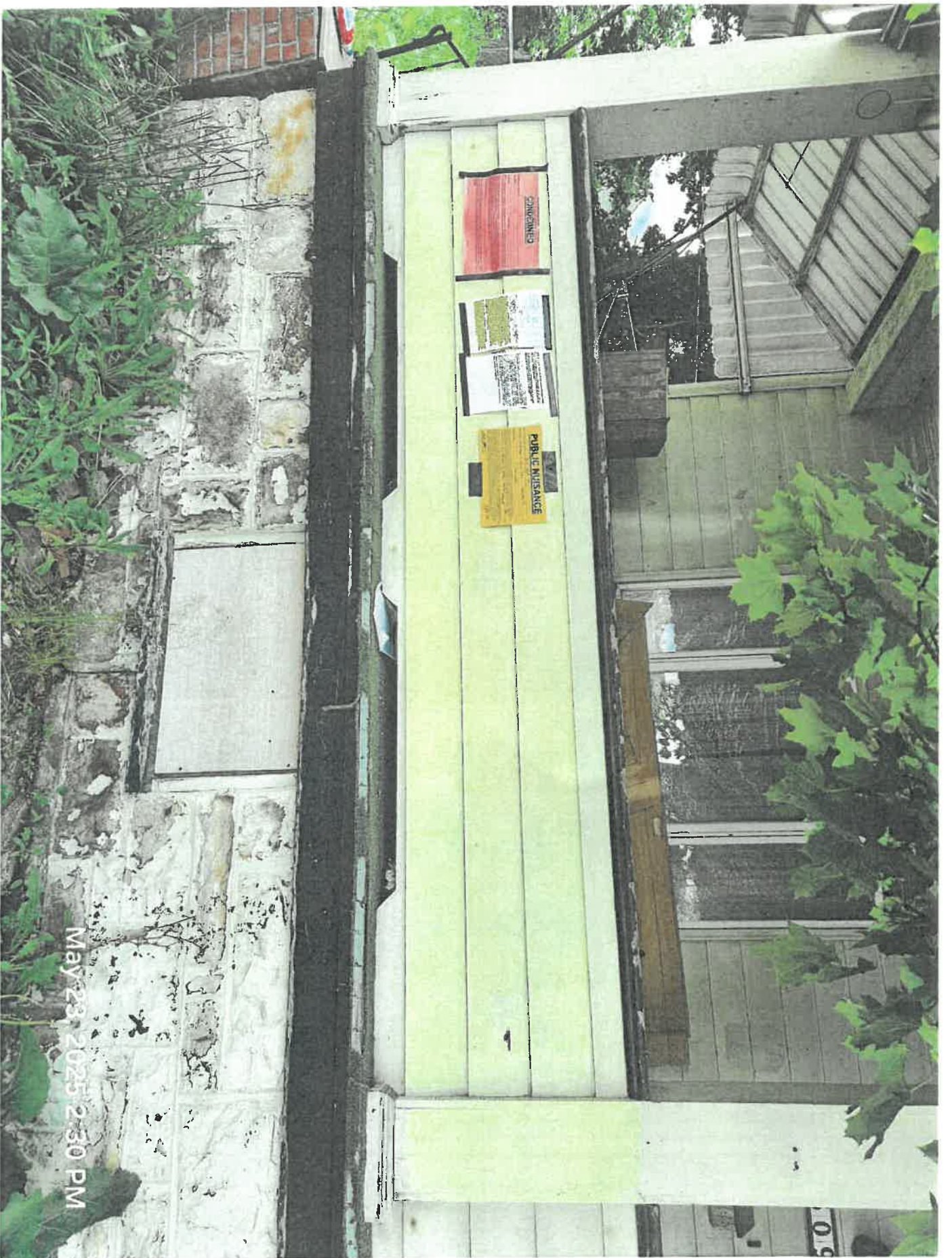
QTY	DESCRIPTION/SERVICES PERFORMED	PRICE	AMOUNT
	Removal of Trash on 8-5-94		75.00
→	309 14th St		
	Removal of Trash on 8-6-94		30.00
→	902 2nd Ave		
	Removal of Trash on 8-16-94		250.00
→	1335 N 9th Ave		
		Sub Total	345.00
		Tax	
		TOTAL	345.00

Thank You!











