1301 12th Street, Suite 103
Altoona, PA 16601
Phone (814) 949-2456
Fax (814) 949-2203

planning@altoonapa.gov

CITY OF ALTOONA

David M. Albright, Chair (29)
Lawrence Bilotto, Vice Chair (27)
Michael Haire, Secretary (28)
Drew Brennan (29)
Peter Folen (29)
Richard Haines (27)
Jesse Ickes (27)

ALTOONA CITY PLANNING COMMISSION

The Altoona City Planning Commission, created in March 1916, is composed of seven residents appointed by the Mayor with the approval of City Council. The Commission is responsible for developing and updating the Comprehensive Plan, reviewing proposals that affect the development of the City, and providing a public forum that encourages participation in guiding the future of the City.

Regular Meeting of Tuesday, April 1, 2025 at 3:00 PM
4th Floor City Hall Common Room

AGENDA

REGULAR MEETING

CALL TO ORDER

PUBLIC COMMENT

PRESENTATION – Western PA Conservancy – Rey Bandhuza

REGULAR BUSINESS

ADMINISTRATIVE ITEMS

1. Approval of Minutes – The Commission will consider the approval of minutes from its previous meeting of March 4, 2025 which is included in the packet.
2. Nomination and Appointment of Altoona City Planning Commission Board Member to Blighted Property Review Committee

SUBDIVISION AND LAND DEVELOPMENT

1. Sheetz #354 (Car Wash Rebuild) – 1915 Pleasant Valley Blvd – A land development plan proposing to rebuild the existing car wash and associated site features was submitted to the city. The proposed car wash will be 939 SF, slightly larger than the existing 835 SF. Your agenda packet includes the latest plans, narrative, and city comments. A recommended resolution for approval has been included.

STAFF LEVEL REVIEWS

Staff has received the following staff level subdivision/land development applications since the March 4, 2025 regular meeting:

None at present

SPOT BLIGHT DECLARATIONS – The ACPC will consider the following properties as blighted. Assessment sheets, documentation and pictures will follow:

922 5th Ave (on tax sale - June)
131 E 5th Ave
515 2nd Ave
127 6th Ave
709 4th Ave (on tax sale - June)
1002 3rd Ave
1009 4th Ave (on tax sale - June)
1111 N. 5th Ave
915 6th Avenue

INFORMATIONAL ITEMS

1. SALDO/Zoning Ordinance Update Status
2. GAEDC Report
3. Blair County Planning Commission Report

COMMISSIONER FORUM

QUESTIONS FROM MEDIA

ADJOURNMENT

MINUTES
ALTOONA CITY PLANNING COMMISSION
March 4, 2025

MEMBERS PRESENT
Dave Albright, Chairman
Larry Bilotto, Vice-Chairman
Michael Haire – Secretary
Drew Brennan
Peter Folen
Richard Haines
Councilman Jesse Ickes

GUESTS PRESENT
Mackenzie Caron, Regional Planner, Blair Planning

STAFF PRESENT
Sabrina Appel-McMillen – GIS/Land Use Coordinator
Rebecca Brown – Director, Codes and Inspection
Rob Crossman – Interim Director – Public Works
Christopher McQuire – Altoona City Manager
Bette Fischer – Clerical Associate III – Department of Community Development
Diana White – Director, Department of Community Development

The Altoona City Planning Commission (ACPC) held its **Annual** Meeting on March 4, 2025, in the City Hall 4th Floor Common Room, 1301 12th Street, Altoona, PA. Chairman David Albright called the meeting to order at 3:04 PM.

NEW BUSINESS

On January 13, 2025, Mayor Matthew Pacifico reappointed David Albright to the Altoona City Planning Commission for a term of four years. Said term shall expire the first Mondy of January 2029. Reappointment was approved by Council unanimously. There was one unfilled position. Devin Saylor's term expired January 2025. Mayor Matthew Pacifico appointed Peter J. Folen to the Altoona City Planning Commission for a term of four years. Said term shall expire the first Monday of January 2029. Appointment was approved by Council unanimously.

NOMINATION AND ELECTION OF OFFICERS –

Mr. Albright asked for nominations from the floor with subsequent action by the board for the following positions:

1. Chairperson
2. Vice Chairperson
3. Secretary

Motion was made by Mr. Bilotto that the three officers remain as they are:

1. **Chairperson – Mr. David Albright**
2. **Vice Chairperson – Mr. Larry Bilotto**
3. **Secretary – Mr. Micharl Haire.**

Mr. Haire seconded the motion. Motion passed unanimously.

ADJOURNMENT

As there was no more business for the Annual Meeting the meeting was adjourned.

REGULAR MEETING

CALL TO ORDER

PRESENTATION: Matt Ingalls, Pete Lombardi and Thomas Eddington called in virtually to report on the progress of the SALDO and Zoning Ordinance Updates. They will be presenting to Council on March 10, 2025 at 6:00 PM, hosting a Technical Advisory Committee meeting at 10:00 AM on March 11, 2025, and holding a public open house at the Margaret Avenue Training Center that same evening from 5:30 until 7:00 PM. There were no questions or comments from the ACPC members. (Presentation preceded the meetings at the direction of the Chair for the convenience of the presenters.)

PUBLIC COMMENT

Mr. Albright introduced Mr. Chris McGuire the city's new City Manager.

ADMINISTRATIVE ITEMS

1. **Approval of Minutes**
   A motion was made by Mr. Bilotto to approve the February 4, 2025 minutes as read. Mr. Folen seconded the motion. Motion passed unanimously.

2. **2025 Meeting Dates**
   A discussion ensued on the 2025 ACPC Meeting Dates. They are ok as posted. No action was needed.

3. **Nomination and Appointment of Altoona City Planning Commission Board Member to Blighted Property Committee.**
   Ms. Brown and Ms. White explained the Blighted Property Review Committee function to the commission. After some discussion, the board tabled the nomination and appointment until the next meeting.

SUBDIVISION AND LAND DEVELOPMENT APPLICATIONS

1. **South Beach Tanning & Café – 2200 Pleasant Valley Blvd. – Land Development Plan**
   Ms. Appel-McMillen presented a preliminary concept plan and list of waiver requests for discussion only. After discussion, the board directed Ms. Appel-McMillen to inform the developer that there needs to be a concept plan meeting with the owner, the engineer and staff before moving on. No action was taken.

STAFF LEVEL REVIEWS

Ms. Appel-McMillen reviewed the staff level applications that have been received since the February 4, 2025 regular meeting:

a. **Evolution Counseling – 801 S. Kettle Street – Low Impact LD Plan-Approved**. An ADA ramp is proposed to replace the existing entrance stairway. The ramp will be constructed along the rear of the building and an ADA space will also be provided.

SPOT BLIGHT DECLARATION

Ms. Brown reviewed the following properties to be considered for declaration of blight.

2105 Washington Avenue
Owner: Melissa Fluke
2105 Washington Avenue
Altoona, PA 16601

Property is deteriorating, substandard not suitable for rehabilitation. Exterior siding is completely missing, Insulation is showing all around house, brick chimney is falling apart; rear of house is down to the wood. Foundation is starting to crumble on both sides. Shingles are worn and falling off, cornice and fascia are weathered and falling off. Windows are missing and /or broken. Interior is in poor condition. Owner was supposed to sell the property, but never did. She also never put any work into the property, no maintenance to the property. It has been vacant since 2023. Water and Electric are off. Gas is unknown meter is inside house. There are outstanding taxes on the house, 2022 in the amount of $1,166.69, 2023 in the amount of $461.61, and 2024 in the amount of $403.24. The City will have the structure demolished and place a lien on the property for the cost of the service. Appropriate reuse of this property is residential in nature. **Motion was made by Mr. Bilotto to declare this property blighted for demolition with the appropriate use as residential in nature. Councilman Ickes seconded the motion. Motion passed unanimously.**

1006 20th Avenue
Owner: Gerald Friley
2823 Pine Avenue
Altoona, PA 16601

Property is deteriorating, substandard not suitable for rehabilitation. Owner does not have finance to make repairs. House has been vacant for four years. Oner applied for a direct home loan but was denied due to the cost of repairs that need done. Exterior siding is wood and some plastic, weathered and rotted. Foundation is stone and is falling and crumbling. Shingles are falling off. Windows are wood and are old most are still intact. The interior is completely gutted, no wiring or plumbing exist. Utilities are all off. Outstanding taxes for 2024 are $342.65. The City will demolish the structure and place a lien on the property for the cost of the service. Appropriate reuse of this property is residential in nature. **Motion was made by Mr. Brennan to declare this property blighted for demolition with the appropriate use as residential in nature. Mr. Folen seconded the motion. Motion passed unanimously.**

INFORMATIONAL ITEMS

1. **GAEDC Report** – Mr. Bilotto reported that the next meeting is March 26, 2025.

2. **Blair County Planning Commission Report** – Ms. Caron reported that the Blair County Planning Commission had their reorganizational meeting. Todd Lewis is a new member. Mr. Herb Shelow is the interim chairman until July. At that time, Nick Ardizone who is the Secretary will take over as Chair, with Jim Dixon is the Treasurer. The Commission is forming a committee for the Solid Waste Plan and they are still looking for volunteers. If anyone is interested in joining the group please contact her or Sherry Socie at Blair Planning.

COMMISSIONERS FORUM

ADJOURNMENT

There being no further business the **motion was made by Mr. Bilotto to adjourn the meeting at 4:25 PM.**

_____
Signed: Michael Haire, Secretary

PROJECT DESCRIPTION

Sheetz #354 Altoona
Car Wash Rebuild
City of Altoona, Blair County, PA

SMAI Project No. 24-2020

Sheetz, Inc. is proposing to rebuild the car wash facility located adjacent to their convenience store at the intersection of Valley View Boulevard and 17th Street in the City of Altoona, Blair County. The existing car wash and associated site features will be demolished and replaced.

The site is in the highway business commercial (C-HB) zoning district. The surrounding land use is commercial properties. The site is currently being used as a commercial property and has historically been utilized as a commercial property.

The proposed car wash will be 939 square feet, slightly larger than the existing 835 square foot building. All necessary utility services will be replaced for the car wash including natural gas, electric, sewer, and water.

The site will be accessed from the existing Sheetz driveway and existing driveway off Valley View Boulevard. No alterations to vehicular or pedestrian circulation are proposed. The site paving will be replaced, as well as the landscaping and exterior light fixtures. No changes to existing impervious coverage or drainage patterns are proposed.

The site grading will remain the same, with the exception of the areas near the entrance and exit of the car wash building, which will be slightly modified to improve access to the building.

Water and sanitary sewer service will be provided via existing connections to the Altoona Water Authority's systems.

There are no wetlands located on the project site and the site is not located within a FEMA designated flood zone.

The total disturbed area for the proposed project is approximately **0.45 acres**.

The plans approved by the City on December 2, 2003, prepared by Innovative Consulting Group, Inc., indicate that 61 parking spaces are required for the proposed Sheetz convenience store site. There are 61 parking spaces located in the immediate area around the store, and those spaces will not be altered as a result of car wash improvements. Currently, the car wash site has 14 parking spaces. As a result of this project, one parking space will be removed for a total of 13 spaces. Therefore, there will be 13 more spaces than required for the overall site.

ALTOONA CITY PLANNING COMMISSION
LAND DEVELOPMENT APPROVED UNDER THE ALTOONA PLANNING CODE

_____

_____

_____

DATE: _____

SUBJECT TO A PERFORMANCE COVENANT, DATED _____ RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

OTHER PLANS APPLICABLE TO THIS LAND DEVELOPMENT MAY BE ON FILE WITH THE CITY OF ALTOONA CODES & INSPECTIONS DEPARTMENT, ENGINEERING DEPARTMENT, AND PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT.

BLAIR COUNTY PLANNING COMMISSION
REVIEWED BY THE BLAIR COUNTY PLANNING COMMISSION
ON THE _____ DAY OF _____, 2025

_____
SIGNED

SHEETZ, INC.
1915 PLEASANT VALLEY BOULEVARD
ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

SHEETZ #354 ALTOONA
CAR WASH REBUILD

FINAL LAND DEVELOPMENT PLAN

MAINTENANCE OF LANDSCAPING

ALL LANDSCAPING AND IMPROVEMENTS REQUIRED BY SECTION 640-65 OF THE CODE OF CITY OF ALTOONA SHALL BE MAINTAINED AND MUST BE REPLACED IF THE REQUIRED VEGETATION IS DAMAGED, DISEASED, CUT, OR DIES.

OWNERSHIP CERTIFICATION
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BLAIR

ON THIS THE _____ DAY OF _____, 2025, THE UNDERSIGNED, A REPRESENTATIVE OF C.S.P. INVESTMENTS, INC. PERSONALLY APPEARED AND ACKNOWLEDGED THAT C.S.P. INVESTMENTS, INC. ARE THE OWNERS OF TAX PIN #01.08-36.-094.00-000 SHOWN ON THIS PLAN, THAT THE LAND DEVELOPMENT PLAN THEREOF WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, AND DESIRE THE SAME TO BE RECORDED AS SUCH.

_____
SIGNATURE

_____ _____
PRINTED NAME TITLE

NOTARY SEAL
IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL

_____ _____
NOTARY PUBLIC MY COMMISSION EXPIRES

OWNERSHIP CERTIFICATION
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BLAIR

ON THIS THE _____ DAY OF _____, 2025, CLAYTON G. & CASTINE L. ROTT PERSONALLY APPEARED AND ACKNOWLEDGED THAT THEY ARE THE OWNERS OF TAX PIN #01.08-38.-093.00-000 SHOWN ON THIS PLAN, THAT THE LAND DEVELOPMENT PLAN THEREOF WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, AND DESIRE THE SAME TO BE RECORDED AS SUCH.

_____
SIGNATURE – CLAYTON G. ROTT

_____
SIGNATURE – CASTINE L. ROTT

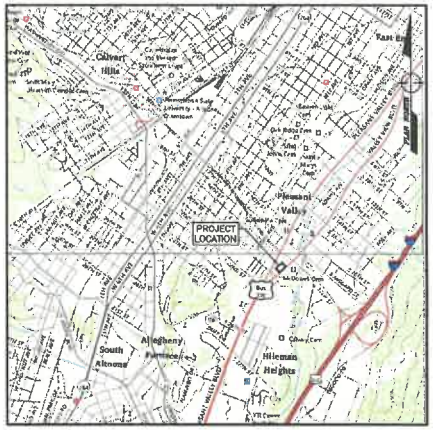
NOTARY SEAL
IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL

_____ _____
NOTARY PUBLIC MY COMMISSION EXPIRES

MARCH 19, 2025

INDEX OF SHEETS

DRAWING	DESCRIPTION
C1	COVER
G1	GENERAL NOTES
E1	EXISTING CONDITIONS PLAN
DR1	DEMOLITION AND REMOVAL PLAN
S1	SITE PLAN
GD1	GRADING PLAN
P1	PROFILES
U1	UTILITY PLAN
L1	LIGHTING PLAN
L2	LANDSCAPING PLAN
O1	OVERLAY PLAN
D1-D3	DETAILS
ES1	EROSION & SEDIMENTATION CONTROL PLAN
ES2	EROSION & SEDIMENTATION CONTROL NOTES
ES3	EROSION & SEDIMENTATION CONTROL DETAILS



ALTOONA & HOLLIDAYSBURG, PENNSYLVANIA, USGS
LOCATION MAP
SCALE: 1" = 2000'

STIFFLER MCGRAW
ENGINEERS • SURVEYORS • ARCHITECTS
1731 N. Juniata Street
Hollidaysburg, PA 16648
Phone: 814.696.6280 Fax: 814.696.6240

COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER GREG T. GEISHAUSER NUMBER PENNSYLVANIA

Stiffler, McGraw & Associates, Inc.