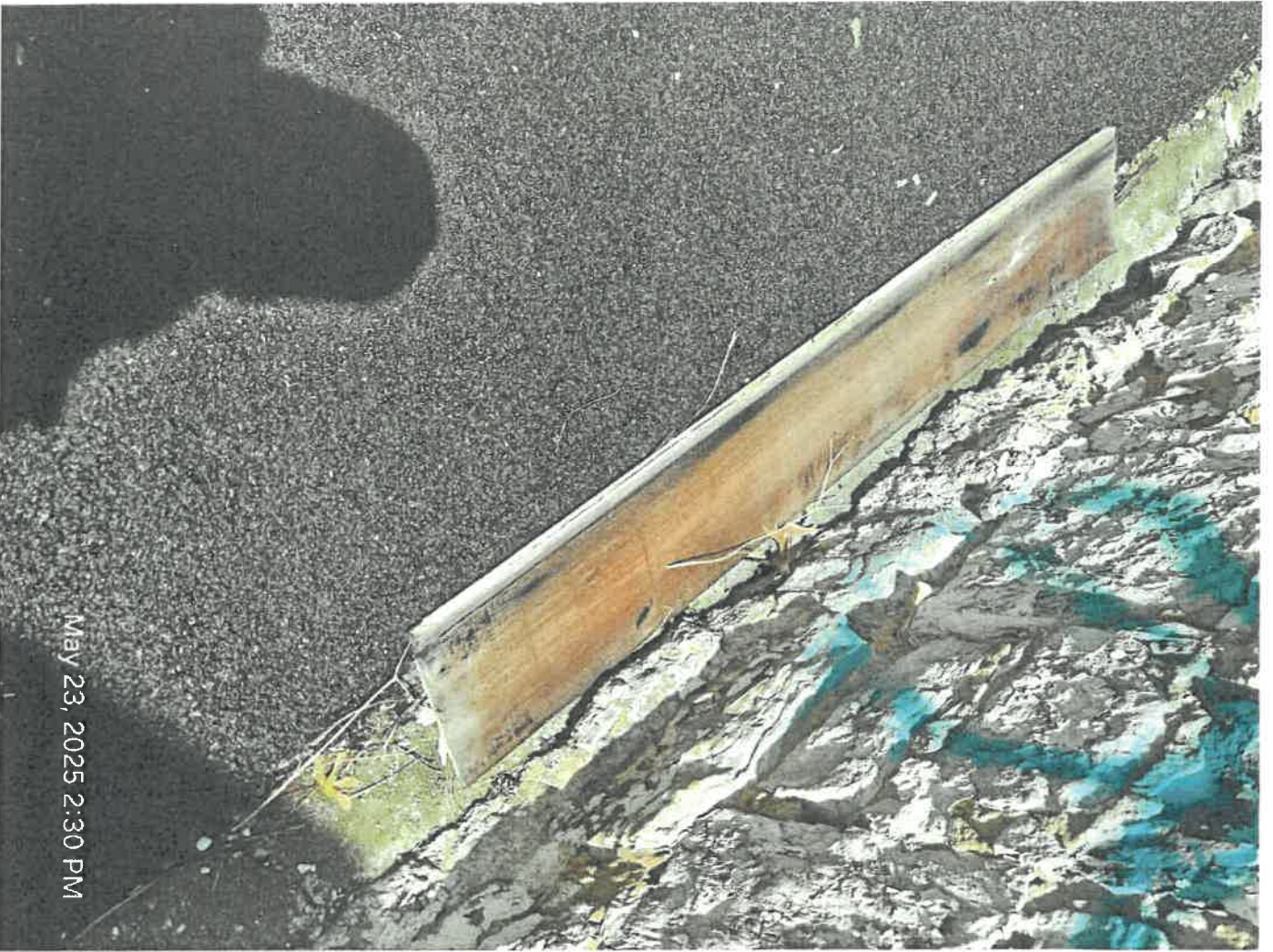
MAY 23 2025 2:30 PM