Revisions:

No.	Date	Description
1	03 19 2025	INCORPORATE CITY AND DHMH REVIEW

Sheet Title:
COVER

PROJECT NO.	24-2020
DRAWN BY:	GTG
DESIGNED BY:	GTG
CHECKED BY:	RLB
SCALE:	AS SHOWN

Drawing:
C1

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GENERAL NOTES

1. CURRENT PROPERTY OWNER:
   C.S.P. INVESTMENTS, INC.
   5700 SIXTH AVENUE
   ALTOONA, PA 16602
   TAX PIN #01.06-36.-094.00-000
   INST. #201702922

   CLAYTON G. & CASTINE L. ROTT
   110 OVERLAND PASS
   ALTOONA, PA 16602
   TAX PIN #01.06-36.-093.00-000
   INST. #200707848
2. PROPERTY DEVELOPER:
   SHEETZ, INC.
   5700 SIXTH AVENUE
   ALTOONA, PA 16602
3. PROPOSED USE OF PROPERTY: AUTOMOTIVE SERVICES
4. PROPERTY ZONING: C-HB-"HIGHWAY BUSINESS" COMMERCIAL ZONE
5. REQUIRED BUILDING SETBACKS:
   FRONT = 15 FT.
   SIDE = 10 FT.
   REAR = 10 FT.
6. THE PROJECT INCLUDES NO FACILITIES THAT ARE TO BE DEDICATED TO THE CITY OF ALTOONA.
7. SLANT LETTERING INDICATES EXISTING FEATURES OR FACILITIES.
8. VERTICAL LETTERING INDICATES PROPOSED FEATURES OR FACILITIES.
9. EXISTING TOPOGRAPHIC INFORMATION WAS PROVIDED BY SHEETZ, INC. AND SUPPLEMENTED BY STIFFLER, MCGRAW & ASSOCIATES, INC.
10. ELEVATIONS ARE BASED ON NAVD 88.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING BENCHMARKS, ELEVATIONS, SLOPES AND DIMENSIONAL INFORMATION PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
12. ADJOINING PROPERTIES, RIGHTS-OF-WAY AND PROPERTY OWNERS ARE SHOWN WITH RESPECT TO TAX RECORDS, SURVEYS OF RECORD AND RECORDED DEED INFORMATION, AND DO NOT CONSTITUTE PROPERTY SURVEYS.
13. REFER TO THE EXISTING CONDITIONS PLAN, SHEET E1, FOR EASEMENTS AND PROPERTY METES AND BOUNDS.
14. THE PROPOSED CONSTRUCTION IS LOCATED OUTSIDE THE DESIGNATED FLOOD ZONE ACCORDING TO FEMA MAP NUMBER 42013C0232D, EFFECTIVE MARCH 2, 2012.
15. NO NWI MAPPED WETLANDS ARE PRESENT ON SITE.
16. PERMANENT TRAFFIC SIGNS SHALL BE IN ACCORDANCE WITH PADOT PUB. 236M (HANDBOOK OF APPROVED SIGNS). THE SIZE AND COLOR OF SIGNS WITHIN THE CITY OF ALTOONA'S RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S REQUIREMENTS. ALL TRAFFIC SIGNS SHALL BE MOUNTED ON BREAKAWAY POSTS.
17. THE CONTRACTOR SHALL COORDINATE TRAFFIC CONTROL REQUIREMENTS WITH THE ADJACENT BUSINESSES.
18. SHEETZ, INC. RESERVES THE RIGHT TO REQUIRE COMPACTION TESTING OF THE SUBGRADE/SUBBASE/WEARING COURSE, WITH ALL COSTS PAID BY THE CONTRACTOR.
19. SANITARY SEWER SERVICE WILL BE PROVIDED VIA CONNECTION TO THE ALTOONA WATER AUTHORITY – SEWER DEPARTMENT'S SANITARY SEWER SYSTEM.
20. WATER SERVICE WILL BE PROVIDED VIA CONNECTION TO THE ALTOONA WATER AUTHORITY'S SYSTEM.
21. THE CONTRACTOR SHALL COORDINATE THE LOCATIONS / SCHEDULING OF THE UNDERGROUND GAS, ELECTRIC, TELEPHONE AND CABLE SERVICE MAINS /LINES WITH THE RESPECTIVE UTILITY COMPANY.
22. THE CONTRACTOR SHALL EXERCISE CAUTION AND EMPLOY CAREFUL EXCAVATION METHODS DURING INSTALLATION OF THE FACILITIES TO AVOID DAMAGE TO OR CONFLICT WITH EXISTING FACILITIES AND STRUCTURES. THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS AS NECESSARY TO ASCERTAIN THE HORIZONTAL AND VERTICAL ALIGNMENT OF EXISTING UTILITIES PRIOR TO CONSTRUCTION IN AFFECTED AREAS AND SHALL MAKE APPROPRIATE FIELD ADJUSTMENTS IF CONFLICTS OCCUR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL REQUIRED FIELD ADJUSTMENTS.
23. THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS AND TO ALL OTHER STATE AND FEDERAL REQUIREMENTS AS APPLICABLE.
24. ALL CONSTRUCTION MATERIALS, EQUIPMENT, PROCEDURES AND METHODS SHALL CONFORM TO THE REQUIREMENTS OF PADOT PUB. 408 (SPECIFICATIONS) AND PUB. 72M (STANDARDS FOR ROADWAY CONSTRUCTION), LATEST EDITIONS, UNLESS SPECIFICALLY STATED OTHERWISE.
25. ALL FILL ON THE SITE SHALL BE REASONABLY FREE OF ROOTS OR OTHER WOODY VEGETATION, ORGANIC MATTER, LARGE STONES, COAL OR COAL BLOSSOM, OR OTHER OBJECTIONABLE MATTER. WET, DRY OR FROZEN MATERIAL MAY BE SUITABLE WHEN DRIED, WETTED OR THAWED, RESPECTIVELY. FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8-INCHES (LOOSE) AND SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH PADOT PUB. 408 SECTION 206.3.
26. WATER AND WASTEWATER SERVICE LINES SHALL BE CONSTRUCTED, TESTED AND INSPECTED IN ACCORDANCE WITH THE ALTOONA WATER AUTHORITY'S RULES AND REGULATIONS.
27. PIPE LENGTHS ARE PLAN LENGTHS MEASURED FROM THE INSIDE EDGE OF INLETS AND MANHOLES, AND INCLUDE THE LENGTH OF THE END SECTIONS ON THE ENDS OF CULVERTS AS APPLICABLE.
28. THESE CONSTRUCTION DRAWINGS INCLUDE BY REFERENCE THE "EROSION & SEDIMENTATION CONTROL NARRATIVE" FOR "SHEETZ #354 ALTOONA CAR WASH REBUILD" PROJECT, PREPARED BY STIFFLER, McGRAW & ASSOCIATES, INC.
29. EXTERIOR LIGHTING FOR THE BUILDING/PARKING AREA SHALL INCLUDE SHARP CUTOFF SHIELDS AS NECESSARY TO PREVENT GLARE ABOVE THE LOT AND ON ADJOINING PROPERTIES.
30. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY STIFFLER, McGRAW & ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF THE CITY OF ALTOONA, BLAIR COUNTY, THE APPLICABLE SECTIONS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
31. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
33. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
34. ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS, THAT ARE OUTSIDE OF PENNDOT LEGAL RIGHT-OF-WAY, SHALL BE CONSTRUCTED TO COMPLY WITH THE REQUIREMENTS OF THE U.S. ACCESS BOARD, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) OF THE ACCESSIBILITY GUIDELINES OF BUILDINGS AND FACILITES (ADAAG). PENNDOT DESIGN MANUAL PART 2, CHAPTER 6, AND PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION (PUBLICATION 72M, RC-67M) PROVIDE GUIDANCE ON ADA ACCESSIBLE DESIGN FOR PEDESTRIAN FACILITIES AND CAN BE UTILIZED FOR REFERENCE.
35. STIFFLER, MCGRAW & ASSOCIATES, INC. (SMA) MUST BE CONSULTED PRIOR TO FIELD ADJUSTMENTS DURING CONSTRUCTION. SMA WILL NOT ACCEPT RESPONSIBILITY FOR ANY CONDITIONS WHICH DEVIATE FROM THOSE DEPICTED ON THESE PLANS. SMA WILL NOT BE RESPONSIBLE FOR THE IMPLEMENTATION OF THESE PLANS IF NOT NOTIFIED OF CHANGES DURING CONSTRUCTION.
36. ALL STORM SEWER MANHOLE COVERS INSTALLED THRU THIS PROJECT SHALL BE STAMPED "STORM."
37. ALL EXISTING UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE QUALITY LEVEL "D" DATA.

PUBLIC UTILITY ACT 38 COMPLIANCE
AREA COVERED BY ONE CALL:

SERIAL NUMBER: 20250211944

USER	STATEMENT
CITY OF ALTOONA 1301 12TH ST, SUITE 300 ALTOONA, PA. 16601 CONTACT: KEVIN BECHTEL EMAIL: KBECHTEL@ALTOONAPA.GOV PHONE: 814-949-2454	CLEAR - NO FACILITIES
ALTOONA WATER AUTHORITY-WASTE WATER DIVISION 144 WESTERLY TREATMENT PLANT RD DUNCANSVILLE, PA 16635 CONTACT: PRESTON WILSON EMAIL: PWILSON@ALTOONAWATER.GOV PHONE: 814-574-6595	FIELD MARKED
ALTOONA WATER AUTHORITY-WATER DIVISION 832 20TH ST ALTOONA, PA 16601 CONTACT: RICK MCPHEE EMAIL: RMCPHEE@ALTOONAWATER.GOV PHONE: 814-935-3877	FIELD MARKED
COMCAST 250 REESE ROAD STATE COLLEGE, PA 16801 CONTACT: ROBERT LINGAFELT EMAIL: ROBERT_LINGAFELTIII@CABLE.COMCAST.COM PHONE: 814-769-9397	ENGINEERING COMPLETED
PENNSYLVANIA ELECTRIC CO 21 S. MAIN STREET AKRON, OH 44308 CONTACT: MELLYSSA ADAMS EMAIL: MADAMS@FIRSTENERGYCORP.COM PHONE: 330-604-4073	ENGINEERING COMPLETED
PEOPLES GAS COMPANY LLC 375 N. SHORE DR PITTSBURG, PA 15212 CONTACT: TODD COEN EMAIL: TODD.COEN@PEOPLES-GAS.COM PHONE: 412-258-4415	ENGINEERING COMPLETED
VERIZON PENNSYLVANIA LLC 40 S MERCER ST. NEW CASTLE, PA 16101 CONTACT: TRICIA JACOBS EMAIL: TRICIA.L.JACOBS@VERIZON.COM PHONE: 724-656-5224	NO RESPONSE

NOTES:

1. PURSUANT TO THE PROVISIONS OF PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 50 OF 2017, PENNSYLVANIA LEGISLATURE, STIFFLER, MCGRAW & ASSOCIATES, INC. HAS INSPECTED OR OBTAINED A LIST OF USERS, AS PRESCRIBED BY SECTION 3 OF SAID ACT WITHIN THE POLITICAL SUBDIVISIONS INVOLVED IN THIS PROJECT. INFORMATION ON THE POSITION AND TYPE OF EACH UNDERGROUND LINE WAS REQUESTED NOT LESS THAN TEN (10), NOR MORE THAN NINETY (90), DAYS PRIOR TO THE COMPLETION OF FINAL DESIGN. EXISTING UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE BASED ON THE INFORMATION PROVIDED BY THE USERS.
2. STIFFLER, MCGRAW & ASSOCIATES, INC., AND SHEETZ, INC. DO NOT GUARANTEE THE PRESENCE, LOCATION, OR DEPTH OF ANY PUBLIC OR PRIVATE UNDERGROUND UTILITY OR STRUCTURE WHICH MAY OR MAY NOT BE SHOWN ON THESE PLANS.
3. PENNSYLVANIA ONE CALL SYSTEM, INC. (1-800-242-1776) SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 3 BUSINESS DAYS BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO ACTUAL EXCAVATION START FOR VERIFICATION AND MARKOUT OF EXISTING UTILITIES.
4. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PUBLIC UTILITY ACT NO. 181 OF DECEMBER 18, 2008.

TYPICAL LEGEND

TYPICAL LEGEND NOTE: SOME TYPICAL SYMBOLS MAY NOT APPLY ON THIS PROJECT.

EXISTING

WATER
- WATER/ABANDONED LINE
- WELL
- FIRE HYDRANT
- WATER VALVE
- WATER TAP
- WATER METER
- METER PIT
- AIR VACUUM RELEASE
- BLOW OFF
- REDUCER
- WATER TANK

STORM SEWER
- STORM SEWER
- INLET/CATCH BASIN
- CULVERT PIPE
- CIRCULAR CATCH BASIN
- STORM MANHOLE

SANITARY SEWER
- SEWER
- FORCE MAIN
- LOW PRESSURE
- SEWER MH
- CLEANOUT
- PUMP STATION
- GRINDER PUMP
- WET WELL

GAS
- GAS LINE
- HIGH PRESSURE PETROLEUM PIPE
- PETROLEUM LINE
- GAS WELL
- GAS METER
- GAS MARKER
- GAS VALVE
- GAS TAP

ELECTRIC
- UNDERGROUND ELECTRIC
- ELECTRIC LINE
- ELECTRIC MH
- TRANSFORMER
- GUY WIRE
- TRAFFIC LIGHT
- BELL MH
- LIGHT POST

SURVEY
- BOUNDARY LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- PROPERTY LEASE LINE
- BOROUGH OR TOWNSHIP LINE
- COUNTY LINE
- STATE LINE
- IRON PIN/PIPE FOUND (UNLESS NOTED OTHERWISE)
- MONUMENT
- STONE PILE
- FENCE POST
- POST
- PERK HOLE
- TEST PIT
- BLAZED TREE
- WITNESS TREE

COMMUNICATIONS
- CABLE TV
- TELEPHONE LINE

GENERAL EXISTING
- UTILITY POLE
- MARSH/WETLAND
- PARKING METER
- SEGMENT MARKER
- DOUBLE POLE SIGN
- SINGLE POLE SIGN
- HANDICAP PARKING
- MISC. SIGN
- POST
- LIGHT POST
- MAIL BOX
- LARGE TREE
- SMALL TREE
- SHRUB
- MISC. TREE
- LARGE PINE
- SMALL PINE
- MISC. TREES AND SHRUBS
- MISC. FENCE
- RETAINING WALL
- STONE WALL/FENCE
- GUIDE RAIL
- TREELINE
- SHRUBLINE
- MAJOR CONTOUR
- MINOR CONTOUR
- BUILDING/HOUSE
- BUILDING TO BE SERVED
- SPOT ELEVATION
- SOILS BOUNDARY
- AgB SOIL CLASSIFICATION
- FLOOD PLAIN
- FLOODWAY
- Tc TIME OF CONCENTRATION
- WETLAND BOUNDARY

PROPOSED

WATER
- W WATER LINE
- WELL
- FIRE HYDRANT
- WATER VALVE
- WATER TAP
- WATER METER
- METER PIT
- AIR VACUUM RELEASE
- BLOW OFF
- REDUCER
- WATER TANK

STORM SEWER
- STORM SEWER
- INLET NUMBER
- INLET/MANHOLE
- CULVERT PIPE

SANITARY SEWER
- S SANITARY SEWER LINE
- FORCE MAIN
- LOW PRESSURE
- SANITARY SEWER MANHOLE
- CLEANOUT
- PUMP STATION
- WET WELL
- GRINDER PUMP

SURVEY
- PROPERTY/SUBDIVISION LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- 5/8" REBAR WITH CAP SET (UNLESS NOTED OTHERWISE)
- TRAVERSE SPUR
- TRAVERSE POINT
- PERC HOLE
- TEST PIT
- MONUMENT
- BENCHMARK

GENERAL PROPOSED
- DRIP LINE OF TREES
- INDICATES PROPERTY NUMBER
- INDICATES PROPERTY NUMBER WITH EASEMENT TAKE
- FENCE
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- HANDICAP PARKING
- +100.00 SPOT ELEVATION
- 1000 PROPOSED CONTOUR (MAJOR)
- 1001 PROPOSED CONTOUR (MINOR)
- G GAS LINE
- E,T,C ELECT., TELE., CABLE

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COMMONWEALTH OF PENNSYLVANIA — REGISTERED PROFESSIONAL ENGINEER — GREG T. GEISHAUSER

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5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #354 ALTOONA
CAR WASH REBUILD

1915 PLEASANT VALLEY BOULEVARD
ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

Revisions:

No.	Date	Description
1	03.19.2025	UPDATES PER CITY AND OTHER REVIEW

Sheet Title:

GENERAL NOTES

PROJECT NO.	24-2020
DRAWN BY:	OTO
DESIGNED BY:	OTO
CHECKED BY:	ELB
SCALE:	AS SHOWN

Drawing:

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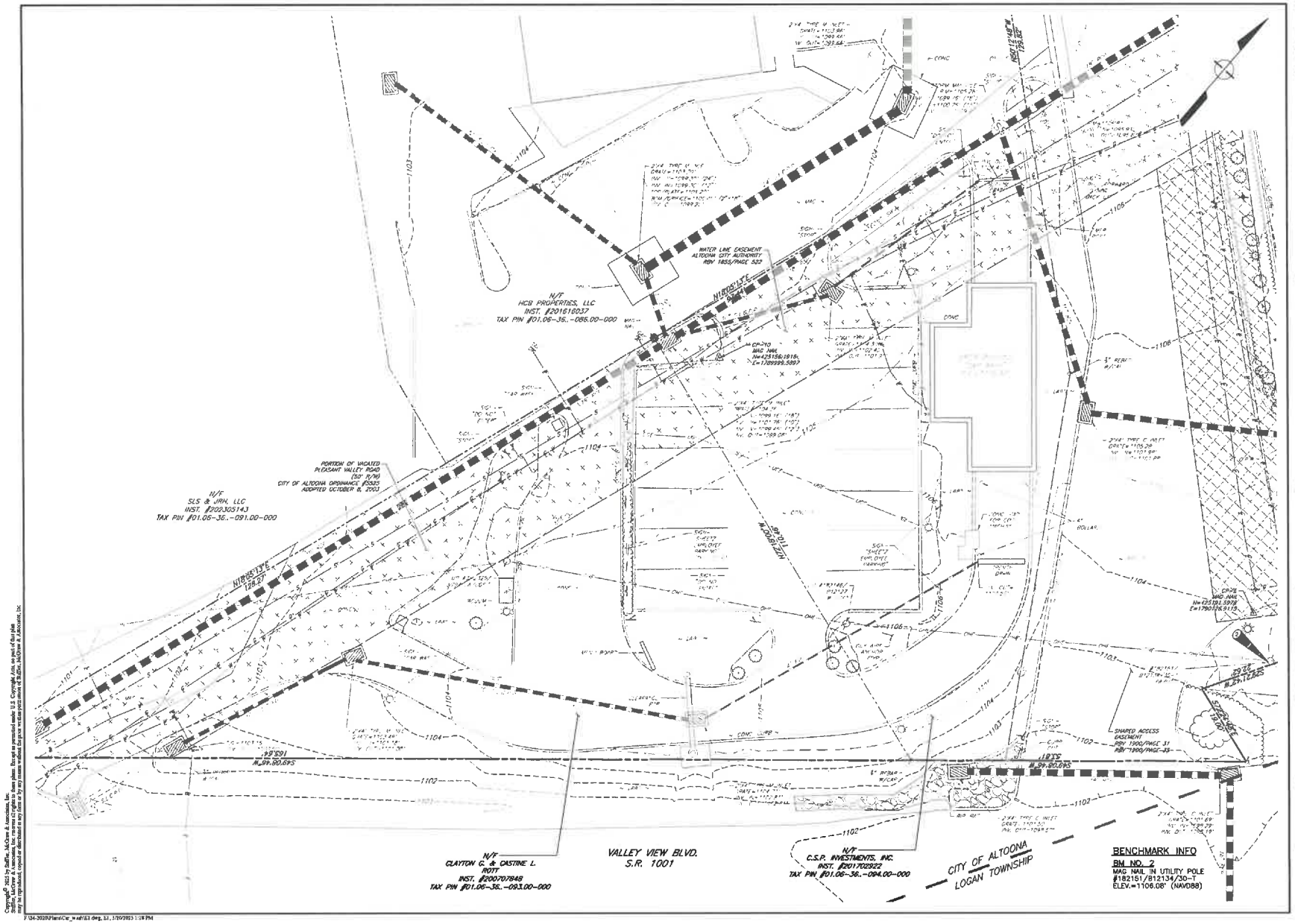

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PROFESSIONAL ENGINEER
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PENNSYLVANIA

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MARCH 19, 2025

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1	03.19.2025	REVISED PER CITY AND OWNER REVIEW

Sheet Title:

EXISTING CONDITIONS PLAN

PROJECT NO.	24-2020
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SCALE	AS SHOWN

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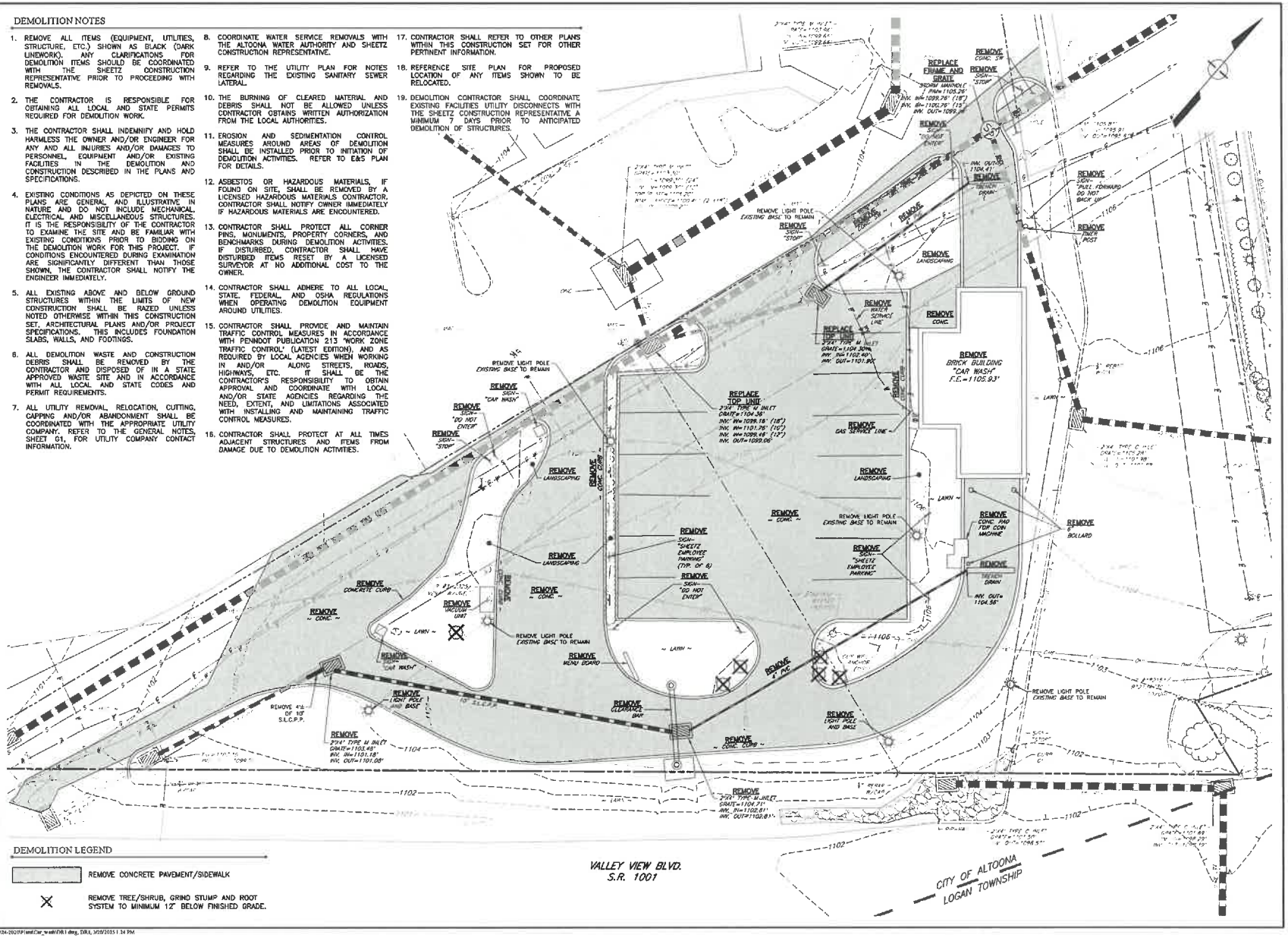
DEMOLITION NOTES

1. REMOVE ALL ITEMS (EQUIPMENT, UTILITIES, STRUCTURE, ETC.) SHOWN AS BLACK (DARK LINEWORK). ANY CLARIFICATIONS FOR DEMOLITION ITEMS SHOULD BE COORDINATED WITH THE SHEETZ CONSTRUCTION REPRESENTATIVE PRIOR TO PROCEEDING WITH REMOVALS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
4. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
5. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
6. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
7. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. REFER TO THE GENERAL NOTES, SHEET G1, FOR UTILITY COMPANY CONTACT INFORMATION.
8. COORDINATE WATER SERVICE REMOVALS WITH THE ALTOONA WATER AUTHORITY AND SHEETZ CONSTRUCTION REPRESENTATIVE.
9. REFER TO THE UTILITY PLAN FOR NOTES REGARDING THE EXISTING SANITARY SEWER LATERAL.
10. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR OBTAINS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
11. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO E&S PLAN FOR DETAILS.
12. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
13. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
14. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
15. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PENNDOT PUBLICATION 213 'WORK ZONE TRAFFIC CONTROL' (LATEST EDITION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
16. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
17. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
18. REFERENCE SITE PLAN FOR PROPOSED LOCATION OF ANY ITEMS SHOWN TO BE RELOCATED.
19. DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE SHEETZ CONSTRUCTION REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.



DEMOLITION LEGEND

REMOVE CONCRETE PAVEMENT/SIDEWALK

REMOVE TREE/SHRUB, GRIND STUMP AND ROOT SYSTEM TO MINIMUM 12" BELOW FINISHED GRADE.

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COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER GREG T. GOSHAUSER PENNSYLVANIA

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Owner:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
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CAR WASH REBUILD

1915 PLEASANT VALLEY BOULEVARD
ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

GRAPHIC SCALE
10 0 5 10 20
(IN FEET)

Revisions:

No.	Date	Description
1	03.19.2025	ISSUED FOR CITY AND OWNER REVIEW

Sheet Title:
DEMOLITION AND REMOVAL PLAN

PROJECT NO.	24-2020
DRAWN BY:	GTG
DESIGNED BY:	GTG
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SCALE	AS SHOWN

Drawing:
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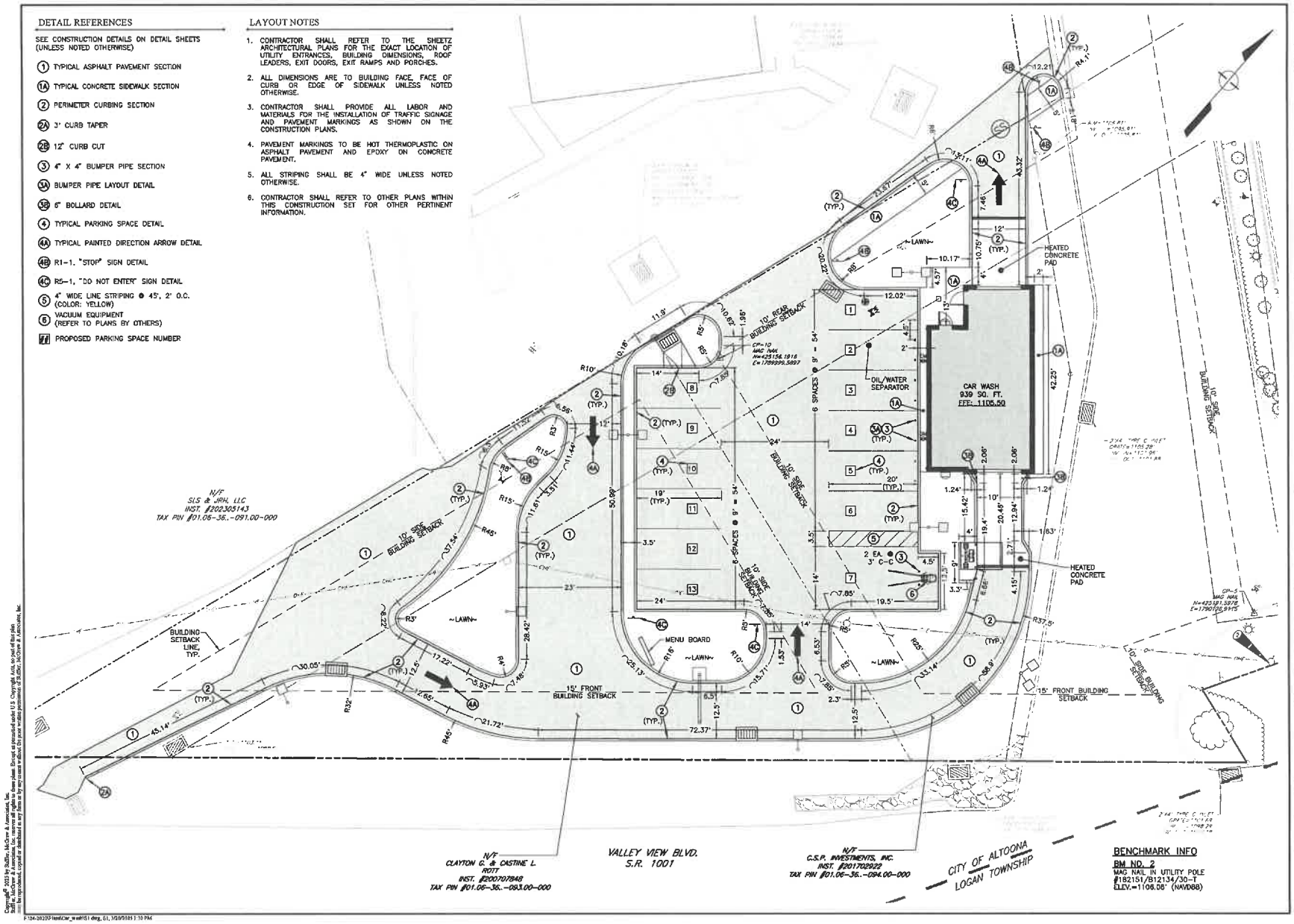
DETAIL REFERENCES

SEE CONSTRUCTION DETAILS ON DETAIL SHEETS (UNLESS NOTED OTHERWISE)

- (1) TYPICAL ASPHALT PAVEMENT SECTION
- (1A) TYPICAL CONCRETE SIDEWALK SECTION
- (2) PERIMETER CURBING SECTION
- (2A) 3' CURB TAPER
- (2B) 12' CURB CUT
- (3) 4" X 4" BUMPER PIPE SECTION
- (3A) BUMPER PIPE LAYOUT DETAIL
- (3B) 6" BOLLARD DETAIL
- (4) TYPICAL PARKING SPACE DETAIL
- (4A) TYPICAL PAINTED DIRECTION ARROW DETAIL
- (4B) R1-1, "STOP" SIGN DETAIL
- (4C) R5-1, "DO NOT ENTER" SIGN DETAIL
- (5) 4" WIDE LINE STRIPING @ 45°, 2' O.C. (COLOR: YELLOW)
- (6) VACUUM EQUIPMENT (REFER TO PLANS BY OTHERS)
- PROPOSED PARKING SPACE NUMBER

LAYOUT NOTES

1. CONTRACTOR SHALL REFER TO THE SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
4. PAVEMENT MARKINGS TO BE HOT THERMOPLASTIC ON ASPHALT PAVEMENT AND EPOXY ON CONCRETE PAVEMENT.
5. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



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COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL GREG T. GEISHAUSER ENGINEER

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ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

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10 0 5 10 20
(IN FEET)

Revisions:

No.	Date	Description
1	03 19 2025	REVIEW

Sheet Title:

SITE PLAN

PROJECT NO.	24-2020
DRAWN BY:	GTG
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SCALE:	AS SHOWN

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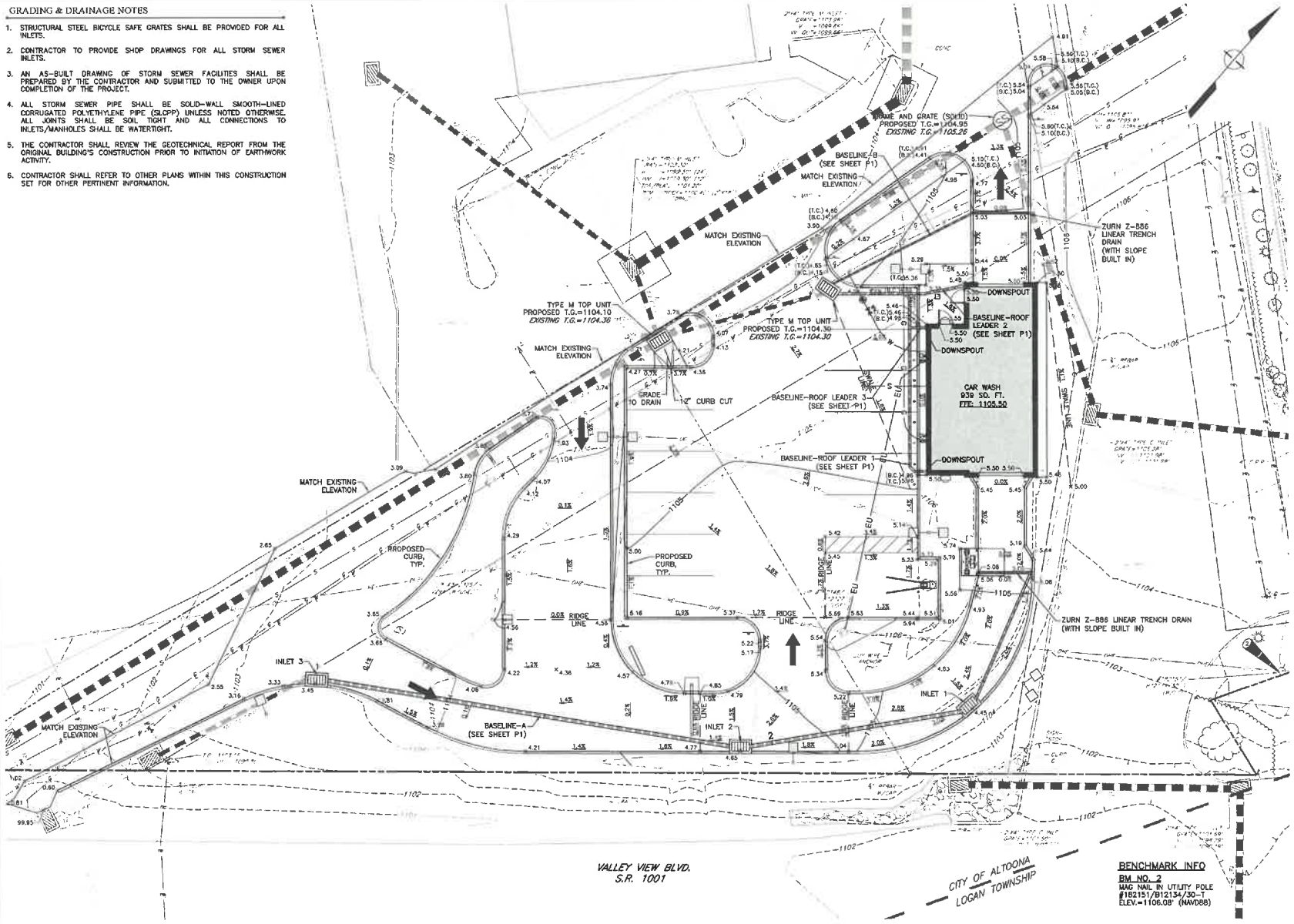
GRADING & DRAINAGE NOTES

1. STRUCTURAL STEEL BICYCLE SAFE GRATES SHALL BE PROVIDED FOR ALL INLETS.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL STORM SEWER INLETS.
3. AN AS-BUILT DRAWING OF STORM SEWER FACILITIES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
4. ALL STORM SEWER PIPE SHALL BE SOLID-WALL SMOOTH-LINED CORRUGATED POLYETHYLENE PIPE (SLCPP) UNLESS NOTED OTHERWISE. ALL JOINTS SHALL BE SOIL TIGHT AND ALL CONNECTIONS TO INLETS/MANHOLES SHALL BE WATERTIGHT.
5. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT FROM THE ORIGINAL BUILDING'S CONSTRUCTION PRIOR TO INITIATION OF EARTHWORK ACTIVITY.
6. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



BENCHMARK INFO
BM NO. 2
MAG NAIL IN UTILITY POLE #182151/812134/30-T
ELEV.=1106.08' (NAVD88)

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REGISTERED PROFESSIONAL ENGINEER
GREG T. GEISHAUSER
COMMONWEALTH OF PENNSYLVANIA

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MARCH 19, 2025

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Revisions:

No.	Date	Description
1	03.19.2025	UPDATE PER CITY AND OPWRE REVIEW

Sheet Title:

GRADING PLAN

PROJECT NO.	24-2020
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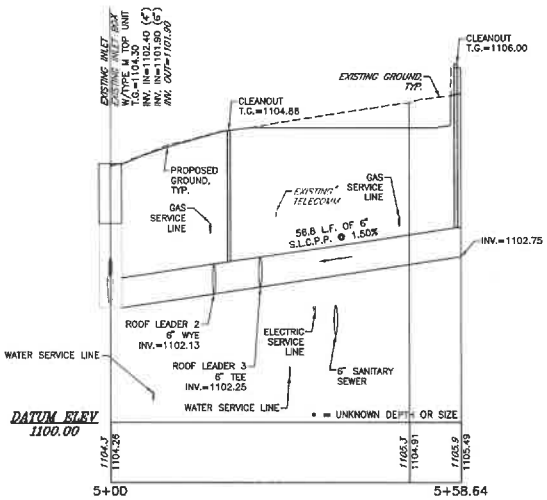
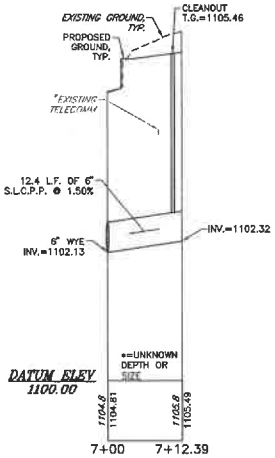
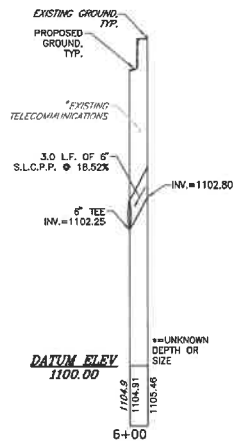