May 23, 2025 2:30 PM



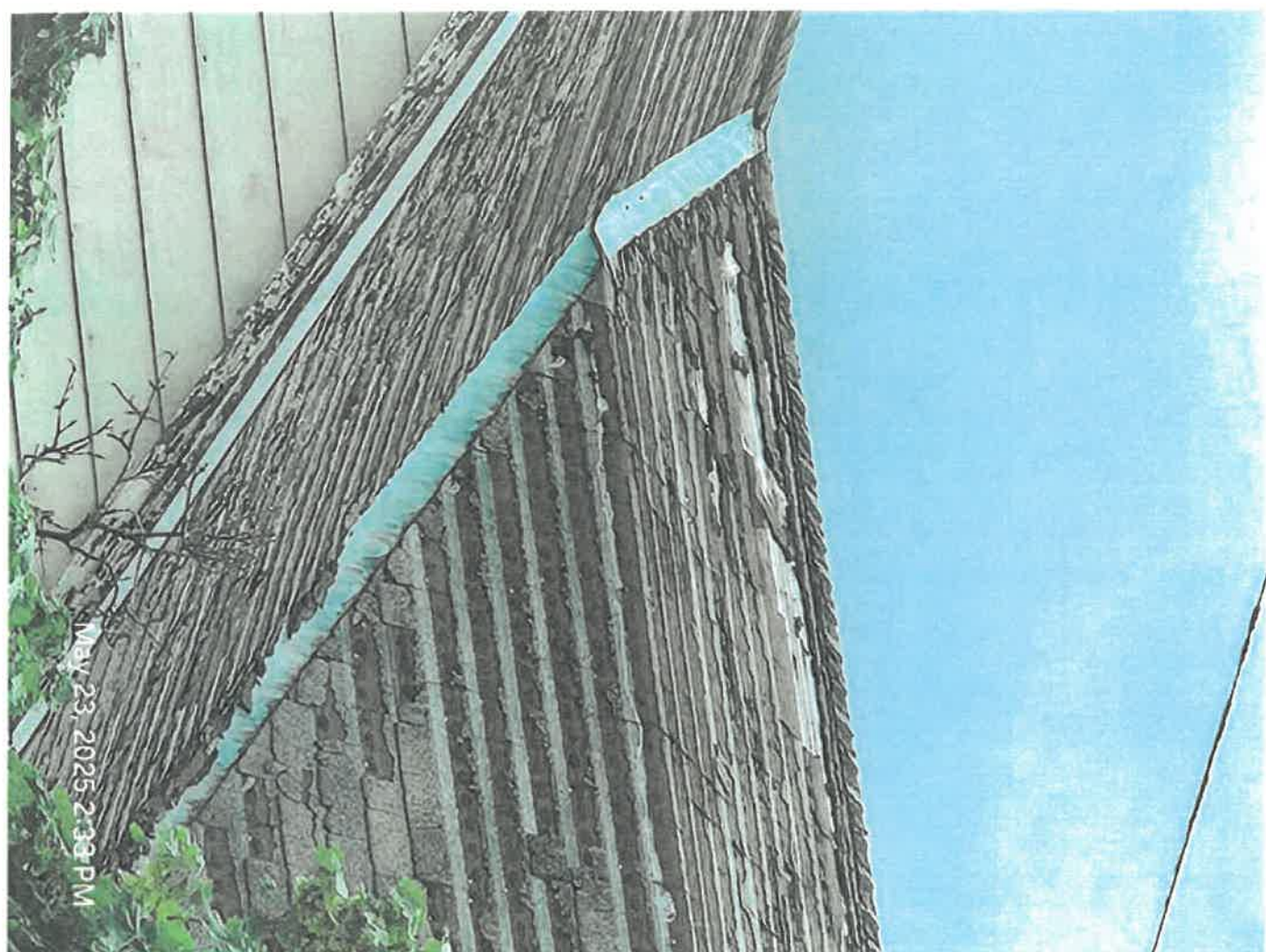




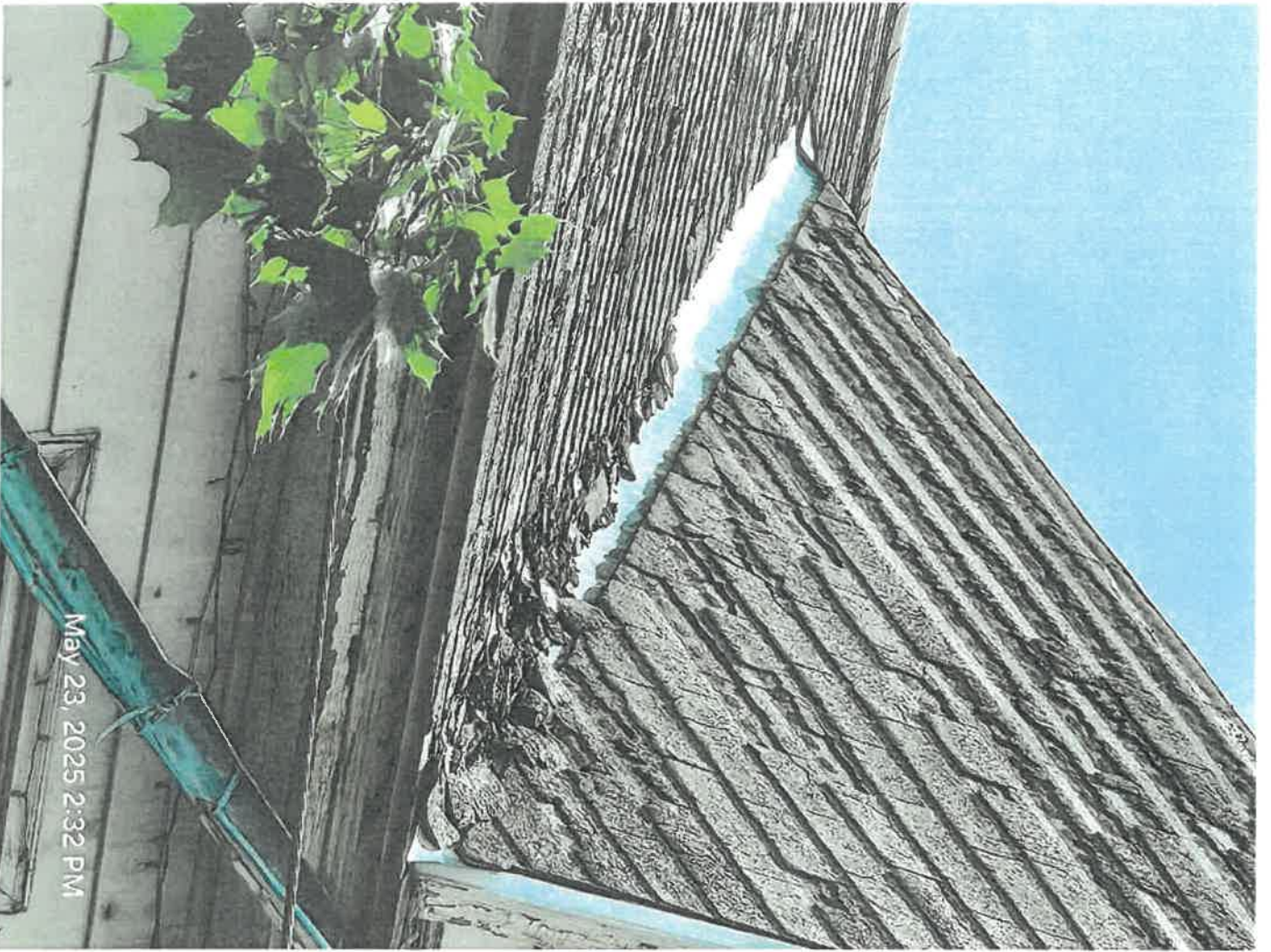
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