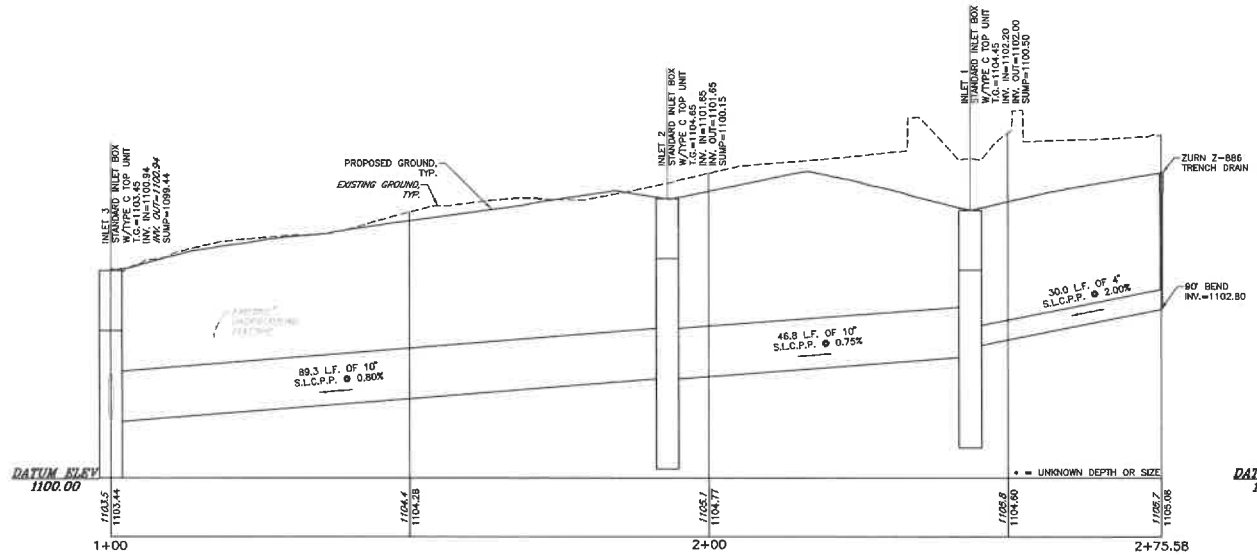
BASELINE – ROOF LEADER 1



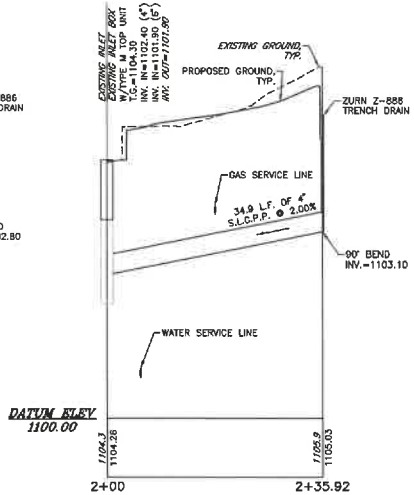
BASELINE – ROOF LEADER 2



BASELINE – ROOF LEADER 3



BASELINE – A



BASELINE – B

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BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

GRAPHIC SCALE
(IN FEET – HORIZONTAL)
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(IN FEET – VERTICAL)
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No.	Date	Description
1	03.19.2025	PRELIMINARY FOR CITY AND OWNER REVIEW

Sheet Title:

PROFILES

PROJECT NO.	24-2020
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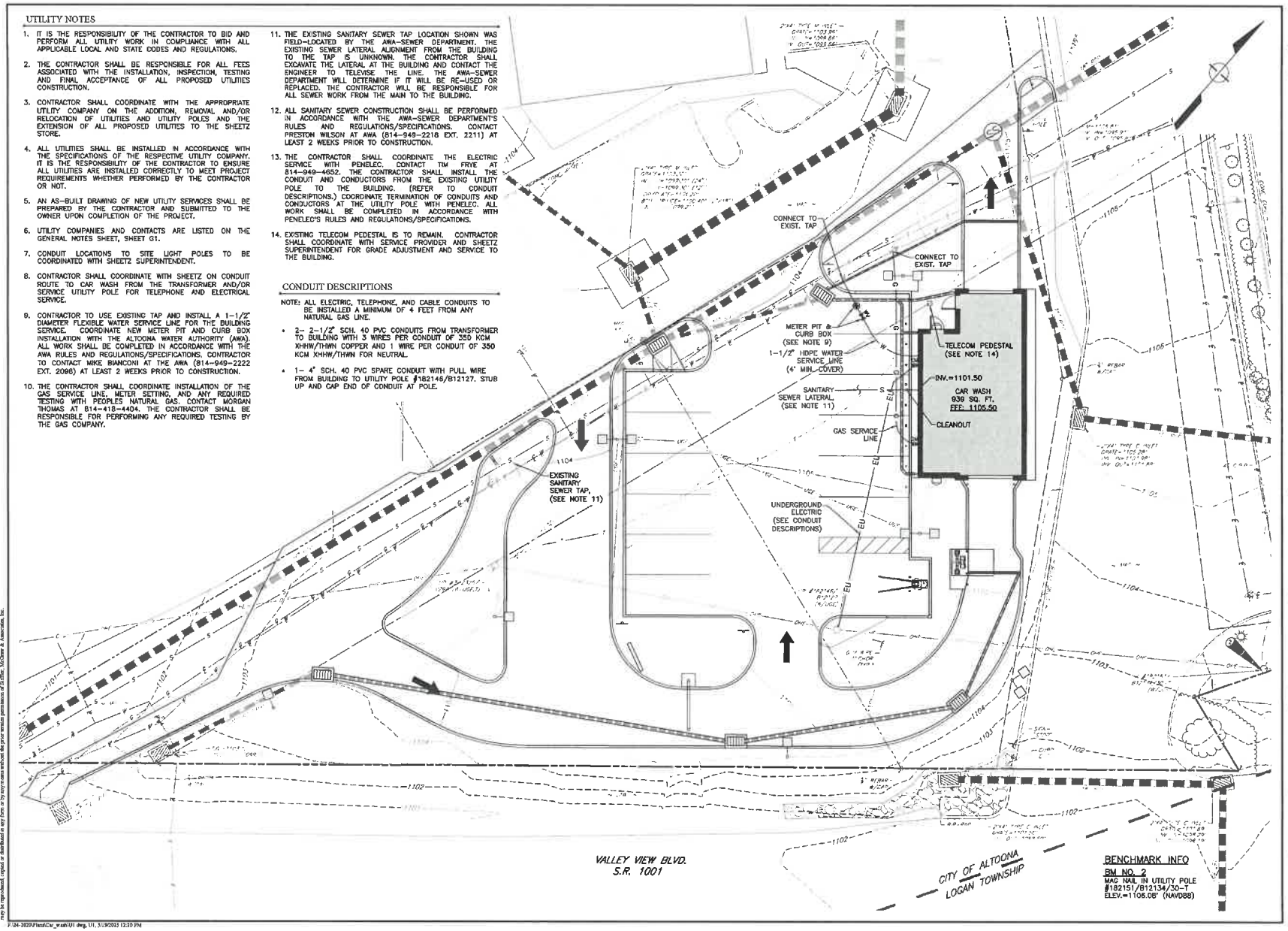
UTILITY NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE SHEETZ STORE.
4. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
5. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
6. UTILITY COMPANIES AND CONTACTS ARE LISTED ON THE GENERAL NOTES SHEET, SHEET G1.
7. CONDUIT LOCATIONS TO SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ SUPERINTENDENT.
8. CONTRACTOR SHALL COORDINATE WITH SHEETZ ON CONDUIT ROUTE TO CAR WASH FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICE.
9. CONTRACTOR TO USE EXISTING TAP AND INSTALL A 1-1/2" DIAMETER FLEXIBLE WATER SERVICE LINE FOR THE BUILDING SERVICE. COORDINATE NEW METER PIT AND CURB BOX INSTALLATION WITH THE ALTOONA WATER AUTHORITY (AWA). ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE AWA RULES AND REGULATIONS/SPECIFICATIONS. CONTRACTOR TO CONTACT MIKE BIANCONI AT THE AWA (814-949-2222 EXT. 2096) AT LEAST 2 WEEKS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF THE GAS SERVICE LINE, METER SETTING, AND ANY REQUIRED TESTING WITH PEOPLES NATURAL GAS. CONTACT MORGAN THOMAS AT 814-418-4404. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY REQUIRED TESTING BY THE GAS COMPANY.
11. THE EXISTING SANITARY SEWER TAP LOCATION SHOWN WAS FIELD-LOCATED BY THE AWA-SEWER DEPARTMENT. THE EXISTING SEWER LATERAL ALIGNMENT FROM THE BUILDING TO THE TAP IS UNKNOWN. THE CONTRACTOR SHALL EXCAVATE THE LATERAL AT THE BUILDING AND CONTACT THE ENGINEER TO TELEVISE THE LINE. THE AWA-SEWER DEPARTMENT WILL DETERMINE IF IT WILL BE RE-USED OR REPLACED. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEWER WORK FROM THE MAIN TO THE BUILDING.
12. ALL SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE AWA-SEWER DEPARTMENT'S RULES AND REGULATIONS/SPECIFICATIONS. CONTACT PRESTON WILSON AT AWA (814-949-2218 EXT. 2211) AT LEAST 2 WEEKS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR SHALL COORDINATE THE ELECTRIC SERVICE WITH PENELEC. CONTACT TIM FRYE AT 814-949-4652. THE CONTRACTOR SHALL INSTALL THE CONDUIT AND CONDUCTORS FROM THE EXISTING UTILITY POLE TO THE BUILDING. (REFER TO CONDUIT DESCRIPTIONS.) COORDINATE TERMINATION OF CONDUITS AND CONDUCTORS AT THE UTILITY POLE WITH PENELEC. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH PENELEC'S RULES AND REGULATIONS/SPECIFICATIONS.
14. EXISTING TELECOM PEDESTAL IS TO REMAIN. CONTRACTOR SHALL COORDINATE WITH SERVICE PROVIDER AND SHEETZ SUPERINTENDENT FOR GRADE ADJUSTMENT AND SERVICE TO THE BUILDING.

CONDUIT DESCRIPTIONS

NOTE: ALL ELECTRIC, TELEPHONE, AND CABLE CONDUITS TO BE INSTALLED A MINIMUM OF 4 FEET FROM ANY NATURAL GAS LINE.

- 2- 2-1/2" SCH. 40 PVC CONDUITS FROM TRANSFORMER TO BUILDING WITH 3 WIRES PER CONDUIT OF 350 KCM XHHW/THWN COPPER AND 1 WIRE PER CONDUIT OF 350 KCM XHHW/THWN FOR NEUTRAL.
- 1- 4" SCH. 40 PVC SPARE CONDUIT WITH PULL WIRE FROM BUILDING TO UTILITY POLE #182146/B12127. STUB UP AND CAP END OF CONDUIT AT POLE.



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COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL GREG T. GEISHAUSER ENGINEER

Stiffler, McGraw & Associates, Inc.

Owner:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #354 ALTOONA
CAR WASH REBUILD

1915 PLEASANT VALLEY BOULEVARD
ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

GRAPHIC SCALE
10 0 5 10 20
(IN FEET)

Revisions:

No.	Date	Description
1	03.19.2025	UPDATED PER CITY AND OWNER REVIEW

Sheet Title:

UTILITY PLAN

PROJECT NO.	24-2020
DRAWN BY:	GTG
DESIGNED BY:	GTG
CHECKED BY:	ELB
SCALE	AS SHOWN

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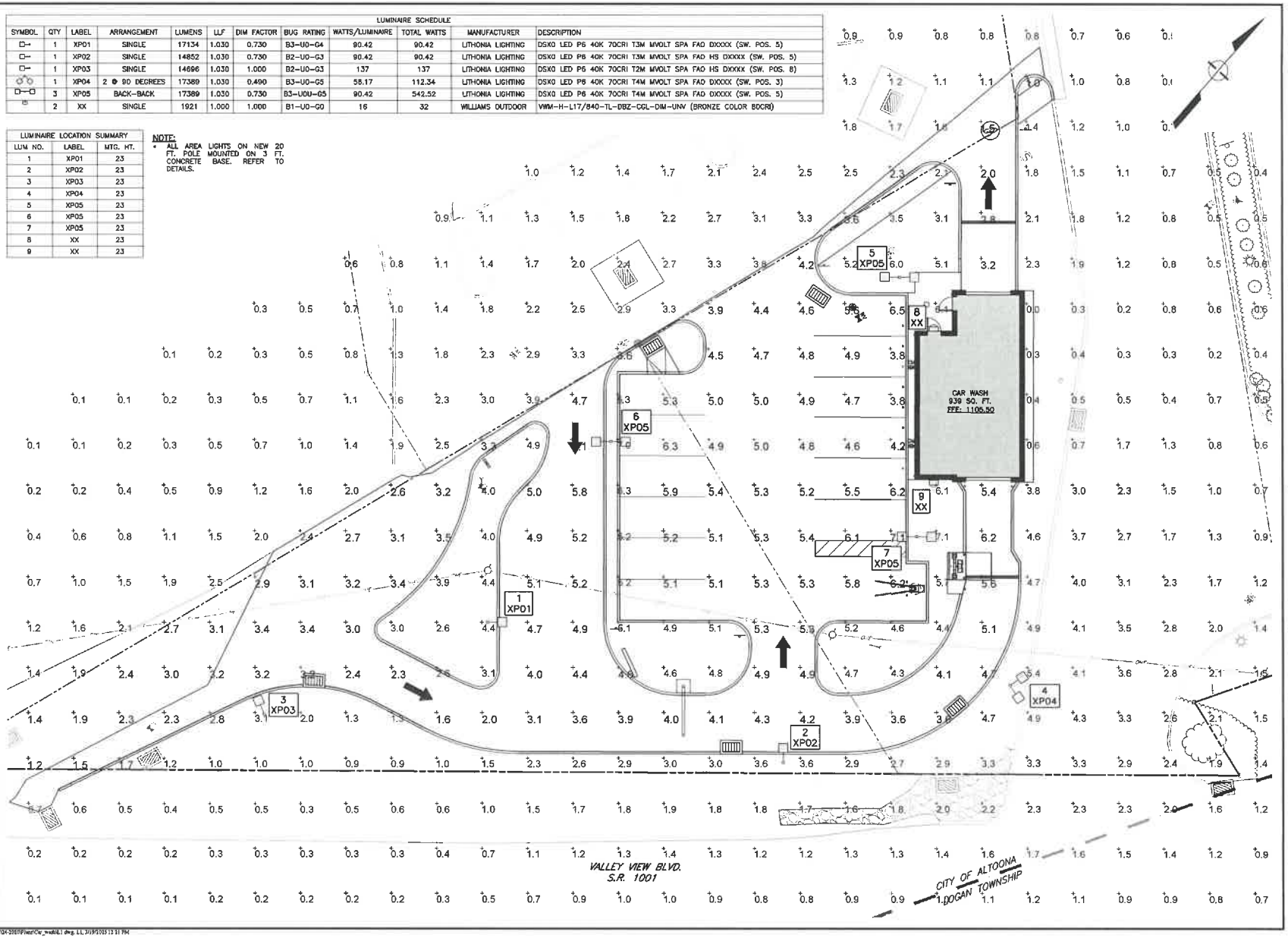
LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DIM FACTOR	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	1	XP01	SINGLE	17134	1.030	0.730	B3-U0-G4	90.42	90.42	LITHONIA LIGHTING	DSXO LED P6 40K 70CRI T3M MVOLT SPA FAD DXXXX (SW. POS. 5)
	1	XP02	SINGLE	14852	1.030	0.730	B2-U0-G3	90.42	90.42	LITHONIA LIGHTING	DSXO LED P6 40K 70CRI T3M MVOLT SPA FAD HS DXXXX (SW. POS. 5)
	1	XP03	SINGLE	14696	1.030	1.000	B2-U0-G3	137	137	LITHONIA LIGHTING	DSXO LED P6 40K 70CRI T2M MVOLT SPA FAD HS DXXXX (SW. POS. 8)
	1	XP04	2 @ 90 DEGREES	17389	1.030	0.490	B3-U0-G5	56.17	112.34	LITHONIA LIGHTING	DSXO LED P6 40K 70CRI T4M MVOLT SPA FAD DXXXX (SW. POS. 3)
	3	XP05	BACK-BACK	17389	1.030	0.730	B3-U0U-G5	90.42	542.52	LITHONIA LIGHTING	DSXO LED P6 40K 70CRI T4M MVOLT SPA FAD DXXXX (SW. POS. 5)
	2	XX	SINGLE	1921	1.000	1.000	B1-U0-G0	16	32	WILLIAMS OUTDOOR	WWM-H-L17/840-TL-DBZ-CGL-DIM-UNV (BRONZE COLOR BDCRI)

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	XP01	23
2	XP02	23
3	XP03	23
4	XP04	23
5	XP05	23
6	XP05	23
7	XP05	23
8	XX	23
9	XX	23

NOTE:
- ALL AREA LIGHTS ON NEW 20 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE. REFER TO DETAILS.



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LIGHTING PLAN

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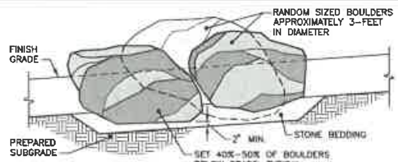


NOTE:
THE DESIGN INTENT IS TO RESEMBLE STONE/ BOULDER OUTCROP FORMATIONS AS SEEN IN THE NATURAL ENVIRONMENT.

BOULDER OUTCROP
N.T.S.

PLANTING TABLE

	KEY	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE / CONDITION	NOTES
SHRUBS	FG	Fothergilla gardenii	Dwarf Fothergilla	4	18"-24" HT. / #3 CONT.	
	JS	Juniperus squamata 'Blue Star'	Blue Star Juniper	14	24" WIDE / #3 CONT.	
	TO	Thuja occidentalis 'Reingold'	Eastern Arborvitae	6	24"-36" HT. / #5 CONT.	
HERBACEOUS	PV	Panicum virgatum 'Shenandoah'	Red Switch-Grass	4	#1 CONT.	
	PS	Phlox subulata	Creeping Phlox	20	#1 CONT.	Mix pink & purple flowering plants
	TR	Tradescantia ohiensis	Ohio Spiderwort	14	#1 CONT.	