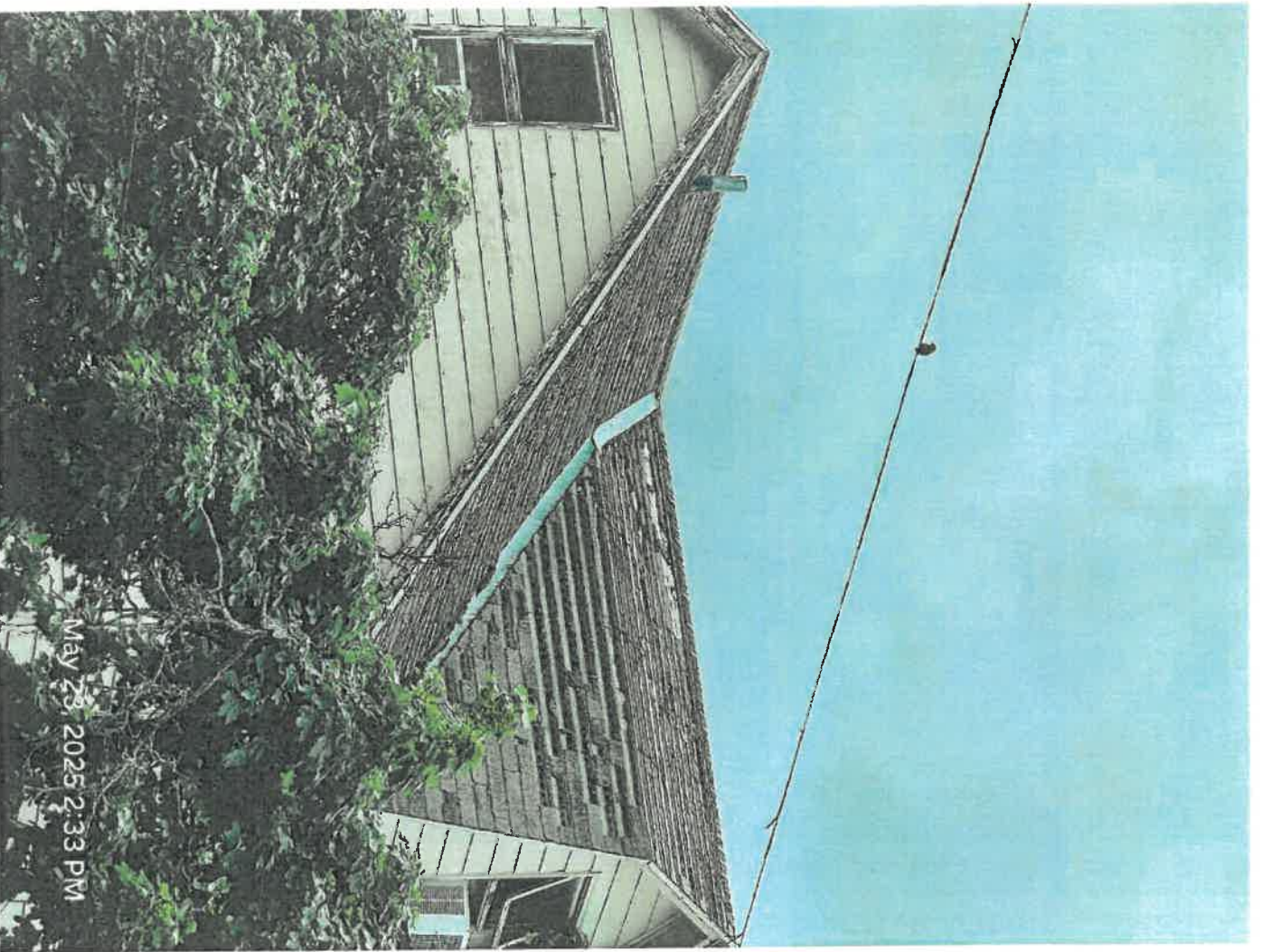