XX — PLANT TYPE (SEE PLANTING TABLE)
— NUMBER OF PLANTS

LANDSCAPING NOTES

SITE PREPARATION:

1. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AS WELL AS EXISTING LAWN AREAS AND PLANTINGS FROM DAMAGE CAUSED BY LANDSCAPING OPERATIONS.
2. ENSURE ALL EROSION AND SEDIMENT CONTROLS ARE IN PLACE PRIOR TO LANDSCAPING.
3. VERIFY ACTUAL GRADE ELEVATIONS, SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF PLANTINGS AND CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS PRIOR TO LANDSCAPING OPERATIONS.

PLANT MATERIALS:

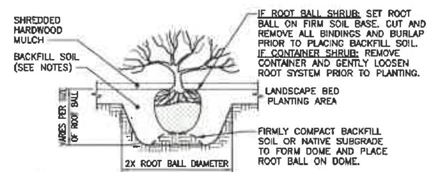
1. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANTING TABLE SHOWN ON THE CONSTRUCTION DRAWINGS AND COMPLYING WITH ANSI Z60.1; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
2. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 FOR TYPES AND FORM OF PLANTS REQUIRED.
3. PLANTS (OR AT LEAST ONE PLANT PER BUNDLE) SHALL BE LABELED WITH NOT LESS THAN THE PLANT'S BOTANICAL AND COMMON NAME.
4. WARRANTY: INSTALLER AGREES TO REPAIR OR REPLACE PLANTINGS AND ACCESSORIES THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN SPECIFIED WARRANTY PERIOD.
   A. FAILURES INCLUDE: DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM ABUSE, LACK OF ADEQUATE MAINTENANCE, OR NEGLECT BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL, STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER, ETC.
   B. WARRANTY PERIODS:
      - TREES, SHRUBS AND HERBACEOUS PLANTS: 12 MONTHS FROM DATE OF PLANTING COMPLETION.
      - SOD: 12 MONTHS FROM DATE OF INSTALLATION.
   C. INCLUDE THE FOLLOWING REMEDIAL ACTIONS AS A MINIMUM:
      - IMMEDIATELY REMOVE DEAD PLANTS AND REPLACE UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
      - REPLACE PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
      - A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
      - PROVIDE EXTENDED WARRANTY FOR PERIOD EQUAL TO ORIGINAL WARRANTY PERIOD, FOR REPLACED PLANT MATERIAL.

TURFGRASS SOD:

1. HARVEST, DELIVER, STORE, AND HANDLE SOD IN ACCORDANCE WITH TPI GUIDELINES AND REGULATIONS. DELIVER SOD IN TIME FOR PLANTING WITHIN 24 HOURS OF HARVESTING. PROTECT SOD FROM BREAKING, DAMAGING AND DRYING.
2. PROVIDE VIABLE SOD OF UNIFORM DENSITY, TEXTURE AND COLOR; STRONGLY ROOTED AND CAPABLE OF VIGOROUS GROWN AND DEVELOPMENT WHEN PLANTED.
3. TURFGRASS SPECIES: SOD OF GRASS SPECIES AS FOLLOWS WITH NOT LESS THAN 95% GERMINATION, NOT LESS THAN 85% PURE SEED, AND NOT MORE THAN 1% WEED SEED.
   A. FULL SUN: KENTUCKY BLUEGRASS (POA PRATENSIS), MINIMUM OF 3 CULTIVARS.
   B. SUN AND PARTIAL SHADE: PROPORTIONED AS FOLLOWS:
      - 50% KENTUCKY BLUEGRASS (POA PRATENSIS)
      - 30% CHEWINGS RED FESCUE (FESTUCA RUBRA VARIETY)
      - 10% PERENNIAL RYEGRASS (LOLIUM PERENNE)
      - 10% REDTOP (AGROSTIS ALBA)

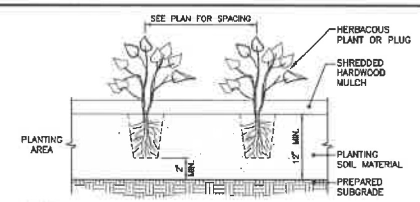
EXECUTION:

1. LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4-INCHES. REMOVE STONES LARGER THAN 2-INCHES IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF-SITE.
2. EXAMINE AREAS TO BE PLANTED FOR COMPLIANCE WITH REQUIREMENTS AND OTHER CONDITIONS AFFECTING PERFORMANCE:
   A. SOIL SHALL BE FREE FROM ANY HAZARDOUS BUILDING MATERIALS, CLAY LUMPS, STONES LARGER THAN 1-INCH, WOOD, TRASH, WEEDS, ROOTS, ETC.
   B. DO NOT PLACE OR MIX SOIL IN FROZEN, WET OR MUDDY CONDITIONS.
   C. SOIL SHOULD BE WORKABLE, NOT SATURATED OR EXCESSIVELY DRY.
3. SPREAD PLANTING SOIL TO DEPTHS AS FOLLOWS. REDUCE ELEVATION OF PLANTING SOIL IN LAWN AREAS TO ALLOW FOR SOIL THICKNESS OF SOD:
   A. SOD AREAS: 6-INCHES
   B. PLANTING AREAS: 12-INCHES
4. IF PLANTING SOD IN AREAS UNDISTURBED BY CONSTRUCTION, PERFORM THE FOLLOWING:
   A. REMOVE EXISTING GRASS AND VEGETATION. DO NOT MIX INTO SOIL.
   B. LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 4-INCHES. REMOVE TO APPROPRIATE DEPTH TO ALLOW FOR SOIL THICKNESS OF SOD.
   C. APPLY 3-INCHES OF TOPSOIL AND COMPOST MIXTURE AND BLEND THOROUGHLY INTO TOP 2-INCHES OF SURFACE SOIL.
5. FINE GRADING: GRADE PLANTING AND SODDING AREAS TO A SMOOTH, UNIFORM SURFACE WITH FIRM (NOT COMPACTED), FINE TEXTURE. GRADE TO WITHIN ½" OF FINISH ELEVATION. MOISTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. DO NOT CREATE MUDDY SOIL.
6. SODDING: ALL DISTURBED AREAS NOT RECEIVING LANDSCAPING SHALL RECEIVE SOD. LAY SOD WITHIN 24 HOURS OF HARVESTING. DO NOT LAY SOD IF DORMANT OR IF GROUND IS FROZEN OR MUDDY.
   A. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD. DO NOT STRETCH OR OVERLAP. STAGGER SOD STRIPS OR PADS TO OFFSET JOINTS IN ADJACENT COURSES. AVOID DAMAGE TO SUBGRADE OR SOD DURING INSTALLATION. TAMP AND ROLL LIGHTLY TO ENSURE CONTACT WITH SUBGRADE, ELIMINATE AIR POCKETS, AND FORM A SMOOTH SURFACE.
   B. LAY SOD ACROSS ANGLE OF SLOPES EXCEEDING 6:1.
   C. ACHOR SOD ON SLOPES OF 3:1 OR GREATER WITH WOOD PEGS, SPACED AS RECOMMENDED BY SOD MANUFACTURER. PEGS SHOULD BE REMOVED ONCE SOD IS STABILIZED.
   D. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF INSTALLATION. WATER DAILY OR MORE FREQUENTLY DURING FIRST WEEK AFTER PLACING SOD TO MAINTAIN MOIST SOIL BELOW SOD.
7. PLANTING: ALL PLANTINGS AND PLANTING PROCEDURES SHALL CONFORM TO THE STANDARDS AND GUIDELINES OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
   A. INSTALL PLANTS AS SHOWN IN THE PLANTING TABLE, TO THE SPACING SPECIFIED OR SHOWN ON THE PLAN, AND AS DETAILED.
   B. THE CONTRACTOR SHALL VERIFY ALL PLANT COUNTS AND LOCATIONS PRIOR TO ORDERING MATERIAL. THE OWNER AND THEIR PROJECT CONSULTANTS ARE NOT RESPONSIBLE FOR DISCREPANCIES IN PLANT QUANTITIES SHOWN.
   C. ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER.
   D. REMOVE ANY STEM GIRDLING ROOTS AND KINKED ROOTS. REMOVE INJURED ROOTS BY CUTTING CLEANLY, DO NOT BREAK.
   E. ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD MULCH (3" DEPTH):
      - MULCH SHALL BE DOUBLE SHREDDED HARDWOOD, DYED COLOR ENHANCED (BROWN).
      - USE WOVEN POLYPROPYLENE WEED BARRIER BELOW MULCH (PRODUCT: DEWITT 15-YEAR).
      - NO PRE-EMERGENT SHALL BE USED IN LANDSCAPE BEDS.
   F. THOROUGHLY WATER PLANTS AT TIME OF PLANTING.
8. MAINTENANCE: BEGIN MAINTENANCE AFTER ALL LANDSCAPING IS INSTALLED, AND CONTINUE UNTIL SOD AND PLANT MATERIAL IS ESTABLISHED, BUT NOT LESS THAN 6 MONTHS.
   A. MAINTAIN AND ESTABLISH PLANTINGS BY WEEDING, MOWING, TRIMMING, RE- PLANTING, RE-MULCHING, RE-SETTING TO PROPER GRADES, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH A HEALTHY LANDSCAPE.
9. PROTECTION: KEEP ADJACENT PAVING AND LAWN AREAS CLEAN DURING LANDSCAPING INSTALLATION. ANY DAMAGED PLANTINGS SHALL BE REPLACED IN-KIND.
10. CLEANUP AND DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS EXCAVATED MATERIAL, UNSUITABLE SOIL, TRASH, DEBRIS, ETC. AND DISPOSE OF THEM OFF-SITE, IN AN APPROPRIATE AND LEGAL MANNER.



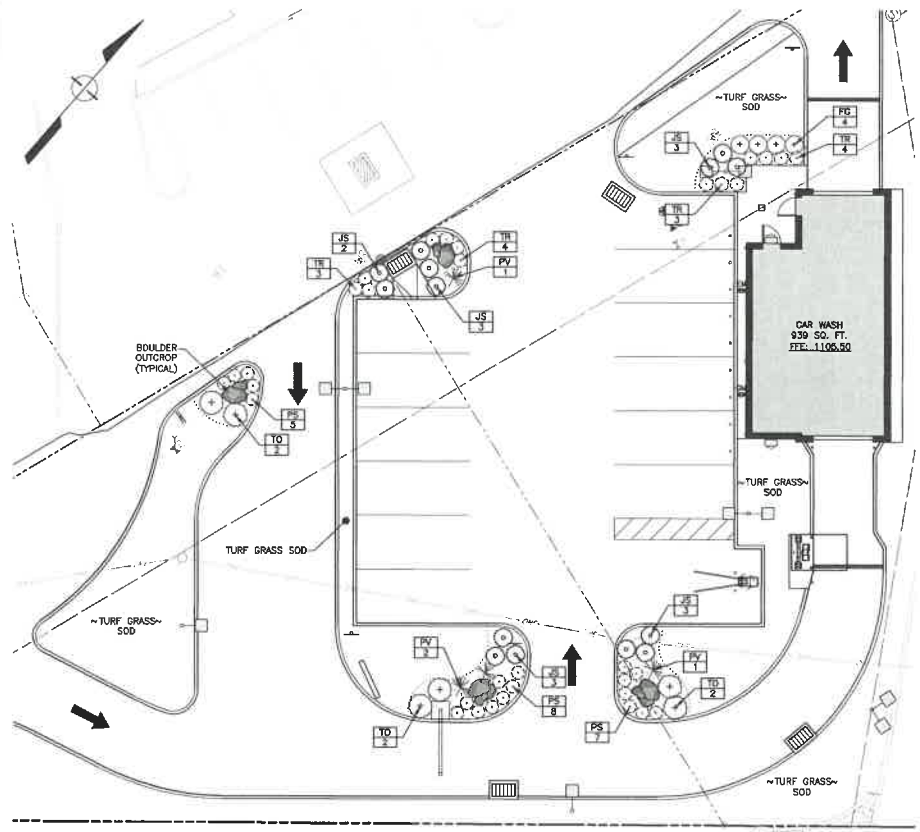
NOTES:
- PLANT SO THAT TOP OF ROOT BALL IS EVEN OR 1" HIGHER THAN FINISHED GRADE.
- BACKFILL WITH NATIVE SOIL FROM EXCAVATION. SOIL SHOULD BE LOOSE AND FREE OF CLUMPS. FIRM SOIL AROUND ROOT BALL AND WATER THOROUGHLY. DO NOT COMPACT SOIL.
- REMOVE ONLY BROKEN OR DEAD BRANCHES. DO NOT PRUNE ANY HEALTHY BRANCHES AT TIME OF PLANTING.

SHRUB PLANTING DETAIL
N.T.S.



NOTES:
- PLANTING SOIL MATERIAL: PLANTING SOIL SHALL CONSIST OF 25% EXCAVATED MATERIAL, 50% TOPSOIL OR PLANTING MIXTURE, AND 25% WELL COMPOSTED MATERIAL, WELL BLENDED AND PREPARED FOR PLANTING AREAS.
  - VERIFY SUITABILITY OF EXISTING SURFACE SOIL TO PRODUCE VIABLE PLANTING SOIL. REMOVE STONES, ROOTS, PLANTS, SOD, CLODS, CLAY LUMPS, POCKETS OF COARSE SAND, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- FIRM SOIL AROUND PLANTINGS AND WATER THOROUGHLY. DO NOT COMPACT SOIL.
- REMOVE CONTAINER AND GENTLY LOOSEN ROOT SYSTEM.
- PLANT SO THAT TOP OF ROOT SYSTEM IS EVEN OR 1" HIGHER THAN FINISHED GRADE.

LANDSCAPE BED PLANTING DETAIL
N.T.S.



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Sheet Title:

LANDSCAPING PLAN

PROJECT NO.	24-2020
DRAWN BY	CSF
DESIGNED BY	CSF
CHECKED BY	GTG
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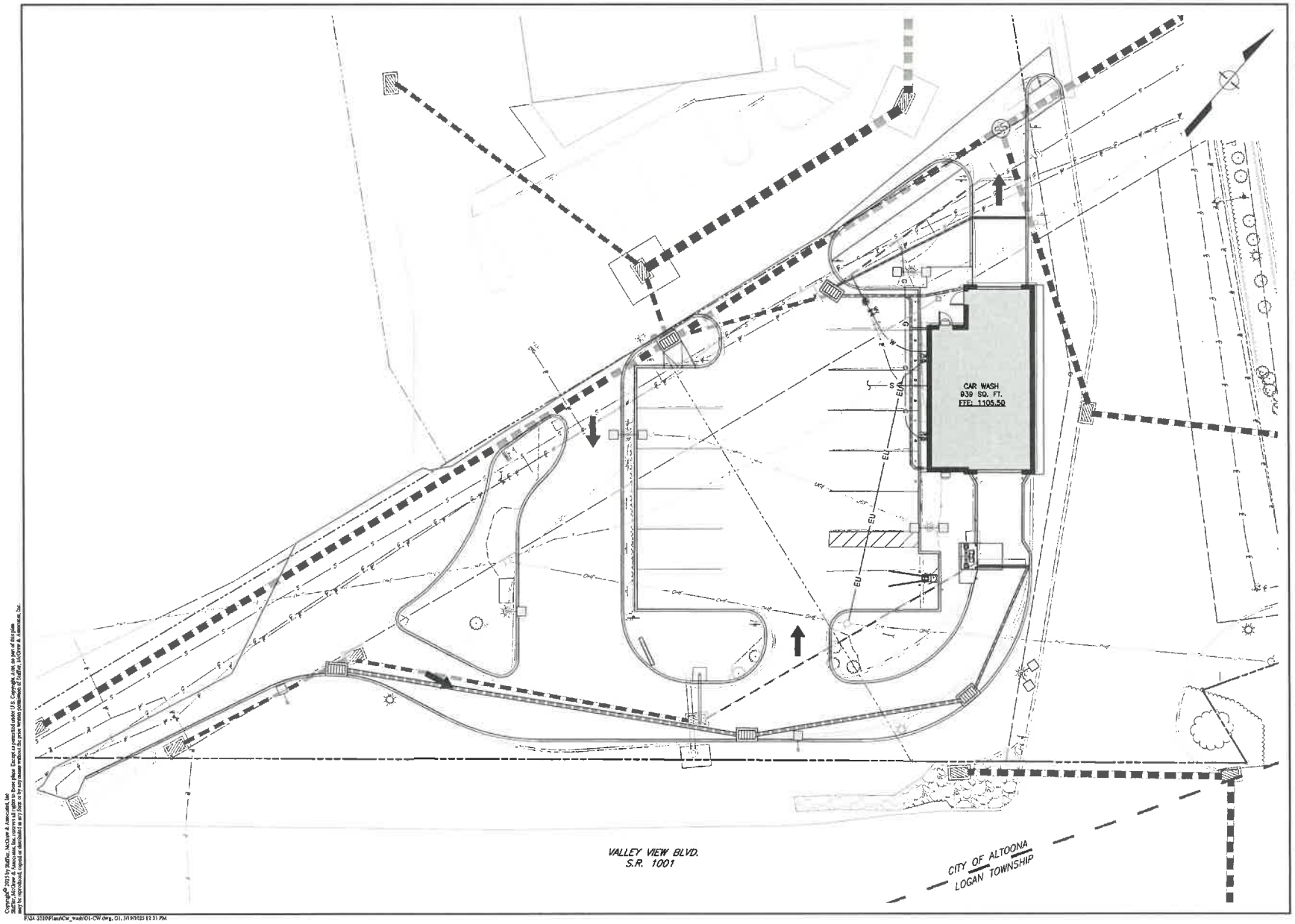

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PERMIT NO.

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OVERLAY PLAN

PROJECT NO	24-2020
DRAWN BY:	GTG
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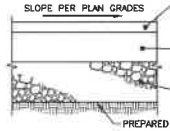

1 TYPICAL ASPHALT PAVEMENT SECTION
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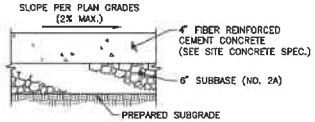

1A TYPICAL CONCRETE SIDEWALK SECTION
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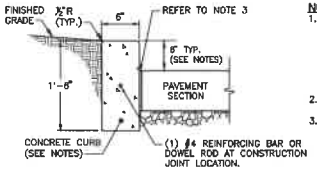
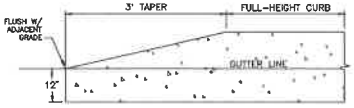


NOTE:
1. CAST IN PLACE 4000 PSI FIBER REINFORCED CONCRETE CURB. PLACE CONTRACTION JOINTS IN CURBING TO FORM INCREMENTS NOT EXCEEDING 25 LINEAR FT. AND EXPANSION JOINTS THROUGH CURBING TO FORM INCREMENTS NOT EXCEEDING 75 LINEAR FT.
2. CURB REVEAL SHALL BE 6" OR AS NOTED ON THE GRADING PLAN.
3. 8"x½" EXP. W/ CAP AND SIKAFLEX FLOWABLE JOINT SEALER SHALL BE INSTALLED WHEN ABUTTING CONCRETE PAVEMENT. OTHERWISE THE JOINT SHALL BE SEALED WITH PG 64S-22 WHEN ABUTTING BITUMINOUS PAVEMENT.

2 PERIMETER CURBING SECTION
N.T.S.



2A 3' CURB TAPER
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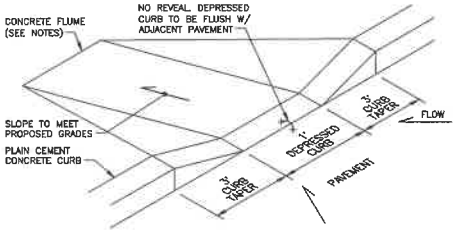
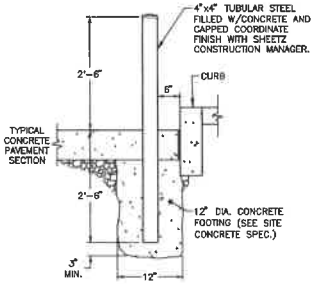
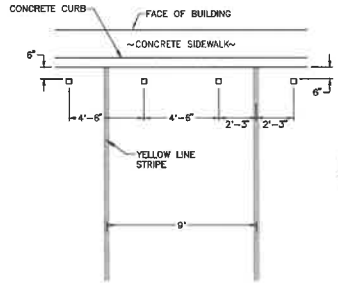


NOTES:
- PROVIDE 4" THICK CONCRETE IN ACCORDANCE WITH SITE CONCRETE SPECIFICATIONS (SEE SITE PLAN).
- EXTEND CONCRETE FLUME TO MATCH TOP OF STORM INLET.

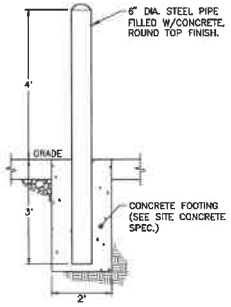
2B 12" CURB CUT
N.T.S.



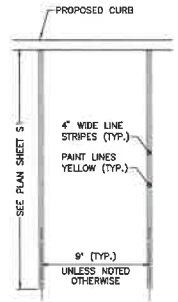
3 4" X 4" BUMPER PIPE SECTION
N.T.S.



3A BUMPER PIPE LAYOUT DETAIL
N.T.S.

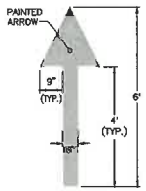


3B 6" BOLLARD DETAIL
N.T.S.



NOTE:
USE 4" WIDE LINE MARKING PAINT W/ MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. USE ALKYD-RESIN TYPE, READY MIXED COMPLYING WITH AASHTO M248, TYPE I, PAINT COLORS AS SHOWN.

4 TYPICAL PARKING SPACE DETAIL
N.T.S.

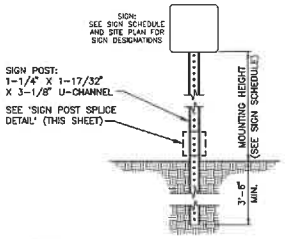


NOTE:
USE LINE MARKING PAINT W/ MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. USE ALKYD-RESIN TYPE, READY MIXED COMPLYING WITH AASHTO M248, TYPE I, (COLOR: WHITE)

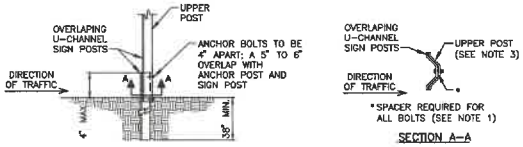
4A TYPICAL PAINTED DIRECTIONAL ARROW DETAIL
N.T.S.

SIGN DESIGNATION	GRAPHIC	MOUNTING HEIGHT	SIZE (W x H)
4B R1-1 "STOP" SIGN	STOP	7'-0" TO BOTTOM	30"x30"
4C R5-1 "DO NOT ENTER" SIGN	DO NOT ENTER	7'-0" TO BOTTOM	30"x30"

TRAFFIC SIGN DETAIL
N.T.S.



NOTE:
SIGN AND SIGN ASSEMBLY SHALL BE IN ACCORDANCE WITH PENNDOT PUB. 236 AND ALL OTHER CURRENT PENNDOT GUIDELINES AND SPECIFICATIONS.



NOTES:
1. THE SPACER THICKNESS SHALL BE 1/16" LESS THAN THE GAP BETWEEN THE POSTS WHEN POSITIONED IN THE UNBOLTED CONFIGURATION.
2. THE EXTERIOR BOLTS, SPACERS, WASHERS AND NUTS (TOP AND BOTTOM) SHALL BE INSTALLED IN A PRE-PUNCHED HOLE.
3. THE UPPER POST SHALL ALWAYS BE MOUNTED BEHIND THE EMBEDDED POST WITH RESPECT TO ADJACENT ONCOMING TRAFFIC, REGARDLESS OF THE DIRECTION THE SIGN IS FACING.
4. THE BOLTS SHOWN SHALL BE 3/8" BY 2" GALVANIZED BOLTS IN ACCORDANCE WITH ASTM A 449, OR SAE J429, GT.9; OR GALVANIZED BOLTS IN ACCORDANCE WITH ASTM A 325.

INSTALLATION NOTES:
1. USE A 2.5 LB/FT ANCHOR POST WITH A 2.5 LB/FT SIGN POST.
2. REMOVE A SHOVEL OF SOIL AT THE POST LOCATION TO ALLOW FOR FINAL ATTACHMENT OF THE SIGN POST TO THE ANCHOR POST.
3. DRIVE ANCHOR POST WITH A DRIVE CAP TO WITHIN APPROXIMATELY 12" ABOVE GROUND LEVEL. PLACE ONE BOLT AND WASHER IN FIFTH HOLE FROM THE END OF THE EXPOSED ANCHOR POST. SECURELY TIGHTEN SPACER ONTO BOLT.
4. DRIVE ANCHOR POST TO 4" ABOVE GROUND LEVEL. PLACE REMAINING BOLT AND WASHER IN FIRST HOLE FROM THE END OF POST AND SECURELY TIGHTEN SPACER ONTO BOLT. (BOLTS 4" APART).
5. NEST TOP SIGN POST OVER PROTRUDING ANCHOR POST BOLTS THROUGH FIRST AND FIFTH HOLES OF TOP SIGN POST. THIS WILL RESULT IN A 5" TO 6" OVERLAP.
6. PLACE A LOCKNUT ON EACH BOLT (A STANDARD LOCKWASHER AND NUT MAY BE USED IN LIEU OF THE LOCKNUT). TIGHTEN BOLTS AND NUTS BY TURN-OF-NUT METHOD. BRING NUT TO A SNUG TIGHT CONDITION TO ENSURE THAT ALL PARTS ARE BROUGHT TOGETHER INTO FULL CONTACT WITH EACH OTHER. THEN TIGHTEN AN ADDITIONAL ½ TURN.
7. RESTORE SOIL AROUND THE ANCHOR POST.

STEEL SIGN POST SPLICE DETAIL
N.T.S.

SITE CONCRETE SPECIFICATION:

EXTERIOR SITE CONCRETE

STRENGTH 4000 PSI	(PER ACI 318)
MIN. CEMENT FACTOR	588# (6.25 BAGS)
MAX. W/C	0.45
ENTRAINED AIR	4.5% - 7.5%
SLUMP	4" MAX. UNLESS HRWR OR MID RANGE WR; THEN 6" - 8"
WATER REDUCER	NORMAL TYPE A
RETARDER	NORMAL TYPE D AS NEEDED (REQUIRED IF CONCRETE TEMPERATURE EXCEEDS 85°F)
CONCRETE TEMPERATURE	50° - 90°F
ACCELERATOR	NON-CHLORIDE TYPE ONLY

THE USE OF CALCIUM CHLORIDE IS PROHIBITED!!

FIBER (SEE NOTE)	1½" @ 1.5#/C.Y. (AS FIBERMESH 300 OR EQUIVALENT)

NOTE: FIBER REQUIREMENT MAY BE WAIVED, SITE SPECIFIC, AT OWNER'S DISCRETION.

REQUIRED SUBMITTALS
1. FORMAL MIX DESIGN FORM
2. SUPPORTING STRENGTH DATA PER ACI 318
3. CEMENT MILL CERTIFICATION
4. ADMIXTURE CERTIFICATION AND CATALOG CUTS
5. FIBER TYPE AND DATA SHEETS
6. AGGREGATE CERTIFICATION AND GRADATION (COARSE AND FINE)
7. READY MIX SUPPLIER TO TEST FIRST LOAD ON SITE TO CONFIRM ENTRAINED AIR#, SLUMP AND TEMPERATURE (#INFORMATION ONLY FOR NON-AIR CONCRETE)
8. ANY ADDED WATER MUST BE RECORDED ON DELIVERY TICKET

THE ABOVE LISTED SUBMITTAL DATA IS IN GENERAL COMPLIANCE WITH THE GUIDELINES GIVEN IN ACI 301 AND ACI 318. THE CONCRETE SUPPLIER MUST BE FAMILIAR WITH THESE DOCUMENTS.

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1731 N. Juniata Street
Hollidaysburg, PA 16648
Phone: 814.696.6280 Fax: 814.696.6240

COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL GREG T. GEISHAUSER ENGINEER 076202 PENNSYLVANIA

Stiffler, McGraw & Associates, Inc.

Owner:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #354 ALTOONA CAR WASH REBUILD

1915 PLEASANT VALLEY BOULEVARD
ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

Revisions:

No.	Date	Description
1	03.19.2025	REVISED PER CITY AND DEPARTMENT REVIEW

Sheet Title:

DETAILS

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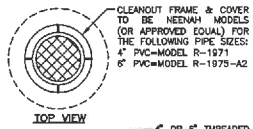
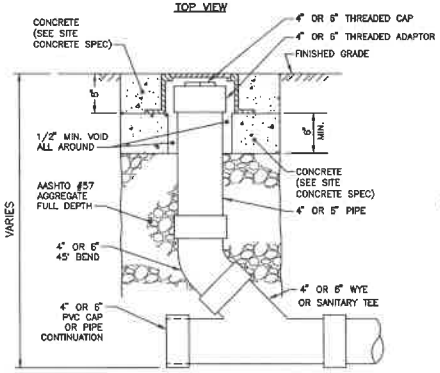
DRAWN BY:	GTG
DESIGNED BY:	GTG
CHECKED BY:	ELB
SCALE:	AS SHOWN

Drawing:

D1





STANDARD CLEANOUT
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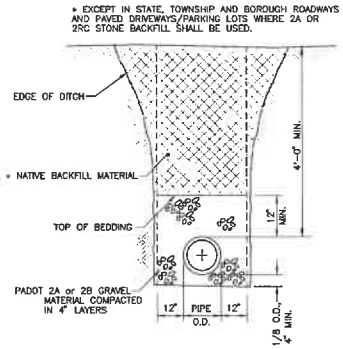

STANDARD BEDDING CONDITIONS FOR FLEXIBLE WALL SANITARY SEWER PIPING
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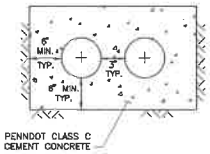

CONCRETE ENCASEMENT FOR CONDUIT
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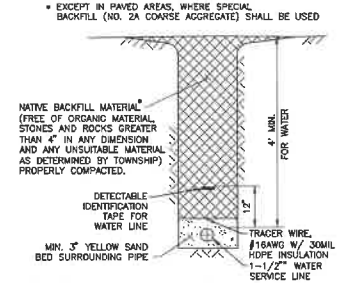

WATER SERVICE LINE STANDARD BEDDING CONDITIONS
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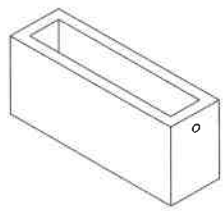

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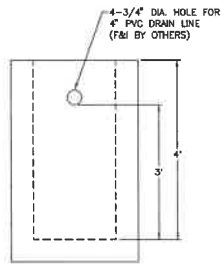
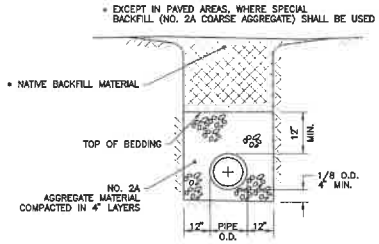
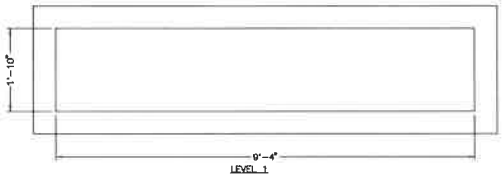


END VIEW

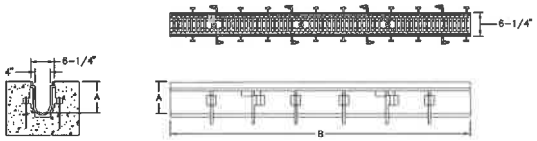


STORM SEWER AND ROOF DRAIN STANDARD BEDDING CONDITIONS
N.T.S.



NOTE:
- SEE GENESIS PLAN, PROJECT NO. G25V1, FOR PRE-CAST VAULT LOCATION AND DETAILS.

PRE-CAST VAULT (OIL/GRIT CHAMBER LOCATED INSIDE BUILDING)
N.T.S.



NOTES:
- A & B – REFER TO ZURN SPECIFICATION SHEET FOR DETAILS.
- MODEL NO. Z-886 TRENCH NO. 8609 WITH REINFORCED GALVANIZED STEEL SLOTTED GRATE (RFG)

TRENCH DRAIN DETAIL
N.T.S.

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1731 N. Juniata Street
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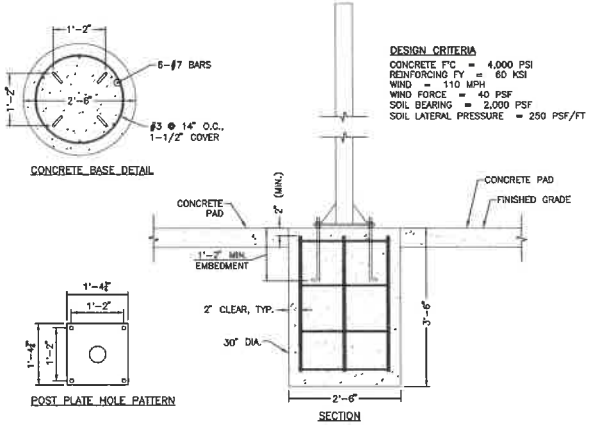
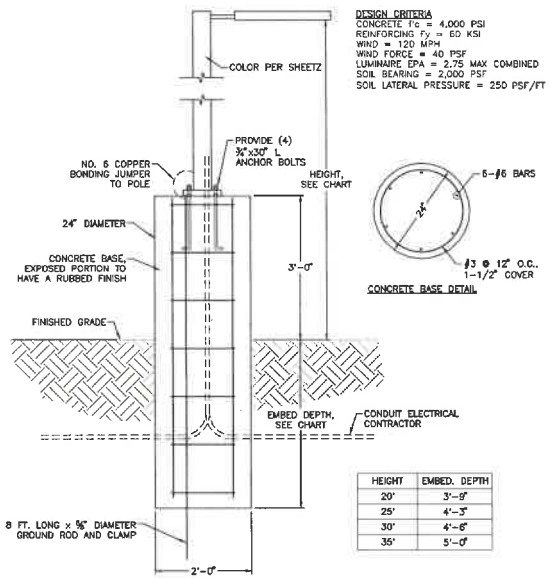
Phone: 814.696.6280 Fax: 814.696.6240

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
GREG T. ODSHAUSER
No. PE-075811-E
CERTIFICATE OF AUTHORIZATION
No. 3-1-1-1



V-ARCH VACUUM FOUNDATION DETAIL

N.T.S.



HEIGHT	EMBED. DEPTH
20'	3'-9"
25'	4'-3"
30'	4'-6"
35'	5'-0"

LIGHT POLE DETAIL

N.T.S.

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COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER GREG T. GEISHAUSER

Stiffler, McGraw & Associates, Inc.