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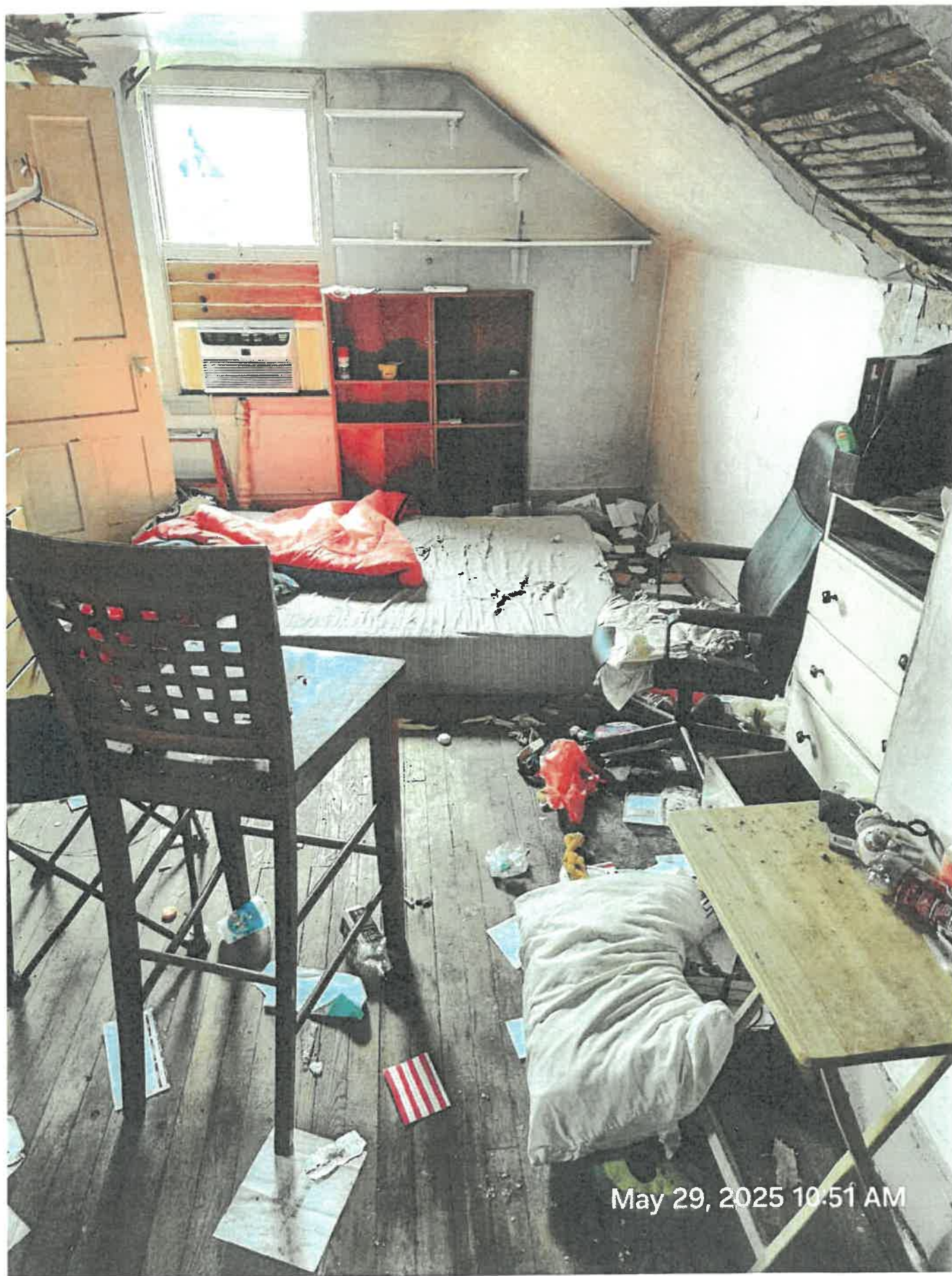