Owner:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #354 ALTOONA
CAR WASH REBUILD

1915 PLEASANT VALLEY BOULEVARD
ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

Revisions:

No.	Date	Description
1	03.19.2025	REVISED PER CITY AND CMAQ REVIEW

Sheet Title:

DETAILS

PROJECT NO.	24-2020
DRAWN BY:	GTG
DESIGNED BY:	GTG
CHECKED BY:	RLB
SCALE:	AS SHOWN

Drawing:

D3

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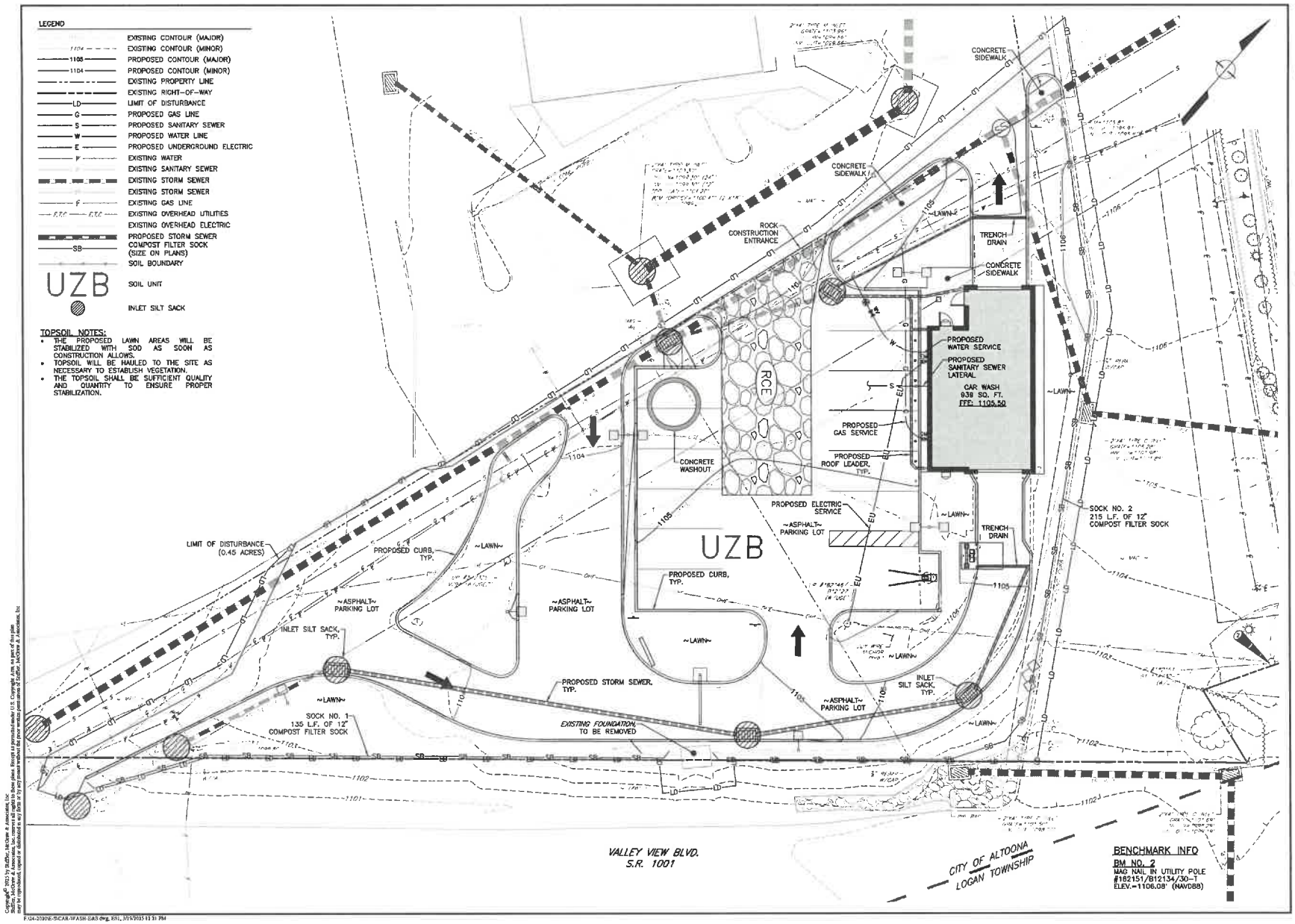

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GREG T. GEISHAUSER
PROFESSIONAL ENGINEER
PENNSYLVANIA

Stiffler, McGraw & Associates, Inc.

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ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

GRAPHIC SCALE
10 0 5 10 20
(IN FEET)

Revisions:

No.	Date	Description
1	03.19.2025	UPDATED PER CITY AND DRAINAGE REVIEW

Sheet Title:
EROSION & SEDIMENTATION CONTROL PLAN

PROJECT NO.	24-2020
DRAWN BY:	GTG
DESIGNED BY:	GTG
CHECKED BY	ELB
SCALE	AS SHOWN

Drawing:
ES1

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GENERAL EROSION CONTROL NOTES

IN ADDITION TO THE SPECIFIC PROCEDURES FOR EROSION AND SEDIMENTATION CONTROL INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL ADHERE TO THE FOLLOWING GENERAL REQUIREMENTS:

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST SEVEN DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND / OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST THREE DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA THAT WAS PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC., SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. ALL AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THE E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE HAULED TO THE SITE AS NECESSARY.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND / OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND / OR THE REGIONAL OFFICE OF DEP.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1., AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON-SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
15. FOR EACH INSPECTION A VISUAL SITE INSPECTION REPORT FORM (SEE APPENDIX F) SHALL BE COMPLETED AND SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTIONS.
16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED OF IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER OR SURFACE WATER.
17. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5-INCHES - 6 TO 12-INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4-INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM 2-INCHES OF TOPSOIL.
19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8-INCHES IN THICKNESS.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FT. OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE-YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE-YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING OR OTHER MOVEMENTS.
28. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND / OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL / CONVERSION OF THE E&S BMPS.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL / CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND / OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
32. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL AND / OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO $10,000 PER DAY IN CIVIL PENALTIES, UP TO $10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO $25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
33. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
34. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONE, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE PLACED IN LIFTS NOT EXCEEDING 8-INCHES (LOOSE) AND SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH PADOT PUB. 408 SECTION 205.3.

STAGING OF EARTHMOVING ACTIVITIES

THE FOLLOWING CONSTRUCTION SEQUENCE WILL BE REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED SITE DEVELOPMENT:

1. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATORS SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE E&S CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE BLAIR COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING
2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR MARKOUT OF THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. FIELD MARK THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH THE PLANS.
4. INSTALL COMPOST FILTER SOCKS IN ACCORDANCE WITH THE PLANS AND DETAILS.
5. INSTALL INLET SILT SACKS IN ALL EXISTING INLETS AS SHOWN ON THE PLAN.
6. DEMOLISH THE EXISTING CAR WASH.
7. REMOVE THE EXISTING SITE PAVEMENT AND DEMOLISH THE REMAINING SITE FEATURES.
8. INSTALL THE ROCK CONSTRUCTION ENTRANCE.
9. REMOVE THE EXISTING STORM SEWER.
10. INSTALL THE PROPOSED STORM SEWER AND INLETS.
    a. ANY WATER ENCOUNTERED DURING EXCAVATION SHALL BE PUMPED THROUGH A PUMP WATER FILTER BAG IN ACCORDANCE WITH THE DETAILS.
    b. NO MORE THAN 50 LINEAR FEET OF OPEN TRENCH SHOULD EXIST WHEN UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.
    c. ONLY EXCAVATE A TRENCH LENGTH THAT THE PIPE CAN BE INSTALLED AND BACKFILLED IN ONE WORKING DAY.
    d. ONCE INLETS ARE INSTALLED, IMMEDIATELY INSTALL INLET SILT SACK.
11. INSTALL THE PROPOSED WATER SERVICE, SANITARY SEWER LATERAL, GAS SERVICE, AND ELECTRIC SERVICE.
    a. ANY WATER ENCOUNTERED DURING EXCAVATION SHALL BE PUMPED THROUGH A PUMP WATER FILTER BAG IN ACCORDANCE WITH THE DETAILS.
    b. ONLY EXCAVATE A TRENCH LENGTH THAT THE PIPE CAN BE INSTALLED AND BACKFILLED IN ONE WORKING DAY.
12. PERFORM GRADING OPERATION AND CONCURRENTLY INSTALL GRAVEL SUBBASE.
13. INSTALL CONCRETE WASHOUT.
14. CONSTRUCT CAR WASH.
15. INSTALL CONCRETE CURBS.
16. POUR CONCRETE PAVEMENT AND SIDEWALKS.
17. AS SOON AS CONSTRUCTION ALLOWS, PLACE SOD IN LAWN AREAS.
18. INSTALL LANDSCAPING.
19. REMOVE THE COMPOST FILTER SOCKS AND INLET SILT SACKS WHEN A UNIFORM 70% VEGETATIVE COVER IS ESTABLISHED OVER THE TRIBUTARY AREAS. SEED, MULCH AND STABILIZE ANY AREAS DISTURBED DURING THE REMOVAL OF THESE DEVICES.

NOTES:
- EROSION AND SEDIMENT BEST MANAGEMENT PRACTICES (BMPS) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS.
- THE CONTRACTOR SHALL COORDINATE THEIR PROPOSED STABILIZATION MEASURES FOR ALL WORK AREAS TO BE COMPLETED DURING THE NON-GROWING SEASON DIRECTLY WITH THE COUNTY CONSERVATION DISTRICT.
- WHERE EARTH DISTURBANCE ACTIVITY IS STOPPED FOR FOUR OR MORE DAYS, INTERIM STABILIZATION MEASURES MUST BE IMPLEMENTED IMMEDIATELY FOR ANY DISTURBED AREAS.

TEMPORARY CONTROL MEASURES AND FACILITIES

THE TEMPORARY CONTROL MEASURES AND FACILITIES CONSIST OF:

ROCK CONSTRUCTION ENTRANCE:
A ROCK CONSTRUCTION ENTRANCE WILL BE INSTALLED AT THE INGRESS / EGRESS LOCATION TO LIMIT TRACKING OF DIRT ONTO THE ROADWAY.

COMPOST FILTER SOCKS:
COMPOST FILTER SOCKS WILL BE PLACED DOWNSLOPE OF ALL EARTH DISTURBANCE ACTIVITIES TO REDUCE THE QUANTITY OF SEDIMENT FLOW.

PUMPED WATER FILTER BAGS:
PUMPED WATER FILTER BAGS WILL BE USED TO RECEIVE ACCUMULATED RUNOFF FROM EXCAVATIONS AND TRENCHING OPERATIONS TO REDUCE THE QUANTITY OF SEDIMENT FLOW.

CONCRETE WASHOUT:
A CONCRETE WASHOUT WILL BE USED TO PREVENT CONCRETE CONTAMINATED WATER FROM ENTERING ANY SURFACE WATERS, STORM DRAINS, OR OPEN DITCHES.

INLET SILT SACKS:
INLET SILT SACKS WILL BE PLACED WITHIN PROPOSED AND EXISTING INLETS TO REDUCE THE QUANTITY OF SEDIMENT FLOW.

INTERIM STABILIZATION:
INTERIM VEGETATED STABILIZATION SHALL BE PROVIDED FOR DISTURBED LOCATIONS WHERE ACTIVITY CEASES. SOIL TESTING SHALL BE PERFORMED TO DETERMINE PROPER SOIL AMENDMENTS.

PERMANENT CONTROL MEASURES AND FACILITIES

THE PERMANENT CONTROL MEASURES AND FACILITIES CONSIST OF:

LAWN, LANDSCAPING, AND CONCRETE PAVEMENT:
THE ENTIRE SITE WILL BE STABILIZED BY THE PROPOSED FINAL 'COVER,' CONSISTING OF GRASS, LANDSCAPING / PLANTINGS AND CONCRETE PAVING. SOIL TESTING SHALL BE PERFORMED TO DETERMINE PROPER SOIL AMENDMENTS.

MAINTENANCE OF CONTROL FACILITIES

SEDIMENT WILL BE CLEANED FROM THE COMPOST FILTER SOCKS WHEN ACCUMULATIONS REACH ONE-HALF THE ABOVE-GROUND HEIGHT OF THE SYSTEM. INLET SEDIMENT CONTROL DEVICES WILL BE CLEANED AND / OR REPLACED WHEN ACCUMULATIONS REACH ONE-HALF THE TOTAL CAPACITY. PUMPED WATER FILTER BAGS AND TRAPPED SEDIMENT WILL BE REMOVED WHEN ACCUMULATED SEDIMENTS REACH ONE-HALF THE TOTAL BAG CAPACITY. SPARE BAGS SHALL BE KEPT AVAILABLE ON-SITE FOR REPLACEMENT AS NECESSARY.

THE ROCK CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PRIVATE ROADWAYS AND / OR PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND / OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT.

ALL SEDIMENT SHALL BE REMOVED FROM A TEMPORARY SEDIMENTATION OR EROSION CONTROL DEVICE PRIOR TO THE REMOVAL OF THAT DEVICE. TEMPORARY CONTROL DEVICES WILL BE REMOVED BY STARTING UPSTREAM OR UP-SLOPE TO ENSURE SEDIMENTATION CONTROL DURING THE REMOVAL PROCESS.

THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OR PERMANENT STABILIZATION OF ALL SEDIMENT REMOVED FROM BMPS. THE SEDIMENT SHALL NOT BE DUMPED IN AREAS WHERE EROSION WILL CAUSE AN UNSIGHTLY SCAR OR WHERE THE SEDIMENT CAN REACH A STREAM. UPON REMOVING THE SEDIMENT FROM THE DEVICE AND PLACING IT IN A SUITABLE LOCATION, THE MATERIAL SHALL BE SPREAD TO A UNIFORM DEPTH, SEEDED AND STABILIZED.

THE CONTRACTOR SHALL PREPARE AN EROSION AND SEDIMENT CONTROL PLAN FOR ANY AREAS TO BE DISTURBED WHICH ARE NOT SHOWN ON THE DRAWINGS SUCH AS JOB TRAILER SITES, MATERIAL STORAGE SITES, EQUIPMENT MAINTENANCE SITE, AND BORROW AND WASTE AREAS, ETC. PLANS MUST BE APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT BEFORE EARTH DISTURBANCE OCCURS AT THE RESPECTIVE AREA. THE CONTRACTOR SHOULD ALLOW 30 DAYS IN THEIR CONSTRUCTION PLANNING FOR REVIEW OF THE SUBMITTED PLAN BY THE LOCAL COUNTY CONSERVATION DISTRICT.

GENERAL EARTHWORK AND SPOIL AND BORROW AREAS

ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED BY THE CONTRACTOR TO DETERMINE IF THE MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTION, ELECTRONIC DATABASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND / OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL."

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES, SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.

SHOULD GRADING OPERATIONS UNCOVER HAZARDOUS MATERIALS, OR WHAT APPEARS TO BE HAZARDOUS MATERIALS, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE LOCAL FIRE DEPARTMENT AND DEVELOPER. THE AREA CONTAINING THE HAZARDOUS MATERIALS SHALL BE MARKED OFF UNTIL AN INVESTIGATION BY A MEMBER OF THE FIRE DEPARTMENT IS COMPLETED.

THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A PREPAREDNESS, PREVENTION AND CONTINGENCY (PPC) PLAN WHEN STORING, USING OR TRANSPORTING MATERIALS INCLUDING: FUELS, CHEMICALS, SOLVENTS, PESTICIDES, FERTILIZERS, LIME, PETROCHEMICALS, WASTEWATER, WASH WATER, CORE DRILLING WASTEWATER, CEMENT, SANITARY WASTES, SOLID WASTES OR HAZARDOUS MATERIALS ONTO, ON OR FROM THE PROJECT SITE DURING EARTH DISTURBANCE ACTIVITIES. THE PPC PLAN SHALL BE AVAILABLE UPON REQUEST BY THE LOCAL CONSERVATION DISTRICT OR DEP.

LONG, STEEP CUT AND FILL SLOPES SHOULD BE SEEDED AND MULCHED IN FIFTEEN-FOOT VERTICAL INCREMENTS, WHICH MAY BE INCREASED TO TWENTY-FOOT VERTICAL INCREMENTS IF VERY LARGE EQUIPMENT IS USED.

IF OFF-SITE SPOIL OR BORROW AREAS FOR MATERIALS ARE REQUIRED, THE CONTRACTOR WILL PREPARE AND SUBMIT AN EROSION AND SEDIMENTATION CONTROL (E&S) PLAN FOR EACH SITE CHOSEN TO THE APPROPRIATE COUNTY CONSERVATION DISTRICT FOR REVIEW. THE CONTRACTOR SHALL PROVIDE A WETLAND ASSESSMENT, AND SHALL BE RESPONSIBLE FOR ANY OTHER PERMITS REQUIRED, FOR EACH SITE CHOSEN.

ALL AREAS USED FOR DEPOSITION OF EXCESS MATERIALS OR AS A SOURCE OF FILL MATERIALS SHALL BE ADEQUATELY PROTECTED AGAINST EROSION AND SEDIMENTATION. ALL SPOIL AND BORROW AREAS SHALL RECEIVE FINAL GRADING AND STABILIZATION UPON COMPLETION OF THE PROJECT.

IF EXCESS MATERIALS ARE TO BE SPREAD OUT AND GRADED WITHIN THE PROJECT LIMITS, THE AREA SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE. IF THE MATERIALS ARE STOCKPILED WITHIN THE PROJECT LIMITS, FILTER FABRIC FENCES AND / OR SILTSOXX SHALL BE PLACED ON THE DOWNSTREAM SIDE.

THE CONTRACTOR SHALL NOT DISTURB GROUND COVER AREAS BEYOND THOSE NECESSARY TO SATISFACTORILY COMPLETE THE REQUIRED WORK.

THE CONTRACTOR SHALL DIVERT SURFACE RUNOFF AWAY FROM CONSTRUCTION AREAS WHERE PRACTICAL.

THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO CONTROL DUST ON OR NEAR THE PROJECT SITE AND ON OR NEAR ALL OFF-SITE BORROW AND WASTE AREAS, AS RESULTING FROM THE CONTRACTOR'S OPERATIONS.

GEOLOGIC FORMATIONS/ SOIL CONDITIONS

THERE ARE NO VISIBLE GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT WOULD HAVE POTENTIAL TO CAUSE POLLUTION. AT THIS TIME, IT IS UNKNOWN IF SUBSURFACE GEOLOGIC FORMATIONS OR SOIL EXIST THAT WOULD HAVE POTENTIAL TO CAUSE POLLUTION. IF GRADING ACTIVITIES OR CONSTRUCTION OF ANY OF THE FACILITIES UNCOVERS ANY GEOLOGIC FORMATION OR SOIL CONDITION THAT COULD HAVE THE POTENTIAL TO CAUSE POLLUTION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

RECYCLING & DISPOSAL OF MATERIALS

WASTES GENERATED DURING THE CONSTRUCTION OF THIS PROJECT SHALL BE RECYCLED IF AT ALL POSSIBLE. ANY MATERIALS THAT CANNOT BE RECYCLED OR REUSED SHALL BE DISPOSED OF AT A NPDES SITE. TRASH AND DEBRIS SHALL BE DISPOSED OF AT A PREAPPROVED LANDFILL. IF SOIL AND/OR ROCK DISPOSAL AREAS ARE REQUIRED, EROSION AND SEDIMENTATION CONTROLS SHALL BE IMPLEMENTED AT THESE AREAS. ANY SOIL BORROW OR SOIL WASTE SITES THAT WILL BE LOCATED OUTSIDE THE PROJECT AREA MUST FIRST BE APPROVED BY THE APPROPRIATE AGENCIES.

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PROFESSIONAL ENGINEER

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Project Name:
SHEETZ #354 ALTOONA
CAR WASH REBUILD

1915 PLEASANT VALLEY BOULEVARD
ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

Revisions:

No.	Date	Description
△	03.19.2025	UPDATED PER CITY AND OWNER REVIEW

Sheet Title:

EROSION & SEDIMENTATION CONTROL NOTES

PROJECT NO	24-2020
DRAWN BY:	GTG
DESIGNED BY:	GTG
CHECKED BY:	BLB
SCALE:	AS SHOWN

Drawing:

ES2

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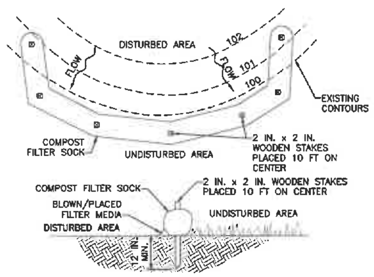
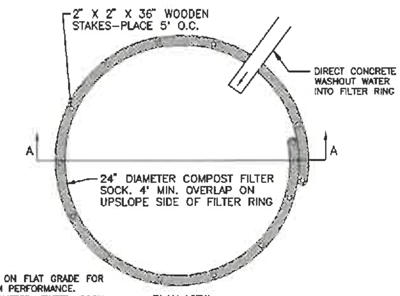
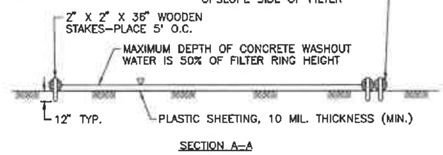


NOTES:
- SOCK FABRIC SHALL BE MULTI-FILAMENT POLYPROPYLENE (MPFF) MEETING THE STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

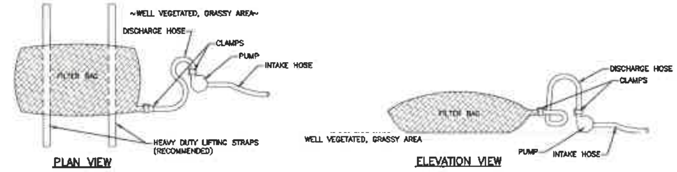
COMPOST FILTER SOCK
N.T.S.



NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.



CONCRETE WASHOUT
N.T.S.



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

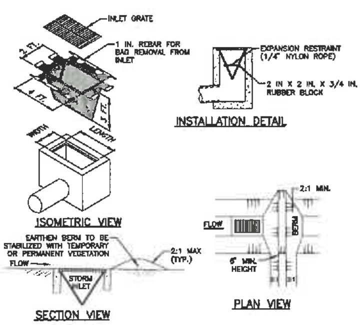
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

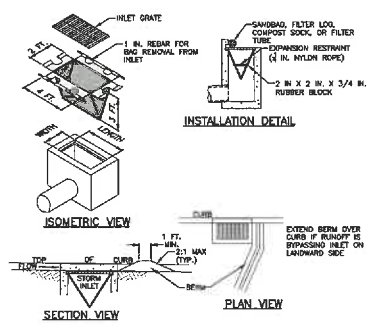
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

FILTER BAG DETAIL
N.T.S.





NOTES:
MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

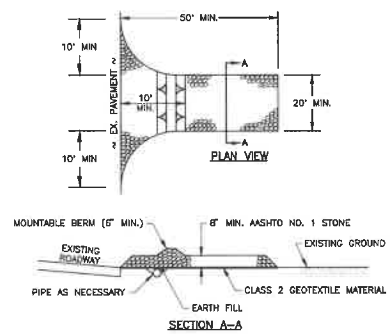
ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

INLET SILT SACK – TYPE M AND C INLET
N.T.S.



NOTES:
1. INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN ON PLANS.
2. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
3. INCLUDE MOUNTABLE BERM WHERE THE OPTIONAL CULVERT PIPE IS USED.
4. ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON-SITE FOR THIS PURPOSE.
5. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY.
6. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON THE ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FEET INCREMENTS UNTIL THE CONDITION IS ALLEVIATED OR INSTALL A WASH RACK.
7. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS OR OTHER DRAINAGEWAYS IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCE
N.T.S.

SEEDING AND SOIL SUPPLEMENT TABLE

PLACE SEEDING SOIL SUPPLEMENTS ON ALL AREAS IN ACCORDANCE WITH PADOT SPECIFICATIONS, PUB. 408, AND AT THE RATES SPECIFIED BELOW:

FORMULA AND SPECIES	% BY WEIGHT	MINIMUM %		MAX % WEED SEED	SEEDING RATE LBS./1000 S.Y.
		PURITY	GERMINATION		
FORMULA B					N/A
· TURF GRASS SOD (SEE LANDSCAPING PLAN FOR LOCATIONS AND SPECIES)	100	95		0.01	N/A
FORMULA T TEMPORARY GRASS MIX					6.0 TOTAL
NURSERY CROPS					
· OATS (AVENA SATIVA) (SPRING)	66.67	97	85	0.10	6
· CEREAL RYE (SECALE CEREALE) (FALL)	66.67	97	85	0.10	6

APPLY SOIL SUPPLEMENTS ON FORMULAS T IN ACCORDANCE WITH PUB. 408 SECTION 804.2b AND AS FOLLOWS:
- PULVERIZED AGRICULTURAL LIMESTONE – 800 LBS. PER 1000 S.Y.
- 10-20-20 ANALYSIS COMMERCIAL FERTILIZER – 140 LBS. PER 1000 S.Y.
- 38-0-0 UREAFORM FERTILIZER – 50 LBS. PER 1000 S.Y.
- OR
- 32-0-0 TO 38-0-0 SULFUR COATED WITH UREA FERTILIZER – 59 TO 50 LBS. PER 1000 S.Y.
- OR
- 31-0-0 IBDU FERTILIZER – 61 LBS. PER 1000 S.Y.

SUPPLEMENTS SHALL NOT BE ADDED WHEN SEEDING FORMULAS C, N, W, R, P, SLOPE AND WILDFLOWER ENHANCEMENT SEEDED AREAS UNLESS INDICATED BY SOIL TEST.

LIME AND FERTILIZER APPLICATION RATES MAY BE ADJUSTED BASED UPON SOIL TESTING.

APPLY MULCHING-STRAW OR MULCHING-HAY AS INDICATED AND IN ACCORDANCE WITH PUB. 408 SECTION 805 AT THE RATE OF 1240 LBS./1000 S.Y.

A COMPOST BLANKET WHICH MEETS THE STANDARDS OF THE PA DEP "EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL" MAY BE SUBSTITUTED FOR THE SOIL AMENDMENTS SHOWN.

MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER OR PAPER NETS MAY BE STAPLED OVER THE MULCH IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

DO NOT USE WOOD MULCH WHEN SEEDING NATIVE SPECIES USING HYDROSEEDING PROCEEDURES. WHEN SEEDING NATIVE SPECIES, TACKIFIER MUST NOT BE GREATR THAN 1/4 INCH THICK.

STIFFLER McGRAW
ENGINEERS–SURVEYORS–ARCHITECTS
1731 N. Juniata Street
Hollidaysburg, PA 16648
Phone: 814.696.6280 Fax: 814.696.6240

COMMONWEALTH OF PENNSYLVANIA · REGISTERED PROFESSIONAL · GREG T. GEISHAUSER · ENGINEER

Stiffler, McGraw & Associates, Inc.

Owner:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602

Project Name:
SHEETZ #354 ALTOONA
CAR WASH REBUILD

1915 PLEASANT VALLEY BOULEVARD
ALTOONA, PA 16602
BLAIR COUNTY, PENNSYLVANIA

MARCH 19, 2025

Revisions:

No.	Date	Description
△	03.19.2025	UPDATED PER CITY AND OWNER REVIEW

Sheet Title:

EROSION & SEDIMENTATION CONTROL DETAILS

PROJECT NO.	24-2020
DRAWN BY:	GTG
DESIGNED BY	GTG
CHECKED BY	ELB
SCALE	AS SHOWN

Drawing:

ES3

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RESOLUTION 4-1-25-PSS25-004
A RESOLUTION APPROVING THE SHEETZ #354 ALTOONA CAR WASH REBUILD FINAL LAND DEVELOPMENT PLAN

WHEREAS an application for a land development project has been filed with the Altoona City Planning Commission (hereinafter "ACPC") by Simington Plaza (hereinafter referred to as the "DEVELOPER"); and

WHEREAS, the DEVELOPER desires to reconstruct a new 939 SF car wash at 1915 Pleasant Valley Blvd, Altoona, Pennsylvania; and

WHEREAS, staff has reviewed the LAND DEVELOPMENT PLAN, incorporated herein by this reference and filed with the ACPC by the Developer, and has found it to be in compliance, as a FINAL LAND DEVELOPMENT with all applicable provisions of the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has determined that this LAND DEVELOPMENT PLAN constitutes a FINAL LAND DEVELOPMENT PLAN in full compliance with the City of Altoona's zoning, subdivision/land development, and storm water ordinances subject to the conditions of this resolution; and

WHEREAS, the ACPC has the power to APPROVE modifications to the City of Altoona's subdivision and land development requirements.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Altoona, Blair County, Pennsylvania, that the application and plans, as filed by the DEVELOPER, are hereby approved subject to the following conditions:

1. Acceptance of conditions must be signed by developer within 30 days of plan approval.
2. All required signatures must be obtained on the plan.
3. Professional to revise the infiltration island plan detail to provide an alternative underground solution.
4. If required, financial security to cover the cost of all public improvements must be provided to the City.
5. A developer's agreement prepared by the ACPC must be executed by the Developer.
6. A copy of the RECORDED plan must be provided to the ACPC as soon as it is recorded.
7. All conditions must be met, fees paid, and the plan signed and recorded within the plan deadline.

RESOLVED by the Altoona City Planning Commission on April 1, 2025:

_____
David B. Albright, Chairman

DRAFT

Sabrina McMillen <smcmillen@altoonapa.gov>

Sheetz Car Wash - City comments

1 message

Rob Crossman <rcrossman@altoonapa.gov> Thu, Mar 6, 2025 at 10:26 AM
To: Greg Geishauser <ggeishauser@stiffler-mcgraw.com>, bfranks@sheetz.com
Cc: Sabrina McMillen <smcmillen@altoonapa.gov>, Rebecca Brown <rbrown@altoonapa.gov>

Greg & Bob,

We have reviewed your low-impact land development plans for Sheetz #354 Altoona Car Wash Rebuild and have the following comments:

1. The lots will need to be merged into one parcel and this should include the entrance road since this was a former City street that was vacated by Sheetz.
2. The number of parking spaces in the lot is going from 14 to 13. In the narrative, please clarify that you are eliminating one of the parking spots and explain how that affects the parking calculations for the entire site, including the store. Plan is by ICG, 2003.
3. Please provide an amendment to the stormwater management report (ICG, 2003) for the store stating that the maintenance schedule will remain as is (recommended) or if a new maintenance program is desired please provide that information. Also provide an amended map for the stormwater management report showing the new stormwater layout.
4. It appears that the southernmost inlet may be more effective if shifted downstream and towards the curb, as this is the low spot. This item is just a suggestion, not a requirement. See attached sketch.

–
Rob Crossman, CFM
Engineering Department Supervisor
City of Altoona
814-949-2483

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4 attachments

- **SACH-PW-PRT25030611260.pdf**
  266K
- **SACH-PW-PRT25030610570.pdf**
  142K
- **Ord. #5525 - Vacation of PV Rd Between 10th & 17th St 10-8-2003.pdf**
  94K
- **Pleasant Valley Road Vacation - Sheetz.pdf**
  2170K

BLIGHTED PROPERTY LIST

APRIL 1, 2025

922 5th Avenue
Owner: Michael Friedenberger
Address: 1123 6h Avenue
Altoona, PA 16602

Vacant/abandoned property, substandard not suitable for rehabilitation. Exterior siding is not maintained; wood scraps leaning against side of house. Paint peeling. Soffit & fascia deteriorating, hole in roof, gutters falling off. Several broken windows, sliding glass door broken. Interior, no access, but appears to be filled with accumulations. Been vacant since 2023. No contact with owners, Owners do not appear at court hearings. Water and Electric are off. Gas is unknown meter is inside house. There are outstanding taxes on the house, 2021 in the amount of $630.70; 2022 $1,545.51; 2023 $506.14; 2024 459.59. Scheduled for **Property is scheduled for Judicial Tax Sale on June 18, 2025.** The City will have the structure demolished and place a lien on the property for the cost of the service. Appropriate reuse for this property is residential in nature.

131 E. 5th Avenue
Owner: Thomas Hileman
Address: 1200 48th Street
Altoona, PA 16601

Vacant property, substandard not suitable for rehabilitation. Exterior needs painted; porch rotted. Foundation is satisfactory. Roof needs replaced Windows are satisfactory. Interior is unknown. Rear building is in bad shape, windows are broken. Has been vacant 4 ½ years. Owner was in court on 6/13/2024, was continued because they told the judge they would obtain permits. They did not, were back in court again on 8/6/2024 and were found guilty. Water is off. Electric and Gas are unknown. Outstanding Taxes 2023 $1,119.50; 2024 $2,197.58. The City will have the structure demolished and place a lien on the property for the cost of the service. Appropriate reuse for this property is residential in nature.

515 2nd Avenue
Owner: Maria Ignacio
Address: P.O. Box 111
Patton, PA 16668

Vacant property is substandard and not suitable for rehabilitation. Has been vacant for 7 years. Exterior needs painted in front. Foundation is satisfactory. Roof appears satisfactory. Windows are broken. Interior is unknown. Accessory building is boarded up – needs roof/door replaced. Permits were to be pulled in December, but never followed through. Water and Electric are shut off. Gas is unknown. Taxes outstanding are unknown. The City will have the structure

demolished and place a lien on the property for the cost of the service. Appropriate reuse for this property is residential in nature.

127 6th Avenue
Owner: John Bonanno (deceased)

Vacant property is substandard and not suitable for rehabilitation. Has been vacant for a year. Exterior needs painted or new siding. Foundation is satisfactory. Porch roof is in bad shape. Windows are satisfactory. Interior is unknown. Accessory building is satisfactory. Daughter, Brenda Harding, claimed Estate was in process of being settled last year. Tried reaching several times to get update, but no success. Water and Electric are shut-off. Gas is unknown. Outstanding taxes 2023 $432.40; 2024 $378.60. The City will have the structure demolished and place a lien on the property for the cost of the service. Appropriate reuse for this property is residential in nature.

709 4th Avenue
Owner: James & Katherine Grimme (both deceased)
Responsible party is Paul Grimme
Address: 210 3rd Street
Altoona, PA 16602

Vacant property substandard not suitable for rehabilitation. Property has been vacant 3 years. No contact with owners – had Tina in court for 712 3rd Avenue she has not updated us regarding this property; never spoke with Paul. Exterior has rotting porch boards. Foundation is satisfactory. Roof is satisfactory. Several broken windows. Interior is unknown. The fence is failing. Water and Electric are off. Gas is unknown. Outstanding Taxes: 2022 $1,625.11; 2023 $623.23; 2024 $568.75. **Property is scheduled for Judicial Sale on June 18, 2025.** The City will have the structure demolished and place a lien on the property for the cost of the service. Appropriate reuse for this property is residential in nature.

1002 3rd Avenue
Owner: 8 Dunnigan, LLC
Address: 8 Dunnigan Drive
Pomona, NY 10970

Blight- fire at property – no repairs. Residential fire, substandard not suitable for rehabilitation. Fire was on 11/16/2023. No contact with owner. Exterior doors and windows are boarded to deter unauthorized entry. Foundation is cracked and failing under the front porch. Roof is satisfactory. Interior Fire at property caused heavy fire and water damage. Water, electric and gas are shut off. Outstanding Taxes – None. The City will have the structure demolished and place a lien on the property for the cost of the service. Appropriate reuse for this property is residential in nature.

1009 4th Avenue
Owner: Vincent Weimert
Address: 1009 4th Avenue
Altoona, PA 16602

Vacant/abandoned property. Substandard not suitable for rehabilitation. Property vacant for approximately 9 months. Exterior window casings rotted, windows/doors left open, porch floors deteriorating. Foundation cracked/falling in under front porch. Roof is satisfactory. Windows are satisfactory. Interior is unknown, property was left unsecure for a long period of time. Email conversation with Vincent in May 2024. He stated he would make an effort to make the required repairs. To date, no progress has been made. Water, electric and gas are off. Outstanding Taxes: 2021 $426.39; 2022 $1,221.72; 2023 $798.54; 2024 $340.13. **Property is scheduled for Judicial Sale June 18, 2025.** The City will demolish the structure and place a lien on the property for the cost of the service. Appropriate reuse for this property is residential in nature.

1111 N. 5th Avenue
Owner: Hector Palma Sanchez & Bianca Estella Garnez
Address: 9306 Granite Circle
Frederick, MD 21702

Vacant property. Substandard not suitable for rehabilitation. Vacant since 2002. Property is in disrepair; no repairs made. Exterior siding damaged/missing, stairs rotting/missing, accumulations. Foundation areas are cracking. Roof is satisfactory. Windows, casings rotting, birds flying in and out. Interior is unknown. No contact with owners, have made several calls, no calls returned. Water is unknown, water authority states that their records go back to 2002 and there has never been water turned on. Electric no meter observed. Gas no meter observed. Outstanding Taxes 2024 $300.95. The City will demolish the structure and place a lien on the property for the cost of the service. Appropriate reuse of the property is residential in nature.

915 6th Avenue
Owner: NRHO, LLC
Address: 75 Beattie Pl., Suite 300
Greenville, SC 29601

Blighted/vacant property. Substandard no suitable for rehabilitation. Vacant for approximately 4 months. Exterior wood siding rotting and falling off. Foundation Multiple mortar joints in need of repair. Roof shingles missing in multiple areas, chimney falling apart. Windows multiple are boarded and believed to be broken. Interior is unknown Accessory building believed to be filled with accumulations. Fending falling apart, multiple missing pieces. John Hill Real Estate has been actively trying to sell this property. No remedial work schedule has been submitted. They were made aware this was required. Water and Electric are off. Gas unknown, meter inside. Outstanding Taxes – None. The City will demolish the structure and place a lien on the property for the cost of the service. Appropriate reuse of the property is residential in nature.