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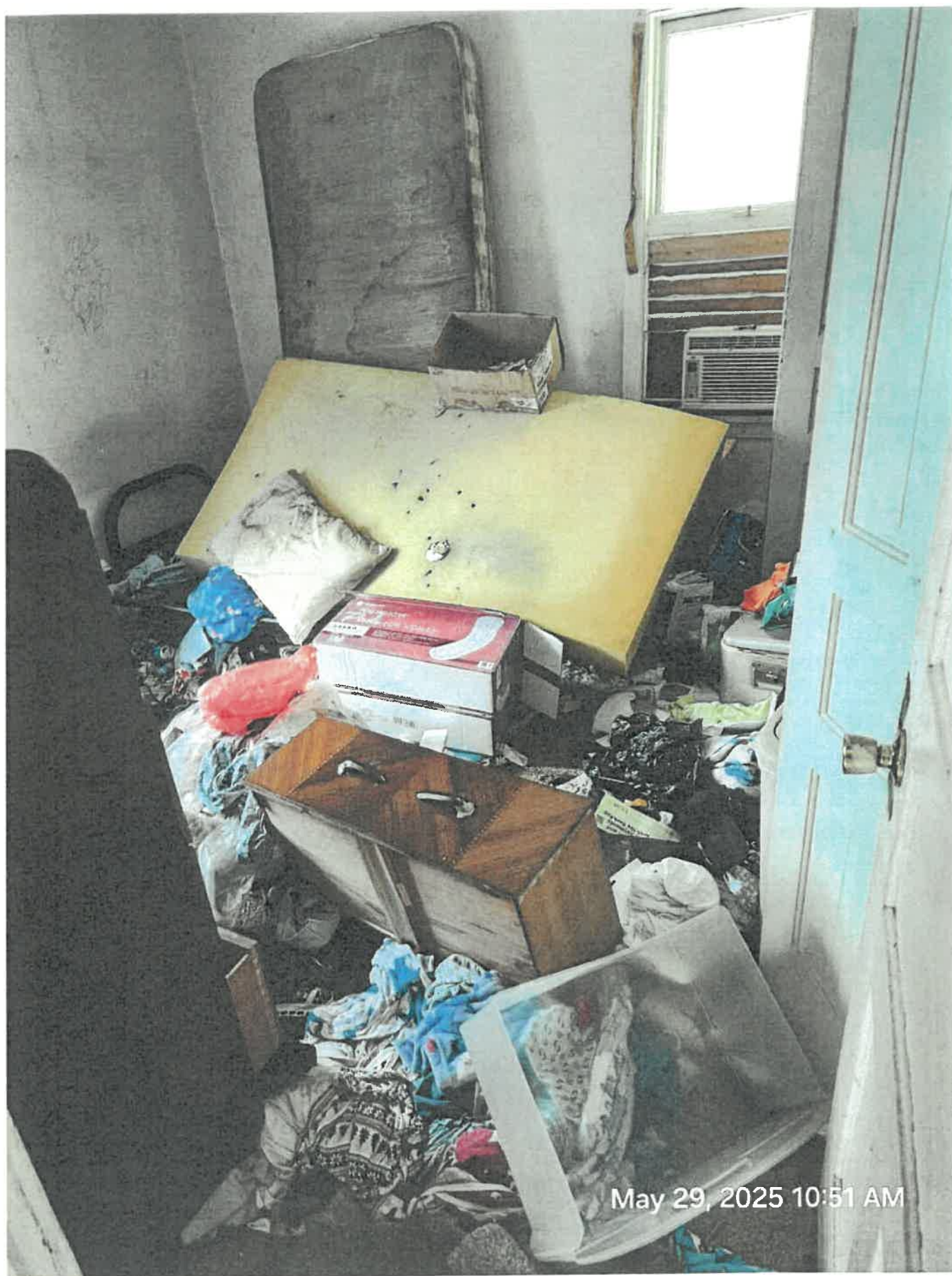




May 29, 2025 11:08 AM



May 29, 2025 10:51 AM





May 29, 2025 11:08 AM















May 29, 2025 11:07 AM





May 29, 2025 10:49 AM





May 29, 2025 11:07 AM





May 29, 2025 10:49 AM